

**PROJECT INTENT:**

LOCATED ON THE COLORADO HIGH PLAINS, PROSPER IS ENVISIONED AS A BALANCED MASTER PLANNED COMMUNITY THAT INCORPORATES INNOVATIVE AND INTEGRATED PLANNING PRINCIPLES. THE STRATEGIC LOCATION, NATURAL CHARACTERISTICS AND THE MAGNITUDE OF THE PROPERTY PROVIDES A UNIQUE OPPORTUNITY TO CREATE A COMMUNITY OF ECONOMIC, SOCIAL AND ENVIRONMENTAL SIGNIFICANCE TO ARAPAHOE COUNTY AND THE REGION. PROSPER IS ESTIMATED TO BE IMPLEMENTED IN MULTIPLE PHASES OVER 30 YEARS.

THE INTERSTATE 70 EAST CORRIDOR IS ENVISIONED AS A GROWTH AREA THAT EXTENDS FROM THE CITY OF AURORA TO DEER TRAIL. IT IS ENVISIONED THAT TIER ONE OF THIS GROWTH CORRIDOR WILL OCCUR FROM THE WEST EXTENDING TO THE EXISTING BENNETT TOWN CORE. PROSPER IS LOCATED IN THE WESTERN PORTION OF THE TIER ONE GROWTH CORRIDOR WITH CONVENIENT ACCESS TO REGIONAL ECONOMIC ENGINES SUCH AS DENVER INTERNATIONAL AIRPORT AND FRONT RANGE AIRPORT.

IN KEEPING WITH THE GOAL OF CREATING A BALANCED MASTER PLANNED COMMUNITY, PROSPER IS PROPOSED TO INCLUDE A MIX OF USES THAT WILL SERVE AS REGIONAL AND COMMUNITY EMPLOYMENT GENERATORS. LAND USES THAT INCLUDE REGIONAL COMMERCIAL, COMMUNITY COMMERCIAL, NEIGHBORHOOD COMMERCIAL, MEDICAL, CIVIC, "JUST IN TIME" MANUFACTURING, DISTRIBUTION, RESEARCH AND DEVELOPMENT HAVE BEEN INCORPORATED INTO THE PLAN.

RESIDENTIAL LAND USES THAT INCLUDE A DIVERSITY OF HOUSING TYPES ACCOMMODATING A MULTI-GENERATIONAL POPULATION ARE ALSO INCORPORATED IN THE PLAN. THE PRELIMINARY DEVELOPMENT PLAN IS CONFIGURED AND PROGRAMMED WITH A DIVERSITY OF HOUSING TYPES PERMITTING RESIDENTS TO RESIDE IN THEIR RESPECTIVE NEIGHBORHOODS AS THEY EVOLVE THROUGH THEIR LIFECYCLE.

THIS PRELIMINARY DEVELOPMENT PLAN HAS BEEN PREPARED TO REINFORCE WALKABLE NEIGHBORHOODS THAT ARE IN CLOSE PROXIMITY TO SERVICES AND AMENITIES. COMMUNITY CONNECTIVITY AND THE DISPERSAL OF TRAFFIC ARE CRITICAL COMPONENTS OF THE MASTER PLAN.

**STANDARD NOTES:**

THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDER(S) OF THE PRELIMINARY DEVELOPMENT PLAN KNOWN AS PROSPER, THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

**STREET MAINTENANCE**

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAN WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED, AND PROVIDED CONSTRUCTION OF SAID ROADWAY IS STARTED WITHIN ONE YEAR OF THE CONSTRUCTION PLAN APPROVAL. THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

**DRAINAGE MAINTENANCE**

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENTS. REQUIREMENTS INCLUDED, BUT ARE NOT LIMITED TO, MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. ARAPAHOE COUNTY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME, IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

**EMERGENCY ACCESS**

EMERGENCY ACCESS IS GRANTED HERewith OVER AND ACROSS ALL PAVED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES.

**SIGHT TRIANGLE MAINTENANCE**

THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN SAID TRIANGLE.

**LANDSCAPE MAINTENANCE**

THE OWNER(S) OF THIS PLAN, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNER'S ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS.

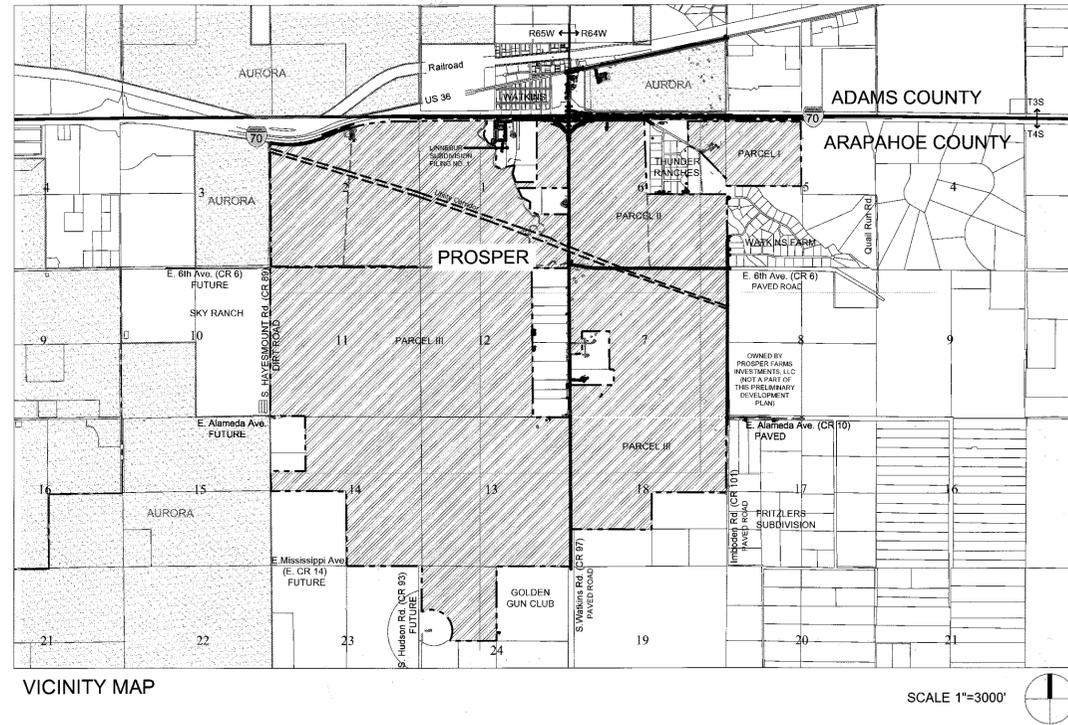
THE OWNER(S) OF THIS PLAN, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER PRIVATE OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.

**DRAINAGE MASTER PLAN NOTE**

THE POLICY OF THE COUNTY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW:

- 1) DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE PHASE I AND THE PHASE III DRAINAGE REPORT THAT IS TO BE PREPARED WITH EACH FINAL DEVELOPMENT PLAN.
- 2) DESIGN AND CONSTRUCT THE CONNECTION OF THE SUBDIVISION DRAINAGE SYSTEM TO A DRAINAGE WAY OF ESTABLISHED CONVEYANCE CAPACITY SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGE WAY. THE COUNTY WILL REQUIRE THAT THE CONNECTION OF THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFFSITE FLOWS) LEAVING THE SPECIFIC DEVELOPMENT SITE. TO MINIMIZE OVERALL CAPITAL COSTS, THE COUNTY ENCOURAGES ADJACENT DEVELOPMENTS TO JOIN IN DESIGNING AND CONSTRUCTING CONNECTION SYSTEMS. ALSO, THE COUNTY MAY CHOOSE TO PARTICIPATE WITH A DEVELOPER IN THE DESIGN AND CONSTRUCTION OF THE CONNECTION SYSTEM.
- 3) EQUITABLE PARTICIPATION IN THE DESIGN AND CONSTRUCTION OF THE MAJOR DRAINAGE WAY SYSTEM THAT SERVES THE DEVELOPMENT AS DEFINED BY ADOPTED MASTER DRAINAGE WAY PLANS (SECTION 3.4 OF THE ARAPAHOE COUNTY STORMWATER MANAGEMENT MANUAL) OR AS REQUIRED BY THE COUNTY AND DESIGNATED IN THE PHASE III DRAINAGE REPORT.

**PROSPER**  
**PRELIMINARY DEVELOPMENT PLAN**  
 PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
 AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
 COUNTY OF ARAPAHOE, STATE OF COLORADO  
**SHEET 1 OF 42**



**STANDARD NOTES (CONT.):**

**MAINTENANCE EASEMENT**

A MAINTENANCE EASEMENT IS REQUIRED FOR DEVELOPMENTS WITH ZERO SIDE SETBACKS IF ONE STRUCTURE IS BUILT ON THE LOT LINE. IN ORDER TO MAINTAIN STRUCTURE WITH THE ZERO-SIDE SETBACK, A MAINTENANCE EASEMENT MAY BE REQUIRED ON THE ADJACENT LOT TO ENABLE MAINTENANCE TO BE PERFORMED ON SAID STRUCTURE FROM THE ADJOINING PROPERTY. EACH LOT OWNER AGREES TO ALLOW ADJACENT LOT OWNERS ACCESS ACROSS THEIR LOT, WITHIN 5' OF THE COMMON LOT LINE, AS MAY BE NEEDED TO MAINTAIN AND REPAIR THE ADJACENT OWNER'S PRINCIPAL STRUCTURE. EACH ADJACENT OWNER AGREES TO REPAIR ANY DAMAGE WHICH MAY BE CAUSED TO THE LOT OWNER'S PROPERTY FROM THE ADJACENT OWNER'S USE OF THIS MAINTENANCE EASEMENT, AND TO TAKE ALL NECESSARY STEPS TO AVOID CAUSING SUCH DAMAGE.

**SPECIFIC NOTES**

**AIRPORT INFLUENCE AREA NOTE (OFF-SITE IMPROVEMENTS)**

TO CARRY OUT ONE OR MORE OF THE FOLLOWING AS MAY BE REQUIRED BY THE BOARD OF COUNTY COMMISSIONERS:

- 1) TO INCLUDE SAID DEVELOPMENT WITHIN A SPECIAL DISTRICT FOR THE PURPOSE OF PARTICIPATION IN THE CONSTRUCTION OF NECESSARY OFF-SITE IMPROVEMENTS AT THE TIME OF APPROVAL OF FINAL DEVELOPMENT PLANS.
- 2) TO COOPERATE WITH OTHER OWNERS OF OTHER PARCELS AND/OR OTHER SPECIAL DISTRICTS IN OFF-SITE ROADWAY IMPROVEMENTS AS NECESSITATED BY THE DEVELOPMENT IMPACTS AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.
- 3) TO COMPLETE SUCH OTHER IMPROVEMENTS TO PUBLIC ROADWAYS BROUGHT ABOUT OR IMPACTED BY THIS DEVELOPMENT AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.
- 4) TO PARTICIPATE AND COOPERATE IN ANY TRANSPORTATION MANAGEMENT PROGRAM AS SPECIFIED IN THE AIRPORT INFLUENCE AREA TRANSPORTATION STUDY, IF SUCH A PROGRAM IS APPROVED AND/OR ADOPTED BY THE BOARD OF COUNTY COMMISSIONERS.

**SPECIFIC NOTES (CONT.):**

**AIRPORT INFLUENCE AREA NOTE (EASEMENT/HAZARD EASEMENT)**

AN AVIATION AND HAZARD EASEMENT AFFECTING A PORTION OF THE PROPERTY CONTAINED WITHIN THIS PRELIMINARY DEVELOPMENT PLAN HAS BEEN LEGALLY EXECUTED. SAID EASEMENT DOCUMENT CAN BE FOUND IN RECEPTION NO. \_\_\_\_\_ OF THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER. THE LANDS CONTAINED WITHIN THIS PRELIMINARY DEVELOPMENT PLAN LIE WITHIN THE AIRPORT INFLUENCE AREA, AN AREA WHICH IS LIKELY TO BE AFFECTED BY AIRCRAFT OPERATIONS AND THEIR POTENTIAL NOISE AND/OR CRASH HAZARDS TO A GREATER DEGREE THAN LANDS SITUATED OUTSIDE OF THE INFLUENCE AREA. ALL LANDS CONTAINED WITHIN THIS PRELIMINARY DEVELOPMENT PLAN SHALL COMPLY WITH F.A.R. PART 77, "HEIGHT AND OBSTRUCTIONS CRITERIA".

**PALEONTOLOGICAL, HISTORIC, OR ARCHAEOLOGICAL SITES**

DEVELOPMENT WITHIN PROSPER SHOULD AVOID ANY AREAS OF PALEONTOLOGICAL, HISTORIC, OR ARCHAEOLOGICAL IMPORTANCE. IF AVOIDANCE IS NOT POSSIBLE, FURTHER TESTING WILL BE CONDUCTED TO DETERMINE THE SITE'S ELIGIBILITY FOR HISTORIC STATUS AND A MITIGATION PLAN WILL BE DEVELOPED THAT WILL BE FOLLOWED TO PROTECT ELIGIBLE SITES. THE COUNTY WILL BE MADE AWARE OF ANY PLANS OR ACTIVITIES TO DEAL WITH HISTORIC, PALEONTOLOGICAL OR ARCHAEOLOGICAL SITES.

**WILDLIFE**

DEVELOPMENT WITHIN PROSPER SHOULD AVOID ANY HABITAT OF ANY PLANT OR ANIMAL FEDERAL AND/OR STATE THREATENED AND ENDANGERED SPECIES, AS WELL AS STATE SPECIES OF CONCERN, IF ANY OF THESE SPECIES ARE FOUND WITHIN THE DEVELOPMENT AREA, THEN THE APPLICANT WILL NOTIFY THE COUNTY AND FOLLOW THE PROTOCOLS STIPULATED BY COLORADO PARKS AND WILDLIFE TO MITIGATE AND MINIMIZE ANY POTENTIAL IMPACT TO THESE SPECIES.

**REZONING REQUEST :**

TO REZONE APPROXIMATELY 4,948 ACRES ZONED A-1 & 182 ACRES ZONED R-A TO MU-PUD & (F)FLOODPLAIN WITH ALLOWABLE USES AS DEFINED BY THIS PRELIMINARY DEVELOPMENT PLAN.

**CERTIFICATE OF OWNERSHIP**

I, Gregory A. Ruegger HEREBY AFFIRM THAT I AM THE OWNER OR AUTHORIZED AGENT OF ALL INDIVIDUALS HAVING OWNERSHIP INTEREST IN THE PROPERTY DESCRIBED HEREIN, KNOWN AS PROSPER CASE NUMBER Z12-100.

Gregory A. Ruegger V.P.  
 OWNER OF RECORD OR AUTHORIZED AGENT



STATE OF Colorado )  
 COUNTY OF Adams ) SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 2<sup>nd</sup> DAY OF December, A.D. 2015

BY Gregory A. Ruegger AS Vice President OF Prosper Farms Investments, LLC AN AUTHORIZED SIGNATORY.

BY Maribeth D. Amico NOTARY PUBLIC

5641 N. Broadway MY COMMISSION EXPIRES 5/10/19  
 ADDRESS  
Denver CO 80216  
 CITY STATE ZIP CODE

**PLANNING COMMISSION RECOMMENDATION**

NOT RECOMMENDED BY THE ARAPAHOE COUNTY PLANNING COMMISSION THIS 19<sup>th</sup> DAY OF January, A.D. 2015

CHAIR - Brian Weiss

**BOARD OF COUNTY COMMISSIONERS APPROVAL**

APPROVED BY THE ARAPAHOE COUNTY BOARD OF COMMISSIONERS, THIS 10<sup>th</sup> DAY OF February, A.D. 2015

CHAIR - Nancy Sharpe

ATTEST - Terri Maulik

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**COVER**

Scale: N/A
Date: NOVEMBER 10, 2015
Revision Date:

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CASE NO. Z12-100

**GENERAL NOTES :**

- 1) THE SPECIFIC LOCATIONS OF PROPOSED COMMERCIAL, MIXED USE AND BUSINESS PARK STRUCTURES AND PARKING ARE NOT YET DETERMINED.
- 2) PROSPER HAS NOT YET BEEN INCLUDED IN THE RTD BOUNDARY.
- 3) EXACT TRAIL LOCATIONS, TRAIL WIDTHS, TRACT WIDTHS AND MATERIALS OF THE TRAILS SHALL BE DETERMINED BY THE COUNTY AND DEVELOPERS AT THE TIME OF FINAL DEVELOPMENT PLAN. TRAILS ON OPEN SPACE, OPEN SPACE- AGRICULTURE, AND FLOOD ZONE PARCELS ARE TO BE CONSTRUCTED AT THE TIME OF APPROVAL AND CONSTRUCTION OF THE ADJACENT PLANNING AREA OR PHASE.
- 4) PROSPER WILL BE LOCATED WITHIN THE FOLLOWING DISTRICTS:
  - WATER PROSPER REGIONAL WATER AND SEWER METROPOLITAN DISTRICT
  - SEWER PROSPER REGIONAL WATER AND SEWER METROPOLITAN DISTRICT
  - LAW ENFORCEMENT ARAPAHOE COUNTY LAW ENFORCEMENT AUTHORITY
  - FIRE BENNETT FIRE PROTECTION DISTRICT
  - SCHOOLS BENNETT & AURORA SCHOOL DISTRICTS
  - LIBRARIES ARAPAHOE LIBRARY DISTRICT
  - DRAINAGE URBAN DRAINAGE & FLOOD CONTROL DISTRICT
- 5) THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDER(S) ARE RESPONSIBLE FOR A MOSQUITO ABATEMENT PROGRAM.

**ZONING NARRATIVE:**

**1.1 INTRODUCTION**

THE PURPOSE OF THIS SECTION IS TO ESTABLISH GENERAL PROVISIONS AND CLARIFY STANDARDS AND REQUIREMENTS FOR DEVELOPMENT WITHIN THE PROSPER PRELIMINARY DEVELOPMENT PLAN (PDP). IT IS THE DEVELOPER'S AND THE COUNTY'S DESIRE TO HAVE A MIXTURE OF LAND USES AND HOUSING TYPES. THEREFORE, A BROAD RANGE OF USES HAVE BEEN PROPOSED FOR PROSPER. THIS WILL ALLOW FOR VARIETY OF HOUSING PRODUCTS, LOT SIZES, AND USES. IN ADDITION TO PROMOTING LAND USE AND DENSITY FLEXIBILITY, THIS APPROACH WILL ACCOMMODATE HOUSING PRODUCT, LAND PLANNING, MARKET AND TECHNOLOGICAL CHANGES WELL INTO THE FUTURE. REFER TO THE PRELIMINARY DEVELOPMENT PLAN LAND USE MATRIX (SHEETS 14 & 15) FOR SPECIFIC PLANNING AREA USES. THESE CATEGORIES ARE AS FOLLOWS:

**COMMERCIAL/RETAIL (CR):** PREDOMINANTLY A COMMERCIAL FOCUS. THIS DISTRICT WILL INCLUDE COMMERCIAL OFFICE, RETAIL, RESTAURANT, HOSPITALITY AND ENTERTAINMENT USES. THIS ZONING DISTRICT CLASSIFICATION IS LOCATED IN HIGH VISIBILITY AREAS WITH CONVENIENT ACCESS. MAXIMUM FAR SHALL BE 0.9.

**MIXED USE 1 (MU1):** PREDOMINANTLY A COMMERCIAL FOCUS. THIS DISTRICT REQUIRES AT LEAST 50% OF ITS AREA TO BE USED FOR RETAIL, CIVIC, OFFICE OR OTHER COMMERCIAL USES. THE REMAINDER OF THE AREA MAY BE USED FOR RESIDENTIAL, OPEN SPACE PLAZAS, COURTYARDS AND OTHER PEDESTRIAN ENHANCING ELEMENTS SHALL BE ENCOURAGED. MAXIMUM FAR SHALL BE 0.7 & MAXIMUM RESIDENTIAL DENSITY SHALL BE 20 DU/AC.

**MIXED USE 2 (MU2):** PREDOMINANTLY A RESIDENTIAL FOCUS. THIS DISTRICT REQUIRES AT LEAST 25% OF ITS AREA TO BE USED FOR RETAIL, CIVIC, OFFICE OR OTHER COMMERCIAL USES. THE REMAINDER OF THE AREA MAY BE USED FOR RESIDENTIAL, OPEN SPACE PLAZAS, COURTYARDS AND OTHER PEDESTRIAN ENHANCING ELEMENTS SHALL BE ENCOURAGED. MAXIMUM FAR SHALL BE 0.7 & MAXIMUM RESIDENTIAL DENSITY SHALL BE 20 DU/AC.

**MEDICAL/EDUCATIONAL CAMPUS (MU-ME):** THE INTENT IS TO PROVIDE AN AREA THAT CAN ACCOMMODATE MEDICAL AND EDUCATIONAL USES. THESE USES WOULD HAVE THE POTENTIAL TO BE LOCATED WITHIN A CAMPUS CONFIGURATION PROVIDING THE POTENTIAL FOR CROSS UTILIZATION OF FACILITIES. ESTABLISHING MEDICAL AND EDUCATIONAL CAMPUS ALSO INCLUDES ALLOWING COMMERCIAL USES SUCH AS RETAIL AND RESTAURANTS. THE MEDICAL CAMPUS MAY ALSO INCLUDE ASSISTED LIVING SENIOR HOUSING. MAXIMUM FAR SHALL BE 0.7 AND MAXIMUM RESIDENTIAL DENSITY SHALL BE 20 DU/AC.

**EMPLOYMENT (EMP):** THE INTENT IS TO PROVIDE AREAS THAT WILL SERVE AS EMPLOYMENT CENTERS OR OFFICE PARKS THAT CAN ACCOMMODATE CORPORATE CAMPUS, RESEARCH AND DEVELOPMENT, LIGHT INDUSTRIAL, OFFICE/FLEX, RETAIL, COMMERCIAL, WAREHOUSE AND DISTRIBUTION. MAXIMUM FAR SHALL BE 0.8.

**LOW DENSITY RESIDENTIAL (R-L):** THE INTENT IS TO ALLOW FOR SINGLE FAMILY DETACHED HOMES THAT CAN HAVE A MINIMUM LOT SIZE OF 10,000 SQ. FT. MAXIMUM RESIDENTIAL DENSITY SHALL BE 3 DU/AC.

**MEDIUM DENSITY RESIDENTIAL (R-M):** THE INTENT IS TO ALLOW FOR SINGLE FAMILY DETACHED HOMES AND SINGLE FAMILY ATTACHED HOMES THAT CAN HAVE A MINIMUM LOT SIZE OF 3,200 SQ. FT. MULT-FAMILY UNITS OR TOWNHOMES NOT EXCEEDING 12.5 DU/AC ARE ALSO PERMITTED.

**HIGH DENSITY RESIDENTIAL (R-H):** THE INTENT IS TO ALLOW FOR SINGLE FAMILY DETACHED, SINGLE FAMILY ATTACHED AND HIGH DENSITY MULTI-FAMILY UNITS. SINGLE FAMILY HOMES AND SINGLE FAMILY ATTACHED HOMES CAN HAVE A MINIMUM LOT SIZE OF 3,200 SQ. FT. MULTI-FAMILY UNITS NOT EXCEEDING 20.0 DU/AC ARE ALSO PERMITTED.

**WASTE WATER TREATMENT (WWT):** THE INTENT IS TO PROVIDE AN AREA TO CONSTRUCT AND OPERATE A CENTRAL WATER AND/OR WASTE WATER TREATMENT FACILITY.

**FLOOD PLAIN (F):** THE INTENT IS TO ACCOMMODATE AREAS FOR THE CONVEYANCE AND STORAGE OF STORMWATER IN DESIGNATED AREAS. FLOOD PLAIN IS DEFINED AS THE FLOOD OF 100 YEAR FREQUENCY AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AND ARAPAHOE COUNTY. ALL FLOOD PLAIN PROPERTY MUST BE CONTAINED WITHIN A FLOODPLAIN EASEMENT AT THE TIME OF PLAT. ARAPAHOE COUNTY WILL REQUIRE A MINIMUM OF 2 FOOT OF FREEBOARD BETWEEN THE 100 YEAR WATER SURFACE ELEVATION AND THE LOWEST FINISHED FLOOR ELEVATION OFF ALL STRUCTURES ADJACENT TO THE 100 YEAR FLOOD PLAIN. ONE FOOT OF FREEBOARD MUST BE CONTAINED WITHIN THE FLOOD PLAIN EASEMENT.

**OPEN SPACE AGRICULTURAL (OS-AG):** THE INTENT IS TO ESTABLISH AREAS THAT CAN ACCOMMODATE AGRICULTURAL USES & RELATED FACILITIES. THIS AREA MAY ALSO BE UTILIZED FOR PUBLIC AND PRIVATE RECREATION AND OPEN SPACE.

**OPEN SPACE (OS):** THE INTENT IS TO PROVIDE FOR PASSIVE AND ACTIVE RECREATION AND VISUAL AMENITIES FOR THE BENEFIT OF THE COMMUNITY.

- NOTES:**
1. WHERE A PROPOSED USE IS NOT LISTED IN THE PDP, IT MAY BE ALLOWED IF DETERMINED BY ARAPAHOE COUNTY TO BE SIMILAR IN CHARACTER AND OPERATION, AND HAVING THE SAME OR LESSER IMPACT, AS USES THAT ARE ALLOWED.
  2. USES NOT ALLOWED INCLUDE ADULT USES SUCH AS ADULT ARCADE, ADULT BOOKSTORE, ADULT CABARET, ADULT MOTEL, ADULT MOTION PICTURE THEATER, AND ADULT THEATER AS DEFINED IN THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE.
  3. ALL PROPERTY WITHIN THIS PRELIMINARY DEVELOPMENT PLAN MAY REMAIN IN AGRICULTURAL USE UNTIL THE START OF CONSTRUCTION ON EACH PARCEL.
  4. THIS PDP EXCLUDES ALL RIGHTS OF WAY WITHIN ITS BOUNDARIES TO THE EXTENT THAT THE DEPICTION IS INCONSISTENT WITH THE WRITTEN LEGAL DESCRIPTION, THE WRITTEN LEGAL DESCRIPTION SHALL CONTROL. IF IN THE FUTURE, RIGHT-OF-WAYS ARE VACATED OR OTHERWISE TERMINATED AND ACQUIRED BY OWNER OR ITS DESIGNEE, THE PDP SHALL AUTOMATICALLY APPLY TO THE ACQUIRED LANDS AND THE LAND USE CATEGORY ASSIGNED SHALL BE THAT OF THE IMMEDIATELY ADJACENT PLANNING AREA AT THE TIME OF THE PDP FOR THE AREA.
  5. ALL REFERENCES TO THE "CURRENT ARAPAHOE COUNTY LAND DEVELOPMENT CODE" SHALL REFER TO THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE DATED SEPTEMBER 30, 2011, UNLESS OTHERWISE SPECIFIED HEREIN.

**1.2 PLAN ORGANIZATION**

THE PROSPER PRELIMINARY DEVELOPMENT PLAN IS CONFIGURED INTO SPECIFIC PLANNING AREAS AND ASSIGNED LAND USE DESIGNATIONS. APPROXIMATE ACREAGES HAVE BEEN ASSIGNED TO EACH PLANNING AREA. THE DESIGNATIONS HAVE BEEN SELECTED TO ACCOMMODATE THE LAND USE AND/OR HOUSING PRODUCT TYPE MOST LIKELY TO OCCUR WITHIN AN INDIVIDUAL PLANNING AREA OVER THE LIFE OF THE PROJECT.

PROSPER INCLUDES A COMPREHENSIVE CIRCULATION SYSTEM THAT IS COMPRISED OF A HIERARCHY OF STREET CLASSIFICATIONS AND KEY CONNECTIONS. PRIMARY STREETS SUCH AS WATKINS ROAD AND E. 6TH AVENUE HAVE BEEN LOCATED AND ALIGNED TO SERVE AS REGIONAL AND COMMUNITY TRANSPORTATION CONNECTIONS AS OUTLINED IN THE ARAPAHOE COUNTY TRANSPORTATION PLAN. WATKINS ROAD HAS BEEN REALIGNED TO MINIMIZE IMPACTS ON THE COYOTE RUN CORRIDOR AND TO AVOID THE 100 YEAR FLOOD PLAIN. THIS REALIGNMENT ALSO PRESERVES THE RURAL CHARACTER ASSOCIATED WITH THE EXISTING RESIDENTIAL OUTPARCELS LOCATED ALONG WATKINS ROAD. SECONDARY AND TERTIARY STREETS ARE LOCATED AND ALIGNED TO PROVIDE A DISPERSED TRANSPORTATION NETWORK THAT WILL PROVIDE MOTORISTS NORTH, SOUTH, EAST AND WEST ACCESS ALTERNATIVES.



CASE NO.   Z12-100  

# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W., AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

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**ZONING NARRATIVE (CONT.):**

**1.3 LOCATION**

THE PROPERTY IS LOCATED WITHIN UNINCORPORATED ARAPAHOE COUNTY AND IS DEFINED BY INTERSTATE 70 TO THE NORTH AND BISECTED BY THE WATKINS ROAD / I-70 INTERCHANGE THAT EXTENDS TO THE SOUTH. IMBODEN ROAD IS LOCATED ON THE EAST AND HAYESMOUNT ROAD IS ALIGNED ALONG THE WEST BOUNDARY OF THE PROPERTY. PROSPER IS APPROXIMATELY 5,130 ACRES.

**1.4 RESIDENTIAL UNIT TRANSFERS**

THE PROSPER PDP PROVIDES A MECHANISM FOR UNIT TRANSFERS WITHIN PLANNING AREAS. ANY INCREASE IN THE OVERALL DENSITY, WHETHER IT IS FOR RESIDENTIAL DWELLING UNITS OR NON-RESIDENTIAL SQUARE FOOTAGE WILL NEED TO GO THROUGH A MAJOR AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN PER THE PROCESS OUTLINED IN THE LAND DEVELOPMENT CODE.

**1.5 OVERALL PRELIMINARY DEVELOPMENT PLAN DENSITY INCREASE**

ANY REQUEST FOR DENSITY OVER AND ABOVE THE OVERALL PERMITTED DENSITY SHOWN ON THIS PRELIMINARY DEVELOPMENT PLAN WILL BE CONSIDERED A MAJOR AMENDMENT TO THIS PRELIMINARY DEVELOPMENT PLAN AND MUST FOLLOW THE PROCEDURES OUTLINED IN THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE. AN ADMINISTRATIVE REVIEW PROCESS SHALL BE REQUIRED FOR PLANNING AREAS THAT CHANGE MORE THAN 15%.

**1.6 PLANNING AREA BOUNDARIES**

PLANNING AREA ACREAGES AND THE BOUNDARIES OF THE PLANNING AREAS SHOWN ON THE PRELIMINARY DEVELOPMENT PLAN ARE PRELIMINARY AND SUBJECT TO CHANGE WITH DETAILED PLANNING. INDIVIDUAL PLANNING AREA ACREAGES MAY CHANGE UP TO 15% WITHOUT A MAJOR AMENDMENT TO THIS PRELIMINARY DEVELOPMENT PLAN. SUCH CHANGES WILL RESULT IN CORRESPONDING CHANGES TO THE RESIDENTIAL UNITS AND/OR NONRESIDENTIAL SQUARE FOOTAGE AMOUNTS SHOWN IN THE LAND USE SUMMARY. THESE INTERNAL CHANGES WILL NOT EFFECT THE OVERALL PERMITTED AMOUNTS OF THIS PDP. SHOULD THESE INTERNAL CHANGES EFFECT THE OVERALL PERMITTED AMOUNTS, A REQUEST FOR DENSITY CHANGE, AS STATED IN ZONING NARRATIVE NOTE 1.5 OF THIS PDP WILL OCCUR.

**1.7 PLANNING AREA CAPS**

EACH PLANNING AREA HAS A PERMITTED MAXIMUM NUMBER OF RESIDENTIAL DWELLING UNITS AND/OR NON-RESIDENTIAL SQUARE FOOTAGE. THE MAXIMUM AMOUNT OF RESIDENTIAL DWELLING UNITS AND/OR NON-RESIDENTIAL SQUARE FOOTAGE IS LISTED IN THIS PRELIMINARY DEVELOPMENT PLAN. THE AMOUNT OF RESIDENTIAL DWELLING UNITS AND/OR NON-RESIDENTIAL SQUARE FOOTAGE WILL BE DETERMINED AT THE FINAL DEVELOPMENT PLAN AND FINAL PLAT PROCESSES. RESIDENTIAL DENSITIES AND/OR THE AMOUNT OF NON-RESIDENTIAL SQUARE FOOTAGE ARE DETERMINED BASED ON THE ZONE DISTRICT DESIGNATION AND REQUIREMENTS WITHIN EACH PLANNING AREA. TRANSFER(S) OF RESIDENTIAL DWELLING UNITS AND/OR NON-RESIDENTIAL SQUARE FOOTAGE BETWEEN PLANNING AREAS ON THE PRELIMINARY DEVELOPMENT PLAN ARE PERMITTED UP TO 15% BEYOND THE CAP FOR THE RECIPIENT PLANNING AREA.

**1.8 RESIDENTIAL TRANSFERS**

TRANSFER(S) OF RESIDENTIAL DWELLING UNITS AND /OR NON-RESIDENTIAL SQUARE FOOTAGE FROM PLANNING AREA TO PLANNING AREA. MAXIMUM TRANSFER OF RESIDENTIAL DWELLING UNITS AND/OR NON-RESIDENTIAL SQUARE FOOTAGE SHALL BE PERMITTED AS OUTLINED IN SECTION 1.7.

RESIDENTIAL DWELLING UNIT AND/OR NON-RESIDENTIAL SQUARE FOOTAGE TRANSFERS SHALL BE TRACKED BY THE DEVELOPER AND PROVIDED TO THE ARAPAHOE COUNTY PLANNING DIVISION MANAGER WITH EACH SUCH TRANSFER AT THE TIME OF APPROVAL OF THE FINAL DEVELOPMENT PLAN.

ONCE A PLANNING AREA HAS BEEN FULLY PLATTED THROUGH THE FINAL DEVELOPMENT PLAN AND PLATTING PROCESS, ANY REMAINING/ UNPLATTED RESIDENTIAL DWELLING UNITS AND/OR NON-RESIDENTIAL SQUARE FOOTAGE ALLOWED ON THE PRELIMINARY DEVELOPMENT PLAN WITHIN SAID PLANNING AREA WILL REMAIN AVAILABLE FOR TRANSFER TO OTHER REMAINING RECIPIENT PLANNING AREAS WITHIN PROSPER. AT NO TIME SHALL THE OVERALL PRELIMINARY DEVELOPMENT PLAN RESIDENTIAL DWELLING UNIT CAP EXCEED 9,000 UNITS OR 8,000,000 SQUARE FEET OF NON-RESIDENTIAL SQUARE FOOTAGE WITHOUT A MAJOR AMENDMENT OF THE PRELIMINARY DEVELOPMENT PLAN.

**1.9 DEVELOPMENT PHASING**

PHASING WILL OCCUR IN A LOGICAL AND COST EFFECTIVE MANNER BASED ON INFRASTRUCTURE EXTENSION, AVAILABILITY OF UTILITY SERVICE AND MARKET CONDITIONS. THE PROSPER PDP SHALL PERMIT DEVELOPMENT OF PLANNING AREAS TO COMMENCE REGARDLESS OF THE BUILD OUT STATUS OF OTHER PLANNING AREAS, PROVIDED THAT REQUIRED INFRASTRUCTURE IS CONSTRUCTED. AS OUTLINED IN THE PROSPER TRAFFIC IMPACT ANALYSIS, ACCESS TO THE SITE IS PROPOSED FROM INTERSTATE 70 VIA WATKINS ROAD, E. 6TH AVENUE AND ALAMEDA AVENUE. OTHER ACCESS WILL BE PROVIDED VIA IMBODEN AND HAYESMOUNT ROAD. THE PROSPER TRAFFIC IMPACT STUDY CONCEPTUALLY OUTLINES ROADS TO BE CONSTRUCTED AND THE PHASING OF SUCH IMPROVEMENTS. PHASING AND REQUIRED INFRASTRUCTURE SHALL BE EVALUATED AND APPROVED WITH EACH FINAL DEVELOPMENT PLAN AND PLAT.

**1.10 ZONING NOTES**

- A. COMMERCIAL, OFFICE OR RESIDENTIAL USES CAN OCCUPY THE SAME LOT, MIXED HORIZONTALLY OR VERTICALLY IN MU-1, MU-2, MU-ME
- B. LIGHTING WILL CONFORM TO ARAPAHOE COUNTY ZONING CODE, SECTION 12-1300 (LIGHTING STANDARDS)
- C. HOME OCCUPATIONS WILL CONFORM TO ARAPAHOE COUNTY ZONING CODE, SECTION 12-400 (HOME OCCUPATION REGULATIONS)
- D. THIS PDP PERMITS A 2' ENCROACHMENT OF SOFFITS, BAY WINDOWS, CHIMNEYS, BRICK FACING, MECHANICAL EQUIPMENT AND ANY OTHER ITEMS PHYSICALLY ATTACHED TO THE PRIMARY DWELLING UNIT INTO THE SIDE AND REAR SETBACKS OF EACH LOT. ENCROACHMENTS ARE NOT ALLOWED ON EASEMENTS.
- E. PARKING WILL COMPLY WITH ARAPAHOE COUNTY LAND DEVELOPMENT CODE, LATEST REVISION. TANDEM GARAGES TO COUNT AS ONE OFF-STREET PARKING SPACE.

**1.11 FLOOD PLAIN MODIFICATIONS**

FLOOD PLAIN MODIFICATIONS MAY BE REQUIRED TO ACCOMMODATE ROADS, INFRASTRUCTURE, OR OTHER PROJECT COMPONENTS AS DETERMINED AT THE TIME OF PRELIMINARY PLAT, FINAL DEVELOPMENT PLAN AND FINAL PLAT. AREAS IMPACTED BY FLOOD PLAIN AND OPEN SPACE MODIFICATIONS SHALL BE ASSIMILATED INTO THE ADJACENT LAND USE. ANY FLOODPLAIN MODIFICATION STUDY WILL FOLLOW AND MEET THE COUNTY'S STORMWATER MANAGEMENT MANUAL AND WILL BE DICTATED BY THE TRIBUTARY BOUNDARY LIMITS AS DETERMINED BY THE COUNTY.

DEVELOPMENT WITHIN PROSPER WILL REQUIRE CONDITIONAL LETTER OF MAP REVISIONS (CLOMRS) FOR IMPACTED FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) DESIGNATED FLOODPLAINS. CLOMRS WHICH MODIFY THE SPECIAL FLOOD HAZARD AREA (SFHA) MUST BE APPROVED BY THE COUNTY, URBAN DRAINAGE FLOOD CONTROL DISTRICT (UDFCD), THE COLORADO WATER CONSERVATION BOARD (CWCB), AND FEMA PRIOR TO BOARD OF COUNTY COMMISSIONER (BOCC) APPROVAL OF A FINAL PLAT WHICH MODIFIES THE SFHA.

**DEFINITIONS:**

DEFINITIONS ARE IN ADDITION TO THOSE PROVIDED IN THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE.

**ASSISTED LIVING RESIDENCE FACILITY** - SHALL MEAN A STATE-LICENSED GROUP LIVING FACILITY REGULATED AS A PERSONAL CARE BOARDING HOME. SUCH FACILITIES DO NOT OFFER DIAGNOSED MEDICAL OR PSYCHOLOGICAL TREATMENT UNDER PROFESSIONAL MEDICAL SUPERVISION, BUT MAY OFFER (1) PHYSICAL THERAPY; (2) OCCASIONAL MEDICAL OR NURSING CARE TO ADDRESS NONCHRONIC AND NON-RECURRING CONDITIONS SUCH AS COLDS, FLU, OR HOUSEHOLD INJURIES; AND (3) ASSISTANCE WITH ROUTINE LIVING ACTIVITIES NOT AIMED AT RECOVERY FROM A SPECIFIC DIAGNOSED CONDITION.

**ATTACHED RESIDENTIAL DUPLEX** - SHALL MEAN A DWELLING OCCUPIED AS THE HOME OR RESIDENCE OF TWO (2) FAMILIES, UNDER ONE (1) ROOF, EACH FAMILY OCCUPYING A SINGLE UNIT. UNITS CAN BE ON SEPARATE LOTS.

**COMMUNITY GARDEN** - SHALL MEAN A USE IN WHICH LAND IS MANAGED BY A PUBLIC OR NONPROFIT ORGANIZATION OR GROUP OF INDIVIDUALS USED TO GROW PLANTS AND HARVEST FOOD OR ORNAMENTAL CROPS FOR DONATION OR FOR USE BY THOSE CULTIVATING THE LAND. COMMUNITY GARDENS MAY BE ORGANIZED BY THE OPERATING AGENCY OR GROUP INTO INDIVIDUAL AREAS FOR CULTIVATION BY ONE OR MORE PERSONS OR MAY BE FARMED COLLECTIVELY BY MEMBERS OF THE GROUP AND MAY INCLUDE COMMON AREAS MAINTAINED AND USED BY GROUP MEMBERS.

**CONVENIENCE STORE** - A SMALL COMMERCIAL ESTABLISHMENT SELLING PACKAGED FOOD AND OTHER CONVENIENCE ITEMS, WHICH MAY INCLUDE GASOLINE AND/OR A SINGLE-BAY, FULLY-AUTOMATED VEHICLE WASH FACILITY AS AN ACCESSORY AND CLEARLY SECONDARY OR SUBSERVIENT USE TO THE CONVENIENCE STORE, AND HAVING A GROSS FLOOR AREA OF LESS THAN THREE THOUSAND (3,000) SQUARE FEET.

**COURIER DELIVERY SERVICES** - SHALL MEAN AN ESTABLISHMENT PRIMARILY ENGAGED IN THE DELIVERY OF INDIVIDUALLY ADDRESSED LETTERS, PARCELS, AND PACKAGES THAT GENERALLY WEIGH LESS THAN 100 POUNDS

**LIQUOR STORE** - SHALL MEAN A STATE-LICENSED, RETAIL ESTABLISHMENT SELLING PACKAGED ALCOHOLIC LIQUORS (INCLUDING BEER, WINE, AND SPIRITUOUS LIQUORS) FOR CONSUMPTION OFF-SITE. LIQUOR STORE DOES NOT INCLUDE RESTAURANTS, TAVERNS, OR BARS.

**NURSERY** - SHALL MEAN A RETAIL ESTABLISHMENT SELLING PLANTS AND GARDEN SUPPLIES IN WHICH ALL MERCHANDISE OTHER THAN PLANTS IS KEPT WITHIN AN ENCLOSED BUILDING OR A FULLY SCREENED ENCLOSURE, AND FERTILIZER OF ANY TYPE IS STORED AND SOLD IN PACKAGE FORM ONLY. STOCK IN TRADE SHALL BE COMPRISED PRIMARILY OF LIVE PLANT MATERIAL, WITH HARDSCAPE MATERIALS SUCH AS RAILROAD TIES, BOULDERS, LANDSCAPE GRAVEL, AND CRUSHED ROCK LIMITED TO A RELATIVELY SMALL PERCENTAGE OF SALES.

**GREENHOUSE** -SHALL MEAN A STRUCTURE WHOSE ROOF AND SIDES ARE MADE LARGELY OF GLASS OR OTHER TRANSPARENT OR TRANSLUCENT MATERIAL, EXCLUDING SHEET PLASTIC, AND IN WHICH THE TEMPERATURE AND HUMIDITY CAN BE REGULATED FOR THE CULTIVATION OF DELICATE OR OUT-OF-SEASON PLANTS.

**MACHINERY** - SHALL MEAN AN ASSEMBLAGE OF PARTS THAT TRANSMIT FORCES, MOTION, AND ENERGY ONE TO ANOTHER IN A PREDETERMINED MANNER. THIS TERM SHALL ALSO INCLUDE A MECHANICALLY, OR ELECTRONICALLY OPERATED DEVICE FOR PERFORMING A TASK.

**MAINTENANCE** - SHALL MEAN THE ROUTINE RECURRING WORK REQUIRED TO KEEP A BUILDING, EQUIPMENT, OR COMMODITY IN SUCH A CONDITION THAT IT MAY BE CONTINUOUSLY UTILIZED AT ITS ORIGINAL OR DESIGNED CAPACITY AND EFFICIENCY FOR ITS INTENDED PURPOSE.

**OIL AND GAS WELL OPERATIONS OR OPERATION** - INCLUDES OIL AND GAS WELLSITES, FLOWLINES, TANK BATTERIES, COMPRESSOR STATIONS, PITS/PONDS, BELOW-GRADE TANKS, DEHYDRATION UNITS, VAPOR RECOVERY UNITS (VRUS), AND ASSOCIATED ROADS, PIPELINES AND GATHERING SYSTEMS, OTHER THAN FLOWLINES, AS WELL AS SALT WATER DISPOSAL WELLS AND INJECTION WELLS ARE EXCLUDED. LOCATIONS WITH MORE THAN ONE OF THE ABOVE MENTIONED TYPES OF EQUIPMENT WILL BE CONSIDERED TO BE ONE FACILITY.

**RECREATION OR AMUSEMENT, PRIVATE** - SHALL MEAN ANY USE OR DEVELOPMENT PROVIDING AMUSEMENT, PLEASURE, OR SPORT, WHICH IS NOT OPERATED OR OWNED BY A GOVERNMENTAL ENTITY AND IS OPERATED OR CARRIED ON PRIMARILY FOR FINANCIAL GAIN.

**RECREATION OR AMUSEMENT, PUBLIC** - SHALL MEAN ANY USE OR DEVELOPMENT PROVIDING AMUSEMENT, PLEASURE, OR SPORT, WHICH IS OWNED OR OPERATED BY A GOVERNMENTAL ENTITY.

**RENTAL SERVICES** - SHALL MEAN A RETAIL ESTABLISHMENT THAT RENTS TO THE GENERAL PUBLIC MERCHANDISE, SUCH AS FURNITURE, APPLIANCES, AND SIMILAR GOODS THAT ARE HOUSED INSIDE A BUILDING.

**SCHOOL, COMMERCIAL** - SHALL MEAN A STRUCTURE OR GROUP OF STRUCTURES WHERE INSTRUCTION IS GIVEN TO PUPILS IN ARTS, RELIGION, CRAFTS, PHILOSOPHY, OR TRADES, AND IS OPERATED AS A COMMERCIAL ENTERPRISE.

**SUBSTATION** - SHALL MEAN ANY FACILITY DESIGNED TO PROVIDE SWITCHING, VOLTAGE TRANSFORMATION, OR VOLTAGE CONTROL REQUIRED FOR THE TRANSMISSION OF ELECTRICITY AND ANY ADDITION THERETO INCREASING THE EXISTING DESIGN CAPACITY.

**TELECOMMUNICATION FACILITY** - SHALL MEAN A FACILITY THAT TRANSMITS OR RECEIVES ELECTROMAGNETIC SIGNALS. IT INCLUDES ANTENNAS, CABLES, WIRES, CONDUIT, MICROWAVE DISHES, AND OTHER TYPES OF EQUIPMENT FOR THE TRANSMISSION OR RECEIPT OF SUCH SIGNALS; TELECOMMUNICATION TOWERS OR SIMILAR STRUCTURES SUPPORTING SAID EQUIPMENT; EQUIPMENT BUILDINGS; PARKING AREA; AND OTHER ACCESSORY DEVELOPMENT. IN ADDITION, IT SHALL MEAN STRUCTURES AND EQUIPMENT PROVIDING FOR THE TRANSMISSION OF WIRELESS COMMUNICATIONS UTILIZING FREQUENCIES AUTHORIZED BY THE FEDERAL COMMUNICATIONS COMMISSION FOR PAGING SYSTEMS, ENHANCED SPECIALIZED WIRELESS TELECOMMUNICATIONS, PERSONAL COMMUNICATION SERVICES, AND CELLULAR TELEPHONES.

**TELECOMMUNICATION FACILITY, ACCESSORY EQUIPMENT** - SHALL MEAN EQUIPMENT, INCLUDING BUILDINGS AND CABINETS, USED TO PROTECT AND ENABLE OPERATION OF RADIO SWITCHING EQUIPMENT, BACK-UP POWER AND OTHER DEVICES, BUT NOT INCLUDING ANTENNAS THAT ARE NECESSARY FOR THE OPERATION OF A TELECOMMUNICATION FACILITY.

**VEHICLE/EQUIPMENT SALES AND RENTALS** - SHALL MEAN REPAIR OF AUTOMOBILES, TRUCKS, MOTORCYCLES, MOBILE HOMES, RECREATIONAL VEHICLES, OR BOARDS.

**VETERINARIAN CLINIC OR HOSPITAL** -SHALL MEAN AN ESTABLISHMENT THAT PROVIDES MEDICAL TREATMENT AND CARE TO ANIMALS, AND WHICH MAY INCLUDE TEMPORARY OR OVERNIGHT BOARDING OF ANIMALS THAT ARE RECUPERATING FROM TREATMENT.

**WASTEWATER** SHALL MEAN ANY WATER OR OTHER LIQUID, OTHER THAN UNCONTAMINATED STORMWATER, DISCHARGED FROM A FACILITY.

**WHOLESALE ESTABLISHMENTS** SHALL MEAN A USE ENGAGED IN ENCLOSED WHOLESALE OF MANUFACTURED PRODUCTS, SUPPLIES, AND EQUIPMENT, INCLUDING ACCESSORY OFFICES AND SHOWROOMS. PRODUCTS MAY BE PICKED UP ON-SITE OR DELIVERED TO THE CUSTOMER. OTHER ACCESSORY USES MAY INCLUDE PRODUCT REPAIR, PARKING, MINOR FABRICATION SERVICES, AND REPACKAGING OF GOODS.

## NOTES & ZONING NARRATIVE

Scale: N/A	
Date: NOVEMBER 10, 2015	
Revision Date:	
	<i>mmj / jhm</i>

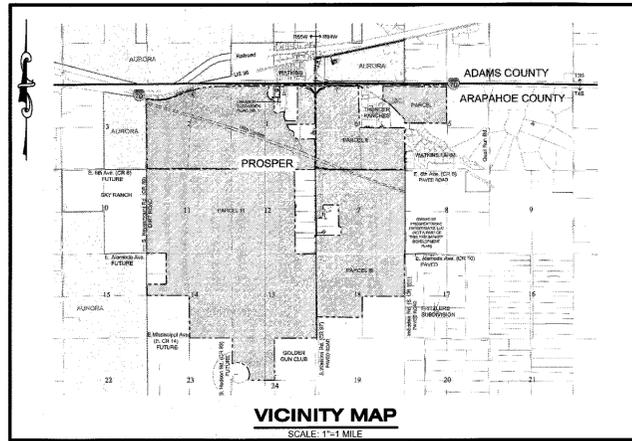
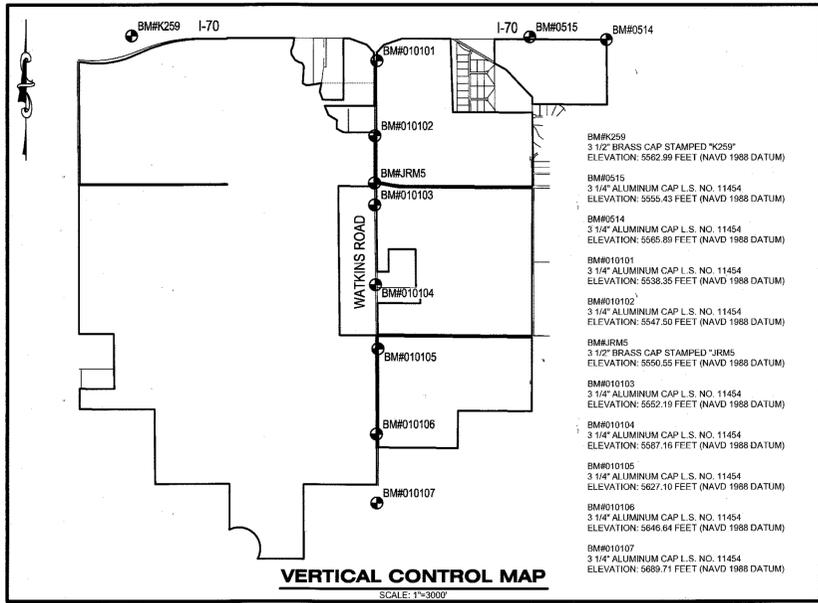
# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 3 OF 42

### LAND SURVEY PLAT (1 OF 8)



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#### LEGAL DESCRIPTION

**PARCEL I**  
A PARCEL OF LAND SITUATED IN THE NW 1/4 OF SECTION 6 AND THE EAST 1/2 OF THE NE 1/4 OF SECTION 6, T.4S., R.64W., OF THE 6TH P.M., ARAPAHOE COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NE CORNER OF THE NW 1/4 OF SAID SECTION 5; THENCE S00°36'28"E ALONG THE EAST LINE OF SAID NW 1/4 A DISTANCE OF 17.09 FEET TO A POINT LYING ON THE SOUTHERLY R.O.W. LINE OF INTERSTATE HIGHWAY 70; SAID POINT BEING THE POINT OF BEGINNING; THENCE CONTINUING S00°36'28"E ALONG THE EAST LINE OF SAID NW 1/4 A DISTANCE OF 294.20 FEET TO THE NE CORNER OF WATKINS FARM SUBDIVISION FILING NO. 1, AS RECORDED IN ARAPAHOE COUNTY, COLORADO; THENCE N89°38'49"W ALONG THE NORTH LINE OF SAID WATKINS FARM SUBDIVISION FILING NO. 1, A DISTANCE OF 2656.09 FEET TO THE NW CORNER OF SAID WATKINS FARM SUBDIVISION FILING NO. 1; SAID POINT LYING ON THE WEST LINE OF THE NW 1/4 OF SAID SECTION 5; THENCE N00°54'00"W ALONG THE WEST LINE OF SAID NW 1/4 A DISTANCE OF 245.22 FEET; THENCE N44°15'37"W A DISTANCE OF 1370.43 FEET; THENCE N60°30'48"W A DISTANCE OF 449.23 FEET TO A POINT LYING ON THE WEST LINE OF THE EAST 1/2 OF THE NE 1/4 OF SAID SECTION 6; THENCE N02°29'57"W ALONG THE WEST LINE OF THE EAST 1/2 OF SAID NE 1/4 A DISTANCE OF 853.18 FEET TO A POINT LYING ON SAID SOUTHERLY R.O.W. LINE; SAID POINT BEING 27.74 FEET SOUTH OF THE NW CORNER OF THE EAST 1/2 OF SAID NE 1/4; THENCE S89°18'07"E ALONG SAID SOUTHERLY R.O.W. LINE A DISTANCE OF 1334.44 FEET TO A POINT LYING ON THE WEST LINE OF THE NW 1/4 OF SAID SECTION 5; SAID POINT BEING 23.85 FEET SOUTH OF THE NW CORNER OF SAID SECTION 5; THENCE S89°40'03"E CONTINUING ALONG SAID SOUTHERLY R.O.W. LINE A DISTANCE OF 2654.47 FEET TO THE POINT OF BEGINNING;

PARCEL CONTAINS (7,940,230 SQUARE FEET) 182.2826 ACRES MORE OR LESS.

#### PARCEL II

A PARCEL OF LAND SITUATED IN SECTION 6, T.4S., R.64W., OF THE 6TH P.M., ARAPAHOE COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NE CORNER OF THE SE 1/4 OF SAID SECTION 6; THENCE S00°33'40"E ALONG THE EAST LINE OF SAID SE 1/4 A DISTANCE OF 1583.02 FEET TO A POINT LYING ON A CURVE ON THE WESTERLY R.O.W. LINE OF NORTH INWOOD MILL ROAD; THENCE ALONG A CURVE TO THE LEFT WHOSE CHORD BEARS S11°44'56"W A DISTANCE OF 117.26 FEET AND ALONG SAID WESTERLY R.O.W. LINE SAID CURVE HAVING A CENTRAL ANGLE OF 24°37'27"; A RADIUS OF 275.00 FEET; AN ARC LENGTH OF 118.17 FEET TO A POINT OF TANGENT; THENCE S00°33'40"E ALONG SAID TANGENT AND CONTINUING ALONG SAID WESTERLY R.O.W. LINE BEING PARALLEL WITH AND 30.00 FEET WESTERLY OF THE EAST LINE OF SAID SE 1/4 A DISTANCE OF 900.56 FEET TO A POINT OF CURVE; THENCE ALONG A CURVE TO THE RIGHT WHOSE CHORD BEARS S44°54'37"W A DISTANCE OF 21.39 FEET AND CONTINUING ALONG SAID WESTERLY R.O.W. LINE; SAID CURVE HAVING A CENTRAL ANGLE OF 09°06'33"; A RADIUS OF 15.00 FEET; AN ARC LENGTH OF 23.81 FEET TO A POINT OF TANGENT; THENCE N89°37'08"W ALONG SAID TANGENT BEING PARALLEL WITH AND 30.00 FEET NORTHERLY OF THE SW 1/4 OF SAID SECTION 6; A DISTANCE OF 2643.99 FEET TO A POINT LYING ON THE WEST LINE OF SAID SE 1/4; THENCE N03°10'10"W PARALLEL WITH AND 30.00 FEET NORTHERLY OF THE SOUTH LINE OF THE SW 1/4 OF SAID SECTION 6; A DISTANCE OF 1971.18 FEET TO A POINT OF CURVE; THENCE ALONG A CURVE TO THE RIGHT WHOSE CHORD BEARS N81°52'07"W A DISTANCE OF 339.75 FEET; SAID CURVE HAVING A CENTRAL ANGLE OF 10°43'22"; A RADIUS OF 1818.20 FEET; AN ARC LENGTH OF 340.27 FEET TO A POINT OF TANGENT; THENCE N78°53'39"W ALONG SAID TANGENT A DISTANCE OF 388.54 FEET TO A POINT OF CURVE; THENCE ALONG A CURVE TO THE LEFT WHOSE CHORD BEARS N82°09'19"W A DISTANCE OF 122.81 FEET; SAID CURVE HAVING A CENTRAL ANGLE OF 05°31'18"; A RADIUS OF 1079.50 FEET; AN ARC LENGTH OF 122.87 FEET TO A POINT OF TANGENT; THENCE N85°24'56"W ALONG SAID TANGENT A DISTANCE OF 7.00 FEET TO A POINT LYING 30.00 FEET EAST OF THE WEST LINE OF THE SW 1/4 OF SAID SECTION 6; THENCE N00°04'34"W ALONG A LINE PARALLEL WITH AND 30.00 FEET EASTERLY OF THE WEST LINE OF THE SW 1/4 OF SAID SECTION 6; A DISTANCE OF 1719.40 FEET TO A POINT LYING ON THE SOUTHERLY R.O.W. LINE OF INTERSTATE HIGHWAY 70; AS DESCRIBED IN BOOK 1050 AT PAGE 127 OF THE ARAPAHOE COUNTY, COLORADO RECORDS; THENCE ALONG SAID SOUTHERLY R.O.W. LINE THE FOLLOWING FIVE (5) COURSES:

1. THENCE N13°55'42"E A DISTANCE OF 85.65 FEET;
2. THENCE N00°03'24"W A DISTANCE OF 300.00 FEET;
3. THENCE N43°21'12"E A DISTANCE OF 363.50 FEET;
4. THENCE N71°00'12"E A DISTANCE OF 693.90 FEET;
5. THENCE S89°37'46"E A DISTANCE OF 1704.11 FEET TO A POINT LYING ON THE WESTERLY LINE OF THAT PARCEL OF LAND DESCRIBED IN COURT CASE #94518 OF THE ARAPAHOE COUNTY, COLORADO DISTRICT COURT;

THENCE S02°04'19"E ALONG THE WESTERLY LINE OF SAID PARCEL A DISTANCE OF 2597.88 FEET TO A POINT LYING ON THE SOUTH LINE OF THE NW 1/4 OF SAID SECTION 6; THENCE S89°41'42"E ALONG THE SOUTH LINE OF SAID NW 1/4 A DISTANCE OF 146.15 FEET TO THE CENTER 1/2 CORNER OF SAID SECTION 6; THENCE S89°13'37"E ALONG THE NORTH LINE OF THE SE 1/4 OF SAID SECTION 6 A DISTANCE OF 2678.68 FEET TO THE POINT OF BEGINNING;

PARCEL CONTAINS (21,191,415 SQUARE FEET) 486.4679 ACRES MORE OR LESS.

#### LEGAL DESCRIPTION

**PARCEL III**  
A PARCEL OF LAND SITUATED IN THE SW 1/4 OF SECTION 8, SECTION 7, AND SECTION 18, T.4S., R.65W., AND SECTIONS 1, 2, 11, 12, 13, 14 AND 24, T.4S., R.65W., OF THE 6TH P.M., ARAPAHOE COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NW CORNER OF SAID SECTION 1; THENCE S00°11'49"E ALONG THE WEST LINE OF SAID SECTION 1 A DISTANCE OF 17.30 FEET TO A POINT LYING ON THE SOUTHERLY R.O.W. LINE OF INTERSTATE HIGHWAY 70; SAID POINT BEING THE POINT OF BEGINNING; THENCE S89°57'37"E ALONG SAID SOUTHERLY R.O.W. LINE A DISTANCE OF 2385.38 FEET TO THE NORTHWESTERLY CORNER OF LINNEBUR SUBDIVISION FILING NO. 1 AS RECORDED IN BOOK 164 AT PAGE 70, ARAPAHOE COUNTY, COLORADO; THENCE ALONG THE WESTERLY AND SOUTHERLY LINE OF SAID LINNEBUR SUBDIVISION FILING NO. 1 THE FOLLOWING TWELVE (12) COURSES:

1. THENCE S00°10'36"E A DISTANCE OF 40.91 FEET;
2. THENCE S07°23'05"W A DISTANCE OF 207.09 FEET;
3. THENCE S20°36'40"W A DISTANCE OF 222.35 FEET;
4. THENCE S04°17'39"E A DISTANCE OF 119.11 FEET;
5. THENCE S33°11'15"E A DISTANCE OF 248.29 FEET;
6. THENCE S00°24'00"E A DISTANCE OF 141.58 FEET;
7. THENCE S72°47'28"E A DISTANCE OF 134.00 FEET;
8. THENCE S31°04'43"E A DISTANCE OF 127.64 FEET;
9. THENCE S03°59'42"W A DISTANCE OF 810.24 FEET;
10. THENCE S60°40'03"E A DISTANCE OF 136.03 FEET;
11. THENCE N84°20'14"E A DISTANCE OF 203.91 FEET;
12. THENCE N78°52'52"E A DISTANCE OF 354.30 FEET TO A POINT LYING ON THE WESTERLY LINE OF A TRACT OF LAND DESCRIBED AS PARCEL "A" IN BOOK 367 AT PAGE 387 OF THE ARAPAHOE COUNTY, COLORADO RECORDS;

THENCE S12°13'16"W ALONG THE WESTERLY LINE OF SAID TRACT OF LAND DESCRIBED AS PARCEL "A" IN BOOK 367 AT PAGE 387 A DISTANCE OF 509.00 FEET; THENCE S19°47'49"E AND CONTINUING ALONG THE WESTERLY LINE OF SAID TRACT OF LAND DESCRIBED AS PARCEL "A" IN BOOK 367 AT PAGE 387 A DISTANCE OF 310.0 FEET; THENCE N89°58'19"E A DISTANCE OF 743.91 FEET; THENCE N00°10'37"W A DISTANCE OF 217.29 FEET TO A POINT LYING ON THE SOUTHERLY R.O.W. LINE OF INTERSTATE HIGHWAY 70; THENCE ALONG SAID SOUTHERLY R.O.W. LINE THE FOLLOWING FIVE (5) COURSES:

1. THENCE S89°57'37"E A DISTANCE OF 191.23 FEET;
2. THENCE S70°18'16"E A DISTANCE OF 683.00 FEET;
3. THENCE S43°08'44"E A DISTANCE OF 368.00 FEET;
4. THENCE S00°03'44"E A DISTANCE OF 300.00 FEET;
5. THENCE S14°09'44"E A DISTANCE OF 103.10 FEET TO A POINT LYING 25 FEET WEST OF THE EAST LINE OF THE NE 1/4 OF SAID SECTION 1;

THENCE S00°03'44"E ALONG A LINE PARALLEL WITH AND 25.00 FEET WESTERLY OF THE EAST LINE OF THE NE 1/4 OF SAID SECTION 1 A DISTANCE OF 1495.17 FEET TO A POINT LYING ON THE NORTHERLY LINE OF THAT PARCEL OF LAND DESCRIBED AT RECEPTION NO. 800414 OF THE ARAPAHOE COUNTY, COLORADO RECORDS; THENCE S89°56'10"W ALONG THE NORTH LINE OF SAID PARCEL OF LAND DESCRIBED AT RECEPTION NO. 800414 AND ALONG THE NORTHERLY LINE OF A TRACT OF LAND DESCRIBED AS PARCEL "B" IN SAID BOOK 367 AT PAGE 387 A DISTANCE OF 1771.67 FEET TO THE NORTHWESTERLY CORNER OF THAT TRACT OF LAND DESCRIBED AS PARCEL "B" IN SAID BOOK 367 AT PAGE 387; THENCE ALONG THE WESTERLY AND SOUTHERLY LINE OF THAT TRACT OF LAND DESCRIBED AS PARCEL "B" IN SAID BOOK 367 AT PAGE 387 THE FOLLOWING FIVE (5) COURSES:

1. THENCE S23°10'08"E A DISTANCE OF 351.89 FEET;
2. THENCE S60°06'50"E A DISTANCE OF 342.08 FEET;
3. THENCE S01°07'54"W A DISTANCE OF 307.80 FEET;
4. THENCE S61°27'28"E A DISTANCE OF 274.02 FEET;
5. THENCE N89°56'16"W AND ALONG THE SOUTHERLY LINE OF SAID PARCEL OF LAND DESCRIBED IN BOOK 1626 AT PAGE 53 A DISTANCE OF 1103.18 TO A POINT LYING 25 FEET WEST OF THE EAST LINE OF THE SE 1/4 OF SAID SECTION 1;

THENCE S00°04'34"E ALONG A LINE PARALLEL WITH AND 25.00 FEET WESTERLY OF THE EAST LINE OF THE SE 1/4 OF SAID SECTION 1 A DISTANCE OF 1909.43 FEET TO A POINT LYING ON THE SOUTH LINE OF THE SE 1/4 OF THE SE 1/4 OF SAID SECTION 1; THENCE S89°35'02"E ALONG SAID SOUTH LINE A DISTANCE OF 25.00 FEET TO THE SE CORNER OF SAID SECTION 1 AND THE SW CORNER OF SAID SECTION 6; THENCE S89°17'01"E ALONG THE SOUTH LINE OF SAID SECTION 6 A DISTANCE OF 30.00 FEET; THENCE N00°04'34"W ALONG A LINE PARALLEL WITH AND 30.00 FEET EASTERLY OF THE WEST LINE OF THE SW 1/4 OF SAID SECTION 6 A DISTANCE OF 84.77 FEET; THENCE S82°24'56"E A DISTANCE OF 82.00 FEET TO A POINT OF CURVE; THENCE ALONG A CURVE TO THE RIGHT WHOSE CHORD BEARS S82°29'19"E A DISTANCE OF 115.98 FEET; SAID CURVE HAVING A CENTRAL ANGLE OF 05°31'18"; A RADIUS OF 1079.50 FEET; AN ARC LENGTH OF 116.04 FEET TO A POINT OF TANGENT; THENCE S78°53'39"E ALONG SAID TANGENT A DISTANCE OF 388.77 FEET TO A POINT OF CURVE; THENCE ALONG A CURVE TO THE LEFT WHOSE CHORD BEARS S79°28'26"E A DISTANCE OF 16.16 FEET; SAID CURVE HAVING A CENTRAL ANGLE OF 00°29'35"; A RADIUS OF 1878.20 FEET; AN ARC LENGTH OF 16.16 FEET TO A POINT LYING ON THE NORTH LINE OF THE NW 1/4 OF SAID SECTION 7; THENCE S89°37'01"E ALONG THE NORTH LINE OF THE NW 1/4 OF SAID SECTION 7 A DISTANCE OF 2305.95 FEET TO THE NORTH 1/2 CORNER OF SAID SECTION 7; THENCE S89°37'08"E ALONG THE NORTH LINE OF THE NE 1/4 OF SAID SECTION 7 A DISTANCE OF 2684.33 FEET TO THE NE CORNER OF SAID SECTION 7; THENCE S00°06'39"W ALONG THE EAST LINE OF THE NE 1/4 OF SAID SECTION 7 A DISTANCE OF 2042.94 FEET TO THE EAST 1/2 CORNER OF SAID SECTION 7; THENCE S00°02'22"W ALONG THE EAST LINE OF THE SE 1/4 OF SAID SECTION 7 A DISTANCE OF 2642.92 FEET TO THE SE CORNER OF SAID SECTION 7;

#### LEGAL DESCRIPTION

**PARCEL III (CONTINUED)**

THENCE N89°54'37"W ALONG THE SOUTH LINE OF THE SE 1/4 OF SAID SECTION 7 A DISTANCE OF 30.00 FEET TO THE WESTERLY R.O.W. LINE OF SOUTH INWOOD ROAD; THENCE S00°11'59"W ALONG SAID WESTERLY R.O.W. LINE PARALLEL WITH AND 30.00 FEET WESTERLY OF THE EAST LINE OF THE NE 1/4 OF SAID SECTION 13 A DISTANCE OF 2643.99 FEET TO A POINT LYING ON THE SOUTH LINE OF THE NE 1/4 OF SAID SECTION 18; THENCE N89°32'22"W ALONG THE SOUTH LINE OF THE NE 1/4 OF SAID SECTION 18 A DISTANCE OF 2022.27 FEET TO THE CENTER 1/2 CORNER OF SAID SECTION 18; THENCE S00°18'19"W ALONG THE EAST LINE OF THE SW 1/4 OF SAID SECTION 18 A DISTANCE OF 1321.18 FEET TO THE SE CORNER OF THE NORTH 1/2 OF THE SW 1/4 OF SAID SECTION 18; THENCE N89°31'16"W ALONG THE SOUTH LINE OF THE NORTH 1/2 OF THE SW 1/4 OF SAID SECTION 18 A DISTANCE OF 2600.11 FEET TO A POINT LYING 30.00 FEET EAST OF THE WEST LINE OF THE SW 1/4 OF SAID SECTION 18; THENCE N00°18'39"W ALONG A LINE PARALLEL WITH AND 30.00 FEET EASTERLY OF THE WEST LINE OF THE SW 1/4 OF SAID SECTION 18 A DISTANCE OF 1302.21 FEET TO A POINT LYING ON THE NORTH LINE OF THE SW 1/4 OF SAID SECTION 18; THENCE N89°32'34"W ALONG THE NORTH LINE OF THE SW 1/4 OF SAID SECTION 18 A DISTANCE OF 30.00 FEET TO THE WEST 1/2 CORNER OF SAID SECTION 18; SAID POINT ALSO BEING THE EAST 1/2 CORNER OF SAID SECTION 13; THENCE S00°18'39"E ALONG THE EAST LINE OF THE SE 1/4 OF SAID SECTION 13 A DISTANCE OF 2640.40 FEET TO THE SE CORNER OF SAID SECTION 13; THENCE N89°48'19"W ALONG THE SOUTH LINE OF THE SE 1/4 OF SAID SECTION 13 A DISTANCE OF 2629.47 FEET TO THE SW CORNER OF THE SE 1/4 OF SAID SECTION 13; THENCE S00°09'37"E ALONG THE EAST LINE OF THE NW 1/4 OF SAID SECTION 24 A DISTANCE OF 2643.79 FEET TO THE SE CORNER OF THE NW 1/4 OF SAID SECTION 24; THENCE N89°48'27"W ALONG THE SOUTH LINE OF THE NW 1/4 OF SAID SECTION 24 A DISTANCE OF 1648.72 FEET TO A POINT LYING NON-TANGENT ON A CURVE; THENCE ALONG A CURVE TO THE LEFT WHOSE CHORD BEARS N45°11'21"W A DISTANCE OF 1428.24 FEET; SAID CURVE HAVING A CENTRAL ANGLE OF 143°54'53"; A RADIUS OF 750.00 FEET; AN ARC LENGTH OF 1883.84 FEET TO A POINT LYING ON THE WEST LINE OF THE NW 1/4 OF SAID SECTION 24; THENCE N00°03'45"E ALONG THE WEST LINE OF THE NW 1/4 OF SAID SECTION 24 A DISTANCE OF 1621.89 FEET TO THE NW CORNER OF SAID SECTION 24; THENCE S89°58'09"W ALONG THE SOUTH LINE OF THE SE 1/4 OF SAID SECTION 14 A DISTANCE OF 2653.00 FEET TO THE SW CORNER OF THE SE 1/4 OF SAID SECTION 14; THENCE N00°28'39"W ALONG THE WEST LINE OF THE SE 1/4 OF SAID SECTION 14 A DISTANCE OF 2651.51 FEET TO THE NW CORNER OF THE SE 1/4 OF SAID SECTION 14; THENCE N89°53'58"W ALONG THE SOUTH LINE OF THE NW 1/4 OF SAID SECTION 14 A DISTANCE OF 1097.27 FEET TO THE SW CORNER OF THE NW 1/4 OF SAID SECTION 14; THENCE N00°37'15"W ALONG THE WEST LINE OF THE NW 1/4 OF SAID SECTION 14 A DISTANCE OF 716.47 FEET; THENCE S89°49'40"E ALONG THE SOUTH LINE OF A PARCEL OF LAND DESCRIBED AT RECEPTION NO. 800140 OF THE ARAPAHOE COUNTY, COLORADO RECORDS AND ALONG THE SOUTH LINE OF FPC SUBDIVISION EXEMPTION PLAT AS RECORDED IN ARAPAHOE COUNTY, COLORADO A DISTANCE OF 1234.85 FEET TO THE SE CORNER OF SAID FPC SUBDIVISION EXEMPTION PLAT; THENCE N00°17'17"W ALONG THE EAST LINE OF SAID FPC SUBDIVISION EXEMPTION PLAT AND ALONG THE EAST LINE OF A PARCEL OF LAND DESCRIBED AT RECEPTION NO. A902245 AND RECEPTION NO. A916892 OF THE ARAPAHOE COUNTY, COLORADO RECORDS A DISTANCE OF 1537.61 FEET TO THE NE CORNER OF SAID PARCEL DESCRIBED AT RECEPTION NO. A902445 AND RECEPTION NO. A916892; SAID POINT LYING ON THE NORTH LINE OF THE NW 1/4 OF SAID SECTION 14; THENCE N89°50'02"W ALONG THE NORTH LINE OF THE NW 1/4 OF SAID SECTION 14 A DISTANCE OF 1234.85 FEET TO THE NW CORNER OF SAID SECTION 14; THENCE N00°07'21"W ALONG THE WEST LINE OF THE SW 1/4 OF SAID SECTION 11 A DISTANCE OF 2653.00 FEET TO THE CORNER OF THE SW 1/4 OF SAID SECTION 11; THENCE N00°01'22"W ALONG THE WEST LINE OF THE NW 1/4 OF SAID SECTION 11 A DISTANCE OF 2658.01 FEET TO THE NW CORNER OF SAID SECTION 11; THENCE S89°54'43"E ALONG THE NORTH LINE OF THE NW 1/4 OF SAID SECTION 11 A DISTANCE OF 2635.75 FEET TO THE NE CORNER OF SAID SECTION 11; THENCE N00°11'49"W ALONG THE EAST LINE OF THE SE 1/4 OF SAID SECTION 2 A DISTANCE OF 30.00 FEET; THENCE N89°59'18"W ALONG A LINE PARALLEL WITH AND 30.00 FEET NORTHERLY OF THE SOUTH LINE OF THE SE 1/4 OF SAID SECTION 2 A DISTANCE OF 2636.64 FEET TO A POINT LYING ON THE WEST LINE OF THE SE 1/4 OF SAID SECTION 2; THENCE N89°59'43"W ALONG A LINE PARALLEL WITH AND 30.00 FEET NORTHERLY OF THE SOUTH LINE OF THE SW 1/4 OF SAID SECTION 2 A DISTANCE OF 2066.00 FEET TO A POINT LYING 30.00 FEET EAST OF THE WEST LINE OF THE SW 1/4 OF SAID SECTION 2; THENCE N00°22'29"W ALONG A LINE PARALLEL WITH AND 30.00 FEET EASTERLY OF THE WEST LINE OF THE SW 1/4 OF SAID SECTION 2 A DISTANCE OF 84.77 FEET; THENCE S89°59'43"W ALONG A LINE PARALLEL WITH AND 30.00 FEET EASTERLY OF THE WEST LINE OF THE NW 1/4 OF SAID SECTION 2 A DISTANCE OF 1735.81 FEET TO A POINT LYING ON THE SOUTHERLY R.O.W. LINE OF INTERSTATE HIGHWAY 70; THENCE ALONG THE SOUTHERLY R.O.W. LINE OF INTERSTATE HIGHWAY 70 THE FOLLOWING EIGHT (8) COURSES:

1. THENCE S81°40'31"E A DISTANCE OF 112.58 FEET;
2. THENCE S82°21'01"E A DISTANCE OF 207.30 FEET TO A POINT OF NON-TANGENT CURVE;
3. THENCE ALONG A CURVE TO THE LEFT WHOSE CHORD BEARS N85°55'59"E A DISTANCE OF 1319.75 FEET; SAID CURVE HAVING A CENTRAL ANGLE OF 24°47'00"; A RADIUS OF 3,075.00 FEET; AN ARC LENGTH OF 1330.10 FEET;
4. THENCE N70°13'29"E NON-TANGENT TO THE LAST DESCRIBED CURVE A DISTANCE OF 207.30 FEET;
5. THENCE N66°47'59"E A DISTANCE OF 732.20 FEET TO A POINT OF NON-TANGENT CURVE;
6. THENCE ALONG A CURVE TO THE RIGHT WHOSE CHORD BEARS N79°47'28"E A DISTANCE OF 1976.13 FEET; SAID CURVE HAVING A CENTRAL ANGLE OF 20°29'29"; A RADIUS OF 5,555.00 FEET; AN ARC LENGTH OF 1986.70 FEET;
7. THENCE S89°59'18"E NON-TANGENT TO THE LAST DESCRIBED CURVE A DISTANCE OF 810.23 FEET TO A POINT LYING ON THE EAST LINE OF THE NE 1/4 OF SAID SECTION 2;
8. THENCE N00°11'49"W ALONG THE EAST LINE OF THE NE 1/4 OF SAID SECTION 2 A DISTANCE OF 26.21 FEET TO THE POINT OF BEGINNING;

#### LEGAL DESCRIPTION

**PARCEL III - EXCEPTION I**

EXCEPT:  
THE EAST 1/2 OF THE EAST 1/2 OF SECTION 12, T.4S., R.65W., OF THE 6TH P.M., COUNTY OF ARAPAHOE, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NE CORNER OF SAID SECTION 12; THENCE S00°33'59"E ALONG THE EAST LINE OF THE NORTH 1/2 OF THE EAST 1/2 OF SAID SECTION 12 A DISTANCE OF 2641.64 FEET TO THE EAST 1/2 CORNER OF SAID SECTION 12; THENCE S00°33'17"E ALONG THE EAST LINE OF THE SOUTH 1/2 OF THE EAST 1/2 OF SAID SECTION 12 A DISTANCE OF 2640.83 FEET TO THE SE CORNER OF SAID SECTION 12; THENCE N89°37'58"W ALONG THE SOUTH LINE OF SAID SOUTH 1/2 A DISTANCE OF 1316.07 FEET TO THE SW CORNER OF SAID SECTION 12; THENCE N00°34'22"W ALONG THE WEST LINE OF THE EAST 1/2 OF THE EAST 1/2 OF SAID SECTION 12 A DISTANCE OF 5283.50 FEET TO THE NORTHWEST CORNER OF THE NORTH 1/2 OF THE EAST 1/2 OF THE EAST 1/2 OF SAID SECTION 12; THENCE S89°35'20"E ALONG THE NORTH LINE OF SAID NORTH 1/2 A DISTANCE OF 1317.21 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPT:

**PARCEL III - EXCEPTION II**

A PARCEL OF LAND SITUATED IN THE WEST 1/2 OF SECTION 7, T.4S., R.64W., OF THE 6TH P.M., DESCRIBED AT RECEPTION NUMBER D3040200 AND RECEPTION NUMBER 63052269, COUNTY OF ARAPAHOE, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE WEST 1/2 CORNER OF SAID SECTION 7; THENCE S00°33'17"E ALONG THE WEST LINE OF THE SW 1/4 OF SAID SECTION 7 A DISTANCE OF 366.45 FEET; THENCE S89°36'19"E A DISTANCE OF 30.00 FEET TO THE WEST LINE OF THAT PARCEL OF LAND DESCRIBED AT RECEPTION NO. B4172889; SAID POINT BEING THE POINT OF BEGINNING; THENCE ALONG THE NORTHERLY, WESTERLY AND EASTERLY LINE OF SAID PARCEL THE FOLLOWING SIX (6) COURSES:

1. THENCE CONTINUING S89°36'19"E A DISTANCE OF 407.47 FEET;
2. THENCE N00°33'38"W A DISTANCE OF 366.45 FEET TO THE EAST-WEST CENTERLINE OF SAID SECTION 7;
3. THENCE N00°33'38"W A DISTANCE OF 413.55 FEET;
4. THENCE S89°36'19"E A DISTANCE OF 963.08 FEET;
5. THENCE S00°33'38"E A DISTANCE OF 413.55 FEET TO A POINT LYING ON SAID EAST-WEST CENTERLINE;
6. THENCE N00°33'38"E A DISTANCE OF 937.05 FEET TO THE NORTHERLY LINE OF THAT PARCEL OF LAND DESCRIBED AT RECEPTION NO. B3050269;

THENCE ALONG THE BOUNDARY OF SAID PARCEL DESCRIBED AT RECEPTION NO. B3050269 THE FOLLOWING FOUR (4) COURSES:

1. THENCE S89°36'04"E A DISTANCE OF 151.42 FEET;
2. THENCE S00°33'38"E A DISTANCE OF 568.18 FEET;
3. THENCE N00°33'04"W A DISTANCE OF 1522.21 FEET TO A POINT LYING 30.00 FEET EAST OF THE WEST LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 7;
4. THENCE N00°33'17"W ALONG A LINE PARALLEL WITH AND 30.00 FEET EAST OF THE WEST LINE OF THE SW 1/4 OF SAID SECTION 7 A DISTANCE OF 1108.31 FEET TO THE POINT OF BEGINNING.

PARCEL III CONTAINS (194,361,238 SQUARE FEET) 4,461.6905 ACRES MORE OR LESS.

**SURVEYOR'S CERTIFICATION**  
I, BRETT L. MILLER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT A SURVEY WAS CONDUCTED UNDER MY SUPERVISION AND THE MAP HEREOF ACCURATELY REPRESENTS SAID SURVEY, TO THE BEST OF MY KNOWLEDGE, NO TITLE SEARCH WAS MADE BY ME TO DETERMINE OWNERSHIP OR EASEMENTS RECORDED OR UNRECORDED.

BRETT L. MILLER  
PROFESSIONAL L.S. NO. 27609  
FOR AND ON BEHALF OF:  
ENGINEERING SERVICE COMPANY  
1300 SOUTH POTOMAC STREET, SUITE 126  
AURORA, COLORADO 80012  
PHONE: 303-337-1353



**NOTICE**  
ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREOF.

ANY PERSON WHO KNOWINGLY REMOVES, ALTERS, OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT, LAND BOUNDARY MONUMENT, OR ACCESSORY COMMITMENTS CLASS TWO (2) MISDEMEANOR, PURSUANT TO STATE STATUTE 18-4-508 OF THE COLORADO REVISED STATUTES.

**NOTES**  
1. THIS SURVEY WAS BASED ON TITLE COMMITMENT NUMBER NCS-484816-CO PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, WITH AN EFFECTIVE DATE OF MAY 15, 2011 AT 5:00 P.M., AND DOES NOT CONSTITUTE A TITLE SEARCH BY THIS SURVEYOR FOR OTHER EASEMENTS AND/OR EXCEPTIONS OF RECORD.

2. BY GRAPHIC PLOTTING ONLY THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X", ZONE "X" SHADED, ZONE "A" AND ZONE "AE" ACCORDING TO FLOOD INSURANCE RATE MAPS (FIRMS) COMMUNITY PANEL NO. 0800502226K, 0800502227K, 0800502228K, 0800502229K AND 0800502230K LAST REVISED DECEMBER 17, 2010. NO OFFICE CALCULATIONS OR FIELD SURVEY OF RAIS PERFORMED TO DETERMINE THIS INFORMATION. THE FLOOD LIMITS AS SHOWN ON THIS SURVEY WERE OBTAINED FROM SAID FIRMS MAPS AND ARE APPROXIMATE.

3. BEARINGS ARE BASED ON THE NORTH LINE OF THE NW 1/4 OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 64 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING N89°30'33"W AS REFERENCED AND BOUNDED BY THE MONUMENTS SHOWN HEREOF.

4. ALL UTILITY INFORMATION WAS OBTAINED FROM FIELD SURFACE EVIDENCE AT THE TIME OF THIS SURVEY AND IS SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON SAID FIELD OBSERVATIONS.

5. ALL UNDERGROUND UTILITIES SHOULD BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION.

6. BENCHMARK: ARAPAHOE COUNTY BM010101 - 3 1/4" DIAMETER ALUMINUM CAP 300' SOUTH OF NORTH WATKINS MILE ROAD AND INTERSTATE HIGHWAY 70 ON EAST SIDE. ELEVATION: 5538.35 FEET (NAVD 1988 DATUM).

7. ALL DIMENSIONS ARE AS MEASURED UNLESS OTHERWISE NOTED.

8. ALL UNITS ARE U.S. SURVEY FEET.  
9. CONTOURS SHOWN HEREON ARE AT 2' INTERVALS  
10. EXISTING CONTOURS THAT EXTEND 100' BEYOND THE PROPERTY LINE WILL BE PROVIDED AT THE TIME OF FINAL DEVELOPMENT PLAN.

11. IMPROVEMENTS AND CONTOURS SHOWN ON THIS SURVEY WERE PROVIDED BY SYNERGY MAPPING, INC., BY PHOTOGRAMMETRIC METHODS PERFORMED MAY 31, 2011 AND CONFORMS TO THE ASPRS STANDARDS OF 1990.

**FILING CERTIFICATE**  
DEPOSITED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ A.D.,  
AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M. IN BOOK \_\_\_\_\_ OF THE COUNTY SURVEYOR'S  
LAND SURVEY PLATS/RIGHT-OF-WAY AT PAGE \_\_\_\_\_  
RECEPTION NO. \_\_\_\_\_

COUNTY SURVEYOR

## LAND SURVEY PLAT LAND SURVEY PLAT COVER

Scale: N/A  
Date: NOVEMBER 10,

# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W., AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M. COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 4 OF 42

## LAND SURVEY PLAT (2 OF 8)

#### NOTES CORRESPONDING TO SCHEDULE B - SECTION 2 OF TITLE COMMITMENT:

- 7 RESERVATIONS BY THE UNION PACIFIC LAND COMPANY OF (1) OIL, COAL AND OTHER MINERALS UNDERLYING THE LAND, (2) THE EXCLUSIVE RIGHT TO PROSPECT FOR, MINE AND REMOVE OIL, COAL AND OTHER MINERALS, AND (3) THE RIGHT OF INGRESS AND EGRESS AND REGRESS TO PROSPECT FOR, MINE AND REMOVE OIL, COAL AND OTHER MINERALS, ALL AS CONTAINED IN DEED RECORDED MAY 11, 1959 IN BOOK 36 AT PAGE 715 AND RELEASE AND QUIT CLAIM DEED TO UNION PACIFIC LAND RESOURCES CORPORATION RECORDED NOVEMBER 23, 1998 IN BOOK 5647 AT PAGE 272, AND ANY AND ALL ASSIGNMENTS THEREOF OR INTERESTS THEREIN. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 8 RIGHT TO DENY OR RESTRICT EACH AND EVERY RIGHT OF ACCESS TO AND FROM THE LAND INSURED HEREBY, DIRECTLY INTO ABUTTING STREET OR HIGHWAY DESIGNATED AS INTERSTATE 70, (COLORADO STATE HIGHWAY NO. 8), RECORDED JANUARY 8, 1959 IN BOOK 274 AT PAGE 280. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 9 ANY RIGHTS, INTERESTS OR EASEMENTS IN FAVOR OF THE STATE OF COLORADO, WHICH EXIST OR ARE CLAIMED TO EXIST IN AND OVER THE PRESENT AND PAST DEED, BANKS OR WATERERS OF BOX ELDER CREEK. (NOT ADDRESSED.)
- 10 ANY UNDIVIDED 1/8 INTEREST IN ALL OIL, GAS AND ASSOCIATED LIQUID HYDROCARBONS CONVEYED TO CHAMPLIN PETROLEUM COMPANY, A DELAWARE CORPORATION BY MINERAL DEED, RECORDED JANUARY 20, 1976 IN BOOK 2041 AT PAGE 115, AND ANY AND ALL ASSIGNMENTS THEREOF OR INTERESTS THEREIN. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 11 AN OIL AND GAS LEASE, FROM CHAMPLIN PETROLEUM COMPANY AS LESSOR(S) TO AMOCO PRODUCTION COMPANY AS LESSEE(S) DATED OCTOBER 31, 1975, RECORDED JANUARY 20, 1976 IN BOOK 2041 AT PAGE 115, AND ANY AND ALL ASSIGNMENTS THEREOF OR INTERESTS THEREIN. AFFIDAVIT SHOWING PRODUCTION RECORDED AUGUST 13, 1976 IN BOOK 2083 AT PAGE 85 IN CONNECTION WITH THE ABOVE OIL AND GAS LEASE. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 12 TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE PURCHASE & SALE AGREEMENT BY AND BETWEEN THE CITY OF AURORA AND BOY ELDER INVESTMENT COMPANY, A COLORADO LIMITED PARTNERSHIP, AMCOR INVESTMENTS CORPORATION, A CALIFORNIA CORPORATION AND RALPH D. KAUFMAN, SHIRLEEN D. JENSEN AND STEPHEN K. SMALL, RECORDED MARCH 19, 1997 IN BOOK 3258 AT PAGE 470. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 13 TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE AGREEMENT BY AND BETWEEN RALPH KAUFMAN, SHIRLEEN D. JENSEN AND STEPHEN K. SMALL AND THE CITY OF AURORA RECORDED NOVEMBER 25, 1998 IN BOOK 3012 AT PAGE 785. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 14 AN EASEMENT FOR ACCESS, UTILITIES AND INCIDENTAL PURPOSES GRANTED TO FRONTIER BANK OF DENVER BY RALPH D. KAUFMAN, SHIRLEEN D. JENSEN AND STEPHEN K. SMALL BY EASEMENT DEED RECORDED JANUARY 9, 1999 IN BOOK 3525 AT PAGE 419. NOTE: EASEMENT DEED RECORDED MARCH 12, 1999 IN BOOK 4037 AT PAGE 785 CORRECTS THE ABOVE EASEMENT. IN THE ABOVE EASEMENT AND EASEMENT DEED RECORDED OCTOBER 4, 2009 IN BOOK 6277 AT PAGE 824 BEING RECEPTION NO. C0717694. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 15 TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE AMENDMENT TO ADAMS COUNTY ZONING AND REGULATIONS, CASE NO. 23-91 FRONT RANGE AIRPORT INFLUENCE ZONE RECORDED MAY 23, 1991 IN BOOK 3780 AT PAGE 62. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 16 AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES GRANTED TO PUBLIC SERVICE COMPANY OF COLORADO BY THE INSTRUMENT RECORDED JUNE 17, 1996 IN BOOK 4773 AT PAGE 48. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 17 AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES GRANTED TO PUBLIC SERVICE COMPANY OF COLORADO BY THE INSTRUMENT RECORDED SEPTEMBER 30, 1996 IN BOOK 4847 AT PAGE 47. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 18 THE EFFECT OF ANNETATION ORDINANCE 88-34 RECORDED MAY 20, 1988 IN BOOK 3448 AT PAGE 810 AND PLAT RECORDED MAY 20, 1988 AT RECEPTION NO. B815950 AND ANNETATION ORDINANCE 88-5 RECORDED MAY 20, 1988 IN BOOK 3448 AT PAGE 810 AND PLAT RECORDED MAY 20, 1988 AT RECEPTION NO. B815950 AND ANNETATION ORDINANCE 88-36 RECORDED MAY 20, 1988 IN BOOK 3448 AT PAGE 810 AND PLAT RECORDED MAY 20, 1988 AT RECEPTION NO. B815950 AND ANNETATION ORDINANCE 88-37 RECORDED MAY 20, 1988 IN BOOK 3448 AT PAGE 810 AND PLAT RECORDED MAY 20, 1988 AT RECEPTION NO. B815950. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 19 AN EASEMENT FOR ACCESS AND INCIDENTAL PURPOSES GRANTED TO D AND L CONSTRUCTION, INC., A COLORADO CORPORATION BY THE INSTRUMENT RECORDED JULY 17, 1997 IN BOOK 5055 AT PAGE 848 AND AS CONVEYED TO POWELL PROFESSIONAL PARTNERSHIP, A COLORADO PARTNERSHIP BY THE INSTRUMENT RECORDED JANUARY 7, 1998 IN BOOK 5203 AT PAGE 1. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 20 TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE PIPELINE EASEMENT AGREEMENT RECORDED OCTOBER 16, 2000 IN BOOK 6290 AT PAGE 34. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 21 ANY ASSESSMENT OR LIEN OF BENNETT PARK AND RECREATION DISTRICT, AS DISCLOSED BY THE INSTRUMENT RECORDED JANUARY 22, 2001 AT RECEPTION NO. C073045. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 22 TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE ORDINANCE NO. 2005-22 REZONING LAND FROM PLANNED DEVELOPMENT TO ANNUAL TRAIL PLANS ZONE DISTRICT RECORDED NOVEMBER 5, 2001 AT RECEPTION NO. C082809. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 23 REQUEST FOR NOTIFICATION OF SURFACE DEVELOPMENT FILED BY RME PETROLEUM COMPANY AND RMC LAND CORP., RECORDED MAY 20, 2002 AT RECEPTION NO. C091793. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 24 AN EASEMENT FOR WATER DRAINAGE AND INCIDENTAL PURPOSES GRANTED TO WATKINS STORAGE COMPANY, LLC BY THE INSTRUMENT RECORDED JULY 22, 2002 AT RECEPTION NO. C099666. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 25 THE FOLLOWING MATTERS AS DISCLOSED BY ALTAACSM LAND TITLE SURVEY PREPARED BY WESTERN STATES SURVEYING, INC. ON AUGUST 04, 2005, JOB NO. 20050-0420, AS FOLLOWS: (A) APPARENT EASEMENT OR OVERHEAD ELECTRIC LINES, POWER POLLS AND ELECTRIC METER LINES LYING OUTSIDE OF A RECORDED EASEMENT. (B) WATER WELLS. (C) UNDERGROUND UTILITIES RUNNING ALONG THE NORTHERLY AND EASTERLY PORTION OF SAID PREMISES AS DISCLOSED BY UNDERGROUND MARKERS. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 26 ANY LOSS, CLAIM OR DAMAGE, INCLUDING THE RIGHTS, INTEREST OR CLAIMS OF OTHERS RESULTING FROM THE CONFLICTING LOCATION OF THE EAST SECTION LINE OF SECTION 11, TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6TH P.M., ADAMS COUNTY, COLORADO AND THE TWO SETS OF MONUMENTS USED FOR THE EAST QUARTER CORNER OF SAID SECTION AND CREATED BY DEED AND SURVEY OF TOWNSHIP 3 SOUTH, RANGE 64 WEST OF THE 6TH P.M. JUDICIAL DISTRICT, CASE NO. 1467, DATED OCTOBER 4, 1920 AND MONUMENT SET BY CECIL CROWE, PE & LS 12330 ON APRIL 11, 1966 AND AS LOCATED ON ALTAACSM LAND TITLE SURVEY PREPARED BY WESTERN STATES SURVEYING, INC. ON AUGUST 04, 2005, JOB NO. 20050-0420. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 27 DEED OF TRUST FROM FREX, LLC, A TEXAS LIMITED LIABILITY COMPANY, TO THE PUBLIC TRUSTEE OF ADAMS COUNTY, FOR THE BENEFIT OF BIG SUR WATERBODIES, INC., A COLORADO CORPORATION, SECURING AN ORIGINAL PRINCIPAL INDEBTEDNESS THEREBY, DATED JUNE 17, 2005, RECORDED ON NOVEMBER 08, 2005 AT RECEPTION NUMBER 200511080128790. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 28 TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE ACCESS EASEMENT AGREEMENT BY AND BETWEEN MCCLUSKEY FAMILY LIVING TRUST, G.A. VAN DYK AND DOROTHY MARGARET VAN DYK AND BILLIE MARIE BRENNAN AND DEWITT BRENNAN RECORDED OCTOBER 28, 2003 AT RECEPTION NUMBER B3234045. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND IS PLOTTED HEREON.)
- 29 TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE MEMORANDUM OF SURFACE USE AGREEMENT RECORDED DECEMBER 28, 2010, AT RECEPTION NO. B0135149. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 30 PAID-UP OIL AND GAS LEASE RECORDED DECEMBER 28, 2010, AT RECEPTION NO. D0135150. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 31 RESERVATIONS OF (1) RIGHT OF PROPRIETOR OF ANY PENETRATING VEIN OR LODE TO EXTRACT HIS ORE, AND (2) RIGHT OF WAY FOR ANY DITCHES OR CANALS CONSTRUCTED BY AUTHORITY OF THE UNITED STATES, IN U.S. PATENT RECORDED JANUARY 13, 1969 IN BOOK 457 AT PAGE 100. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 32 ANY ASSESSMENT OR LIEN OF WEST ARAPAHOE SOIL AND CONSERVATION DISTRICT, AS DISCLOSED BY THE INSTRUMENT RECORDED DECEMBER 27, 1995 IN BOOK 348 AT PAGE 214. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 33 ANY ASSESSMENT OR LIEN OF BENNETT FIRE PROTECTION DISTRICT, AS DISCLOSED BY THE INSTRUMENT RECORDED DECEMBER 28, 1992 IN BOOK 1376 AT PAGE 111. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)

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- 34 TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE MEMORANDUM OF SURFACE USE AGREEMENT RECORDED DECEMBER 28, 2010, AT RECEPTION NO. D0135148. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 35 AN EASEMENT FOR COMMUNICATION SYSTEMS AND INCIDENTAL PURPOSES, 16.5 FEET IN WIDTH RUNS ALONG EITHER SIDE OF THE NORTH PROPERTY LINE, GRANTED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY THE INSTRUMENT RECORDED MAY 13, 1969 IN BOOK 1189 AT PAGE 509. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, THE LEGAL DESCRIPTION OF SAID EASEMENT IS ILLEGIBLE AND IS NOT PLOTTED HEREON.)
- 36 ANY ASSESSMENT OR LIEN OF THE BENNETT FIRE PROTECTION DISTRICT, AS DISCLOSED BY THE INSTRUMENT RECORDED OCTOBER 27, 1992 IN BOOK 1376 AT PAGE 111. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 37 TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE EASEMENT TO CONDUCT EXPLORATORY OPERATIONS, OPTION FOR GAS STORAGE, GRANT, OIL AND GAS LEASE BY AND BETWEEN DOUGLAS A. CARUTHERS AND PUBLIC SERVICE COMPANY OF COLORADO, A CORPORATION RECORDED JULY 2, 1969 IN BOOK 1441 AT PAGE 561. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, THE EASEMENT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.)
- 38 TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE FINDINGS OF FACTS, CONCLUSIONS OF LAW, RULING OF REFEREE, AND DECREE RECORDED MARCH 23, 2005, AT RECEPTION NO. B066158. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 39 RIGHT OF WAY FOR PIPELINE GRANTED TO THE COLORADO INTERSTATE GAS COMPANY IN INSTRUMENT RECORDED JUNE 7, 1947 IN BOOK 579 AT PAGE 356 (AFFECTS NW 1/4 OF SAID SECTION 2 AND THE NE 1/4 OF SAID SECTION 2. NOTE: PARTIAL RELEASE OF RIGHT-OF-WAY AGREEMENT RECORDED APRIL 24, 1979 IN BOOK 2071 AT PAGE 67. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, THE EASEMENT IS NOT SPECIFICALLY DEFINED AND IS NOT PLOTTED HEREON.)
- 40 THE EFFECT OF THE INCLUSION OF THE SUBJECT PROPERTY IN THE AURORA HOSPITAL DISTRICT, AS DISCLOSED BY THE INSTRUMENT RECORDED JUNE 26, 1962 IN BOOK 1351 AT PAGE 259. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 41 AN UNDIVIDED 1/4 INTEREST IN THE PROPORTIONS OF AN UNDIVIDED 1/8 TO EACH OF THE GRANTEE NAMED WITHIN THE INSTRUMENT RECORDED FEBRUARY 19, 1971 IN BOOK 1969 AT PAGE 814 OF OIL, GAS AND OTHER MINERALS LYING IN AND UNDER THE SE 1/2 OF ANY AND ALL ASSIGNMENTS THEREOF OR INTERESTS THEREIN. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 42 AN EASEMENT FOR A PIPE LINE AND ADDITIONAL PIPE LINE FOR THE TRANSPORTATION OF OIL, GAS, PETROLEUM OR ANY OF ITS PRODUCTS AND INCIDENTAL PURPOSES GRANTED TO CHASE TRANSPORTATION COMPANY BY THE INSTRUMENT RECORDED APRIL 12, 1973 IN BOOK 2117 AT PAGE 787, UPON THE TERMS AND CONDITIONS SET FORTH IN THE INSTRUMENT. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. THE EASEMENT'S APPROXIMATE LOCATION IS PLOTTED HEREON.)
- 43 AN EASEMENT FOR A PIPE LINE FOR THE TRANSPORTATION OF OIL, GAS, WATER, ANY OTHER SUBSTANCES WHETHER FLUID OR SOLID AND INCIDENTAL PURPOSES GRANTED TO AMOCO PIPELINE COMPANY, A MAINE CORPORATION BY THE INSTRUMENT RECORDED MAY 23, 1974 IN BOOK 2240 AT PAGE 743, UPON THE TERMS AND CONDITIONS SET FORTH IN THE INSTRUMENT. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 44 TERMS, CONDITIONS, PROVISIONS, AGREEMENTS, OBLIGATIONS AND RIGHT OF WAY UNDER THE RIGHT OF WAY AGREEMENT RECORDED JUNE 18, 1996 AT RECEPTION NO. A6076998. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. THE EASEMENT'S APPROXIMATE LOCATION IS PLOTTED HEREON.)
- 45 TERMS, CONDITIONS, AND PROVISIONS OF UNRECORDED LEASE AGREEMENT BETWEEN WILLIAM L. TURNAGE, AS PERSONAL REPRESENTATIVE OF THE ESTATE OF EDWIN FISCHAH, DECEASED LESSOR, AND GRAY A. VAN DYK AS LESSEE, DATED JULY 16, 1999. (NO DOCUMENT PROVIDED.)
- 46 AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES GRANTED TO WILLIAMS COMMUNICATIONS, INC., A DELAWARE CORPORATION BY THE INSTRUMENT RECORDED NOVEMBER 2, 1998 AT RECEPTION NO. A8174205. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND IS PLOTTED HEREON.)
- 47 THE FOLLOWING MATTERS AS SET FORTH ON ALTAACSM SURVEY BY WESTERN STATES SURVEYING, INC. DATED MAY 21, 1999 AND LAST REVISION AUGUST 15, 1999, JOB NO. 9946-0001: (A) ACCESS ROAD RUNNING ALONG THE NORTH PROPERTY LINE WITH HIGHWAY RIGHT-OF-WAY. (B) DIRT CROP ROADS RUNNING ALONG THE SOUTH AND WEST LINES OF SAID SECTION 2 ENCLOSED OVER THE SECTION LINE. (C) COLORADO INTERSTATE GAS LINES RUN THROUGH THE SOUTHEAST QUARTER OF SAID SECTION 2. (D) UTILITY LINES RUN ALONG THE NORTH, SOUTH AND WEST PROPERTY LINES. (E) DISCREPANCIES IN PROPERTY LINE MEASUREMENTS TO THE EXISTING MONUMENTS SET FOR THE RIGHT-OF-WAY LINE OF INTERSTATE 70. (THIS ITEM APPLIES TO PARCEL III AND ITEMS ARE SHOWN HEREON.)
- 48 TERMS AND CONDITIONS INCLUDING RIGHT TO LIMIT ACCESS BY THE DEPARTMENT OF HIGHWAYS, STATE OF COLORADO AS SET FORTH ON INSTRUMENT RECORDED SEPTEMBER 2, 1958 IN BOOK 1890 AT PAGE 568. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 49 AN EASEMENT AND RIGHT OF WAY AGREEMENT FOR COMMUNICATION FACILITIES AND INCIDENTAL PURPOSES GRANTED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY THE INSTRUMENT RECORDED MAY 13, 1969 IN BOOK 1189 AT PAGE 501. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 50 DEED OF TRUST FROM F. EXCHANGES, INC., A COLORADO CORPORATION TO THE PUBLIC TRUSTEE OF ARAPAHOE COUNTY, FOR THE BENEFIT OF WIL LANE, JR. AND RELEASE RECORDED APRIL 2, 1992 IN BOOK 628 AT PAGE 629. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 51 TERMS, AGREEMENTS, PROVISIONS, CONDITIONS AND OBLIGATIONS AS CONTAINED IN RIGHT-OF-WAY AGREEMENT BY AND BETWEEN GENE L. LINNEBURD AND SHIRLEY M. LINNEBURD AND AMOCO PIPELINE COMPANY RECORDED MARCH 29, 1996 AT RECEPTION NO. A032026. (SOUTH 1/2 OF SECTION 11. THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, THE EASEMENT IS NOT SPECIFICALLY DEFINED AND IS NOT PLOTTED HEREON.)
- 52 MINERAL RESERVATION OF ALL COAL AND OTHER MINERALS AS CONTAINED IN DEED FROM UNION PACIFIC LAND COMPANY, MARCH 8, 1912 IN BOOK 68 AT PAGE 8, QUIT CLAIM DEED TO UNION PACIFIC LAND RESOURCES, A UTAH CORPORATION RECORDED APRIL 16, 1971 IN BOOK 1920 AT PAGE 247 AND RELEASE AND QUIT CLAIM DEED RECORDED NOVEMBER 2, 1998 AT RECEPTION NO. A8189797 (AFFECTS SECTION 7). (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 53 AN EASEMENT FOR GAS PIPELINE AND INCIDENTAL PURPOSES GRANTED TO COLORADO INTERSTATE GAS COMPANY BY THE INSTRUMENT RECORDED MAY 20, 1947 IN BOOK 578 AT PAGE 111. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, THE EASEMENT IS NOT SPECIFICALLY DEFINED AND IS NOT PLOTTED HEREON.)
- 54 AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES GRANTED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY THE INSTRUMENT RECORDED MAY 13, 1969 IN BOOK 1189 AT PAGE 495. (DOCUMENT PROVIDED ILLEGIBLE.)
- 55 AN EASEMENT FOR UTILITIES AND INCIDENTAL PURPOSES GRANTED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY THE INSTRUMENT RECORDED OCTOBER 26, 1972 IN BOOK 2070 AT PAGE 140. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 56 AN EASEMENT FOR OIL AND GAS PIPELINE AND INCIDENTAL PURPOSES GRANTED TO CHASE TRANSPORTATION COMPANY BY THE INSTRUMENT RECORDED OCTOBER 28, 1972 IN BOOK 2181 AT PAGE 702. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 57 AN EASEMENT FOR OIL AND GAS PIPELINE AND INCIDENTAL PURPOSES GRANTED TO AMOCO PIPELINE COMPANY BY THE INSTRUMENT RECORDED MAY 23, 1974 IN BOOK 2240 AT PAGE 733. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 58 AN EASEMENT FOR OIL AND GAS PIPELINE AND INCIDENTAL PURPOSES GRANTED TO DIAMOND CHANNEL COMPANY BY THE INSTRUMENT RECORDED APRIL 26, 1968 IN BOOK 1896 AT PAGE 505 AT PAGE 34. (DOES NOT APPLY TO THE SUBJECT PROPERTY. DOCUMENT PROVIDED IS A DEED OF TRUST, NOT AN EASEMENT.)
- 59 AN EASEMENT FOR UNDERGROUND COMMUNICATION SYSTEM AND INCIDENTAL PURPOSES GRANTED TO WILLIAMS COMMUNICATIONS, INC. BY THE INSTRUMENT RECORDED OCTOBER 8, 1998 AT RECEPTION NO. A8161034. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 60 REQUEST FOR NOTIFICATION OF SURFACE DEVELOPMENT RECORDED MAY 16, 2002 AT RECEPTION NO. B2090657. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 61 RIGHT OF WAY 30 FEET IN WIDTH FOR EAST ALAMEDA AVENUE, EAST 8TH AVENUE, WATKINS ROAD AND MIDDEN MILE ROAD. (PLOTTED WHERE APPLICABLE.)
- 62 TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE FINDINGS OF FACTS, CONCLUSIONS OF LAW, RULING OF REFEREE, AND DECREE RECORDED FEBRUARY 21, 2006, AT RECEPTION NO. B6022188. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 63 HOUSE LEASE BETWEEN LUTHER SEMINARY AND REGY SNYDER, AS TENANT ONLY, DATED SEPTEMBER 1, 2004. (NO DOCUMENT PROVIDED.)

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- 64 TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS, EASEMENTS AND AGREEMENTS AS SET FORTH IN THE COLORADO INTERSTATE GAS COMPANY PROTECTION UNIT EASEMENT RECORDED AUGUST 28, 2008, AT RECEPTION NO. B612684. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, THE EASEMENT IS NOT SPECIFICALLY DEFINED AND IS NOT PLOTTED HEREON.)
- 65 RESERVATIONS BY THE UNION PACIFIC LAND COMPANY OF (1) OIL, COAL AND OTHER MINERALS UNDERLYING THE LAND, (2) THE EXCLUSIVE RIGHT TO PROSPECT FOR, MINE AND REMOVE OIL, COAL AND OTHER MINERALS, AND (3) THE RIGHT OF INGRESS AND EGRESS AND REGRESS TO PROSPECT FOR, MINE AND REMOVE OIL, COAL AND OTHER MINERALS, ALL AS CONTAINED IN DEED RECORDED MAY 11, 1959 IN BOOK 36 AT PAGE 715 AND RELEASE AND QUIT CLAIM DEED TO UNION PACIFIC LAND RESOURCES CORPORATION RECORDED NOVEMBER 23, 1998 IN BOOK 5647 AT PAGE 272, AND ANY AND ALL ASSIGNMENTS THEREOF OR INTERESTS THEREIN. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 66 DOCUMENT RECORDED IN BOOK 36 AT PAGE 715 DOES NOT APPLY TO THE SUBJECT PROPERTY. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 67 AN EASEMENT FOR RIGHT-OF-WAY AND INCIDENTAL PURPOSES GRANTED TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY BY THE INSTRUMENT RECORDED MARCH 19, 1929 IN BOOK 278 AT PAGE 325. (DOCUMENT PROVIDED ILLEGIBLE.)
- 68 AN EASEMENT FOR RIGHT-OF-WAY AND INCIDENTAL PURPOSES GRANTED TO COLORADO INTERSTATE GAS COMPANY BY THE INSTRUMENT RECORDED OCTOBER 17, 1947 IN BOOK 581 AT PAGE 152. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, THE EASEMENT IS NOT SPECIFICALLY DEFINED AND IS NOT PLOTTED HEREON.)
- 69 EACH AND EVERY RIGHT OR RIGHTS OF ACCESS TO AND FROM ANY PART OF THE RIGHT-OF-WAY FOR COLORADO STATE HIGHWAY NO. 8 (INTERSTATE 70) AS CONTAINED IN INSTRUMENT RECORDED AUGUST 14, 1968 IN BOOK 1078 AT PAGE 60. (DOCUMENT PROVIDED ILLEGIBLE.)
- 70 AN EASEMENT FOR RIGHT-OF-WAY AND INCIDENTAL PURPOSES GRANTED TO MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY THE INSTRUMENT RECORDED MAY 13, 1969 IN BOOK 1189 AT PAGE 509. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 71 ANY ASSESSMENT OR LIEN OF BENNETT FIRE PROTECTION DISTRICT, AS DISCLOSED BY THE INSTRUMENT RECORDED OCTOBER 27, 1992 IN BOOK 1376 AT PAGE 111. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 72 TERMS, AGREEMENTS, PROVISIONS, CONDITIONS AND OBLIGATIONS AS CONTAINED IN AGREEMENT RECORDED MARCH 29, 1996 IN BOOK 2117 AT PAGE 787. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 73 AN EASEMENT FOR RIGHT-OF-WAY AND INCIDENTAL PURPOSES GRANTED TO CHASE TRANSPORTATION COMPANY BY THE INSTRUMENT RECORDED MARCH 29, 1996 IN BOOK 2113 AT PAGE 581. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 74 EASEMENT AGREEMENT, TOGETHER WITH THE PROVISIONS THEREIN CONTAINED, AS GRANTED TO AMOCO PIPELINE COMPANY IN INSTRUMENT RECORDED MAY 23, 1974 IN BOOK 2240 AT PAGE 719. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 75 OIL AND GAS LEASE BETWEEN CHAMPLIN PETROLEUM COMPANY AND AMOCO PRODUCTION COMPANY RECORDED JANUARY 20, 2000 IN BOOK 2412 AT PAGE 100. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 76 AFFIDAVIT REGARDING RIGHTS OF UPPER AND LOWER OWNERS IN AND TO THE FREE AND UNOBSTRUCTED FLOW OF THE WATER OF THE BOX ELDER CREEK EXTENDING THROUGH THE LAND, WITHOUT DIMINUTION. (NO DOCUMENT PROVIDED.)
- 77 RIGHT-OF-WAY FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES AS RESERVED IN UNITED STATES PATENT RECORDED JANUARY 22, 1961 IN BOOK 457 AT PAGE 207. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 78 THE RIGHT OF PROPRIETOR OF A VEIN OR LODE TO EXTRACT OR REMOVE HIS ORE SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES THEREBY GRANTED AS RESERVED IN UNITED STATES PATENT RECORDED JANUARY 22, 1961 IN BOOK 457 AT PAGE 207; AND ANY AND ALL ASSIGNMENTS THEREOF OR INTERESTS THEREIN. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 79 RESERVATIONS OF RIGHT OF WAY FOR ANY DITCHES OR CANALS CONSTRUCTED BY AUTHORITY OF THE UNITED STATES, IN U.S. PATENT RECORDED MARCH 24, 1963 IN BOOK 457 AT PAGE 485. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 80 THE RIGHT OF PROPRIETOR OF A VEIN OR LODE TO EXTRACT OR REMOVE HIS ORE SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES THEREBY GRANTED AS RESERVED IN UNITED STATES PATENT RECORDED MARCH 24, 1963 IN BOOK 457 AT PAGE 485. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 81 AN EASEMENT FOR RIGHT-OF-WAY AND INCIDENTAL PURPOSES GRANTED TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY BY THE INSTRUMENT RECORDED JUNE 4, 1929 IN BOOK 284 AT PAGE 140. (DOCUMENT PROVIDED ILLEGIBLE.)
- 82 AN EASEMENT AND RELEASE AS GRANTED TO U.S. WEST COMMUNICATIONS, INC. BY THE INSTRUMENT RECORDED APRIL 2, 1992 IN BOOK 628 AT PAGE 629. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 83 TERMS, AGREEMENTS, PROVISIONS, CONDITIONS AND OBLIGATIONS AS CONTAINED IN RIGHT-OF-WAY AGREEMENT BY AND BETWEEN GENE L. LINNEBURD AND SHIRLEY M. LINNEBURD AND AMOCO PIPELINE COMPANY RECORDED MARCH 29, 1996 AT RECEPTION NO. A032026. (SOUTH 1/2 OF SECTION 11. THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, THE EASEMENT IS NOT SPECIFICALLY DEFINED AND IS NOT PLOTTED HEREON.)
- 84 TERMS, AGREEMENTS, PROVISIONS, CONDITIONS AND OBLIGATIONS AS CONTAINED IN RIGHT-OF-WAY AGREEMENT BY AND BETWEEN GENE L. LINNEBURD AND SHIRLEY M. LINNEBURD AND WILLIAMS COMMUNICATIONS, INC. RECORDED OCTOBER 20, 1998 AT RECEPTION NO. A8187214. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 85 CONVEYANCES AND RESERVATIONS OF RELEASE AND QUIT CLAIM DEED FROM UNION PACIFIC RAILROAD COMPANY TO UNION PACIFIC LAND RESOURCES CORPORATION RECORDED NOVEMBER 23, 1998 AT RECEPTION NO. A8189797. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 86 THE EFFECT OF NOTICE OF REQUEST FOR NOTIFICATION OF SURFACE DEVELOPMENT RECORDED MAY 16, 2002 AT RECEPTION NO. B2090658. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 87 RIGHT-OF-WAY TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY RECORDED IN BOOK 464 AT PAGE 278. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS DO NOT CONTAIN ANY PLOTTABLE ITEMS. THE DOCUMENT IS NOT RIGHT-OF-WAY. IT IS A DEED THAT TRANSFERS OWNERSHIP.)
- 88 THE EFFECT OF DISCONTINUANCE MAP OF TOWN OF WATKINS RECORDED NOVEMBER 29, 2006 AT RECEPTION NO. B6167936. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 89 THE RIGHT OF PROPRIETOR OF A VEIN OR LODE TO EXTRACT OR REMOVE HIS ORE SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES THEREBY GRANTED AS RESERVED IN UNITED STATES PATENT RECORDED MARCH 24, 1963 IN BOOK 457 AT PAGE 715. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 90 AN EASEMENT TO CONSTRUCT, OPERATE, MAINTAIN, REPLACE AND REMOVE SUCH COMMUNICATION SYSTEM AS THE GRANTEE MAY FROM TIME TO TIME REQUIRE CONSISTING OF UNDERGROUND CONDUIT, CABLES, WIRES, MANHOLES, SURFACE TESTING TERMINALS AND MARKERS AND INCIDENTAL PURPOSES GRANTED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY THE INSTRUMENT RECORDED MAY 13, 1969 IN BOOK 1189 AT PAGE 505 AND AS SHOWN ON ALTAACSM LAND TITLE SURVEY PREPARED BY ENGINEERING SERVICE COMPANY ON MAY 11, 2008 SURVEY NO. 08687-C. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 91 AN EASEMENT TO CONSTRUCT, RECONSTRUCT, REPAIR, OPERATE, MAINTAIN, INSPECT, ALTER, REPAIR, REMOVE AND RE-LAY A PIPE LINE AND ADDITIONAL PIPE LINES FOR THE TRANSPORTATION OF OIL, GAS, PETROLEUM OR ANY OF ITS PRODUCTS AND INCIDENTAL PURPOSES GRANTED TO CHASE TRANSPORTATION COMPANY BY THE INSTRUMENT RECORDED APRIL 12, 1973 IN BOOK 2117 AT PAGE 784. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 92 THE EFFECT OF DISCONTINUANCE MAP OF TOWN OF WATKINS RECORDED NOVEMBER 29, 2006 AT RECEPTION NO. B6167936. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 93 THE RIGHT OF PROPRIETOR OF A VEIN OR LODE TO EXTRACT OR REMOVE HIS ORE SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES THEREBY GRANTED AS RESERVED IN UNITED STATES PATENT RECORDED MARCH 24, 1963 IN BOOK 457 AT PAGE 715. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 94 AN EASEMENT TO CONSTRUCT, OPERATE, MAINTAIN, REPLACE AND REMOVE SUCH COMMUNICATION SYSTEM AS THE GRANTEE MAY FROM TIME TO TIME REQUIRE CONSISTING OF UNDERGROUND CONDUIT, CABLES, WIRES, MANHOLES, SURFACE TESTING TERMINALS AND MARKERS AND INCIDENTAL PURPOSES GRANTED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY THE INSTRUMENT RECORDED MAY 13, 1969 IN BOOK 1189 AT PAGE 505 AND AS SHOWN ON ALTAACSM LAND TITLE SURVEY PREPARED BY ENGINEERING SERVICE COMPANY ON MAY 11, 2008 SURVEY NO. 08687-C. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 95 AN EASEMENT TO CONSTRUCT, RECONSTRUCT, REPAIR, OPERATE, MAINTAIN, INSPECT, ALTER, REPAIR, REMOVE AND RE-LAY A PIPE LINE AND ADDITIONAL PIPE LINES FOR THE TRANSPORTATION OF OIL, GAS, PETROLEUM OR ANY OF ITS PRODUCTS AND INCIDENTAL PURPOSES GRANTED TO CHASE TRANSPORTATION COMPANY BY THE INSTRUMENT RECORDED APRIL 12, 1973 IN BOOK 2117 AT PAGE 784. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 96 TERMS, CONDITIONS, PROVISIONS, BURDENS AND OBLIGATIONS CONTAINED IN ACCESS EASEMENT AGREEMENT RECORDED OCTOBER 28, 2003 AT RECEPTION NO. B3234045. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 97 AN EASEMENT TO CONSTRUCT, OPERATE, MAINTAIN, REPLACE AND REMOVE SUCH COMMUNICATION SYSTEMS AS THE GRANTEE MAY FROM TIME TO TIME REQUIRE CONSISTING OF UNDERGROUND CONDUIT, CABLES, WIRES, MANHOLES, SURFACE TESTING TERMINALS AND MARKERS AND INCIDENTAL PURPOSES GRANTED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY THE INSTRUMENT RECORDED MAY 13, 1969 IN BOOK 1189 AT PAGE 505. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 98 ANY ASSESSMENT OR LIEN OF THE BENNETT FIRE PROTECTION DISTRICT, AS DISCLOSED BY THE INSTRUMENT RECORDED OCTOBER 27, 1992 IN BOOK 1376 AT PAGE 111. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 99 AN EASEMENT TO CONSTRUCT, RECONSTRUCT, REPAIR, OPERATE, MAINTAIN, INSPECT, ALTER, REPAIR, REMOVE AND RE-LAY A PIPE LINE AND ADDITIONAL PIPE LINES FOR THE TRANSPORTATION OF OIL, GAS, PETROLEUM, OR ANY OF ITS PRODUCTS AND INCIDENTAL PURPOSES GRANTED TO CHASE TRANSPORTATION COMPANY BY THE INSTRUMENT RECORDED APRIL 12, 1973 IN BOOK 2117 AT PAGE 784. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, THE EASEMENT IS NOT SPECIFICALLY DEFINED AND IS NOT PLOTTED HEREON.)
- 100 AN EASEMENT FOR THE TRANSPORTATION OF OIL, GAS, WATER, ANY OTHER SUBSTANCES WHETHER FLUID OR SOLID AND INCIDENTAL PURPOSES GRANTED TO AMOCO PIPELINE COMPANY BY THE INSTRUMENT RECORDED MAY 23, 1974 IN BOOK 2240 AT PAGE 731. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 101 AN EASEMENT FOR UNDERGROUND COMMUNICATION SYSTEMS AND INCIDENTAL PURPOSES GRANTED TO WILLIAMS COMMUNICATIONS, INC., A DELAWARE CORPORATION BY THE INSTRUMENT RECORDED NOVEMBER 2, 1998 AT RECEPTION NO. A8190324. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 102 TERMS, CONDITIONS, PROVISIONS, AGREEMENTS, AND OBLIGATIONS SPECIFIED UNDER THE DEFERRED PAYMENT OF RIGHT OF WAY AGREEMENT BY AND BETWEEN CHARLES J. TAFT, AS PERSONAL REPRESENTATIVE FOR MARGARET I. TAFT, DECEASED, CHARLES J. TAFT, SUSAN K. TAFT, CHARLES H. TAFT, RACHEL S. TAFT AND LUTHER SEMINARY, A NON-PROFIT CORPORATION FKIA LUTHER NORTHWESTERN THEOLOGICAL SEMINARY AND DIAMOND SHAMROCK PIPELINE COMPANY, RECORDED SEPTEMBER 6, 1995 IN BOOK 8066 AT PAGE 38. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, THE EASEMENT LOCATION IS NOT SPECIFICALLY DEFINED AND IS NOT PLOTTED HEREON.)

#### (CONTINUED)

- 103 PAID-UP OIL AND GAS LEASE RECORDED DECEMBER 28, 2010, AT RECEPTION NO. D0135151. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 104 RESERVATION OF ALL OIL, COAL AND OTHER MINERALS. THENCE EXCLUSIVE RIGHT TO PROSPECT, THE RIGHT OF INGRESS, EGRESS AND REGRESS, AND OTHER RESERVATIONS UNDER DEED FROM UNION PACIFIC LAND COMPANY TO J. M. GINGRICH RECORDED APRIL 5, 1910 IN BOOK 36 AT PAGE 197. (THIS ITEM DOES NOT APPLY TO THE SUBJECT PROPERTY.)
- 105 ANY ASSESSMENT OR LIEN OF BENNETT FIRE PROTECTION DISTRICT, AS DISCLOSED BY THE INSTRUMENT RECORDED OCTOBER 27, 1992 IN BOOK 1376 AT PAGE 111. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 106 RESERVATIONS AND GRANTS OF DEED FROM UNION PACIFIC RAILROAD COMPANY TO UNION PACIFIC LAND RESOURCES CORPORATION RECORDED APRIL 16, 1971 IN BOOK 1920 AT PAGE 247. AS MODIFIED BY RELEASE AND QUIT CLAIM DEED RECORDED NOVEMBER 2, 1998 AT RECEPTION NO. B1819797. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 107 TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS SPECIFIED UNDER THE EASEMENT AND RIGHT-OF-WAY BY AND BETWEEN FLORENCE MARIE MCCLUSKEY AND G. A. VAN DYK AND RECORDED MAY 8, 1975 IN BOOK 2335 AT PAGE 784. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 108 MINERAL CONVEYANCE TO CHAMPLIN PETROLEUM COMPANY RECORDED JANUARY 14, 1978 IN BOOK 2410 AT PAGE 77. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 109 THE EFFECT OF NOTIFICATION OF SURFACE DEVELOPMENT BY RME LAND CORP. (FKA UNION PACIFIC LAND RESOURCES CORPORATION) RECORDED MAY 16, 2002 AT RECEPTION NO. B2090660. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 110 AN OIL AND GAS LEASE, FROM CHAMPLIN PETROLEUM COMPANY AS LESSOR(S) TO AMOCO PRODUCTION COMPANY AS LESSEE(S) DATED OCTOBER 23, 1975, RECORDED JANUARY 6, 1976 IN BOOK 2412 AT PAGE 347 (BOOK 2038 AT PAGE 151, ADAMS COUNTY) AND RATIFICATION OF LEASE RECORDED JANUARY 14, 1991 IN BOOK 6080 AT PAGE 258 (BOOK 3735 AT PAGE 141, ADAMS COUNTY), AND ANY AND ALL ASSIGNMENTS THEREOF OR INTERESTS THEREIN. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 111 AN EASEMENT FOR RIGHT-OF-WAY AND INCIDENTAL PURPOSES GRANTED TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY BY THE INSTRUMENT RECORDED JUNE 4, 1929 IN BOOK 284 AT PAGE 140. (DOCUMENT PROVIDED ILLEGIBLE.)
- 112 THE FOLLOWING MATTERS DISCLOSED ON SURVEY DATED SEPTEMBER 8, 2003 BY BURDICK ENGINEERING CONSULTANTS, INC., JOB NO. 94511: (A) ANY EASEMENT RIGHTS BY REASON OF UNDERGROUND ELECTRIC LINE CROSSING SUBJECT PROPERTY AT SOUTHWEST CORNER. (B) ANY EASEMENT RIGHTS FOR THE USE OF THE PUBLIC OVER THE NORTHERLY 30 FEET OF SUBJECT PROPERTY. (C) ANY EASEMENT RIGHTS BY REASON OF TWO-TRACK ROAD 12 FEET IN WIDTH ALONG THE NORTH BOUNDARY LINE. (THIS ITEM APPLIES TO PARCEL III AND ITEMS THAT ARE NOT PLOTTABLE ARE SHOWN HEREON.)
- 113 TERMS, CONDITIONS, BURDENS AND OBLIGATIONS CONTAINED IN ACCESS EASEMENT AGREEMENT RECORDED OCTOBER 28, 2003 AT RECEPTION NO. B3234045. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY AND PLOTTABLE ITEMS ARE SHOWN HEREON.)
- 114 TERMS, CONDITIONS, PROVISIONS, OBLIGATIONS AND AGREEMENTS AS SET FORTH IN THE FINDINGS OF FACTS, CONCLUSIONS OF LAW, RULING OF REFEREE, AND DECREE RECORDED APRIL 12, 1973 IN BOOK 2117 AT PAGE 784. (THIS ITEM APPLIES TO THE SUBJECT PROPERTY. HOWEVER, IT DOES NOT CONTAIN ANY PLOTTABLE ITEMS.)
- 115 APURTINANT RIGHTS OF UPPER AND LOWER OWNERS IN AND TO THE FREE AND UNOBSTRUCTED FLOW OF THE WATER OF THE BOX ELDER CREEK EXTENDING THROUGH THE LAND, WITHOUT DIMINUTION. (NO DOCUMENT PROVIDED.)
- 116 LACK OF ACCESS TO COLORADO HIGHWAY NO. 8 (NOW KNOWN AS INTERSTATE 70) AS SET FORTH IN DEED RECORDED JULY

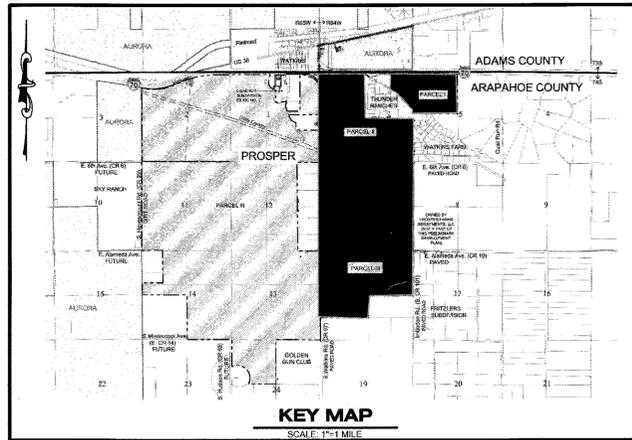
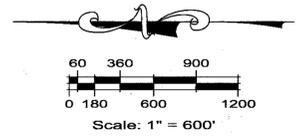
# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

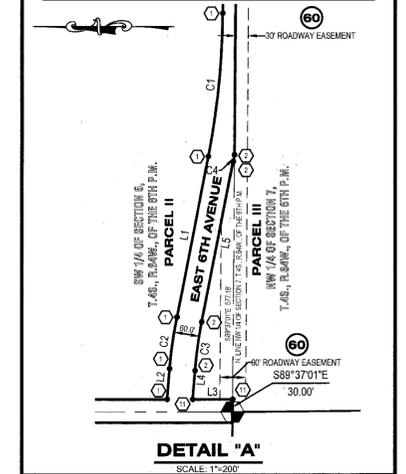
### SHEET 5 OF 42

### LAND SURVEY PLAT (3 OF 8)



LINE DATA TABLE		
COURSE	BEARING	LENGTH
L1	N78°53'39"W	386.54'
L2	N85°24'58"W	73.09'
L3	N00°34'24"W	94.77'
L4	S85°24'58"E	68.20'
L5	S78°53'39"E	386.77'

CURVE DATA TABLE					
COURSE	DELTA	RADIUS	LENGTH	CHG BEARING	CHG LENGTH
C1	10°43'22"	1818.20'	340.27'	N84°15'20"W	339.78'
C2	08°31'18"	1079.50'	122.87'	N82°09'19"W	122.81'
C3	08°31'18"	1079.50'	116.04'	S82°09'19"E	116.06'
C4	00°29'35"	1878.20'	16.16'	S79°08'28"E	16.16'



**MONUMENT NOTES & SCHEDULE**

- FOUND #4 REBAR WITH 1" RED PLASTIC CAP STAMPED WISSI 28849 (ACCEPTED); ALSO FOUND 3" DEPARTMENT OF HIGHWAYS, BRASS CAP LEARNING IN CONCRETE, S83°43'40"E A DISTANCE OF 4.35' (NOT ACCEPTED).
  - FOUND #4 REBAR WITH 1" RED PLASTIC CAP STAMPED WISSI 28849 (ACCEPTED); ALSO FOUND 3" DEPARTMENT OF HIGHWAYS, BRASS CAP LEARNING IN CONCRETE, S87°21'01"E A DISTANCE OF 3.99' (NOT ACCEPTED).
  - FOUND #4 REBAR WITH 1" RED PLASTIC CAP STAMPED WISSI 28849 (ACCEPTED); ALSO FOUND 3" DEPARTMENT OF HIGHWAYS, BRASS CAP LEARNING IN CONCRETE, S30°12'28"E A DISTANCE OF 2.59' (NOT ACCEPTED).
- ① FOUND #4 REBAR & YELLOW PLASTIC CAP L.S. NO. 27608.
  - ② FOUND #4 REBAR.
  - ③ FOUND 1 1/2" ILLIGIBLE ALUMINUM CAP.
  - ④ NOT USED.
  - ⑤ FOUND #4 REBAR WITH RED PLASTIC CAP STAMPED WISSI 23264.
  - ⑥ FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 9852.
  - ⑦ FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 27609.
  - ⑧ FOUND #3 REBAR.
  - ⑨ FOUND #5 REBAR.
  - ⑩ FOUND #4 REBAR WITH RED PLASTIC CAP STAMPED WISSI 28848.
  - ⑪ FOUND 1 1/4" ILLIGIBLE YELLOW PLASTIC CAP.
  - ⑫ FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 23963.
  - ⑬ FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 33202.
  - ⑭ FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 10717.
  - ⑮ FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 25645.
  - ⑯ FOUND #5 REBAR WITH 2" ALUMINUM CAP L.S. NO. 29827.
  - ⑰ FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 23961.
  - ⑱ FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 9010.
  - ⑲ FOUND #5 REBAR WITH RED PLASTIC CAP L.S. NO. 12330.
  - ⑳ FOUND #5 REBAR WITH ORANGE PLASTIC CAP L.S. NO. 25837.
  - ㉑ FOUND #6 REBAR.
  - ㉒ FOUND REBAR WITH YELLOW PLASTIC CAP L.S. NO. 18475.

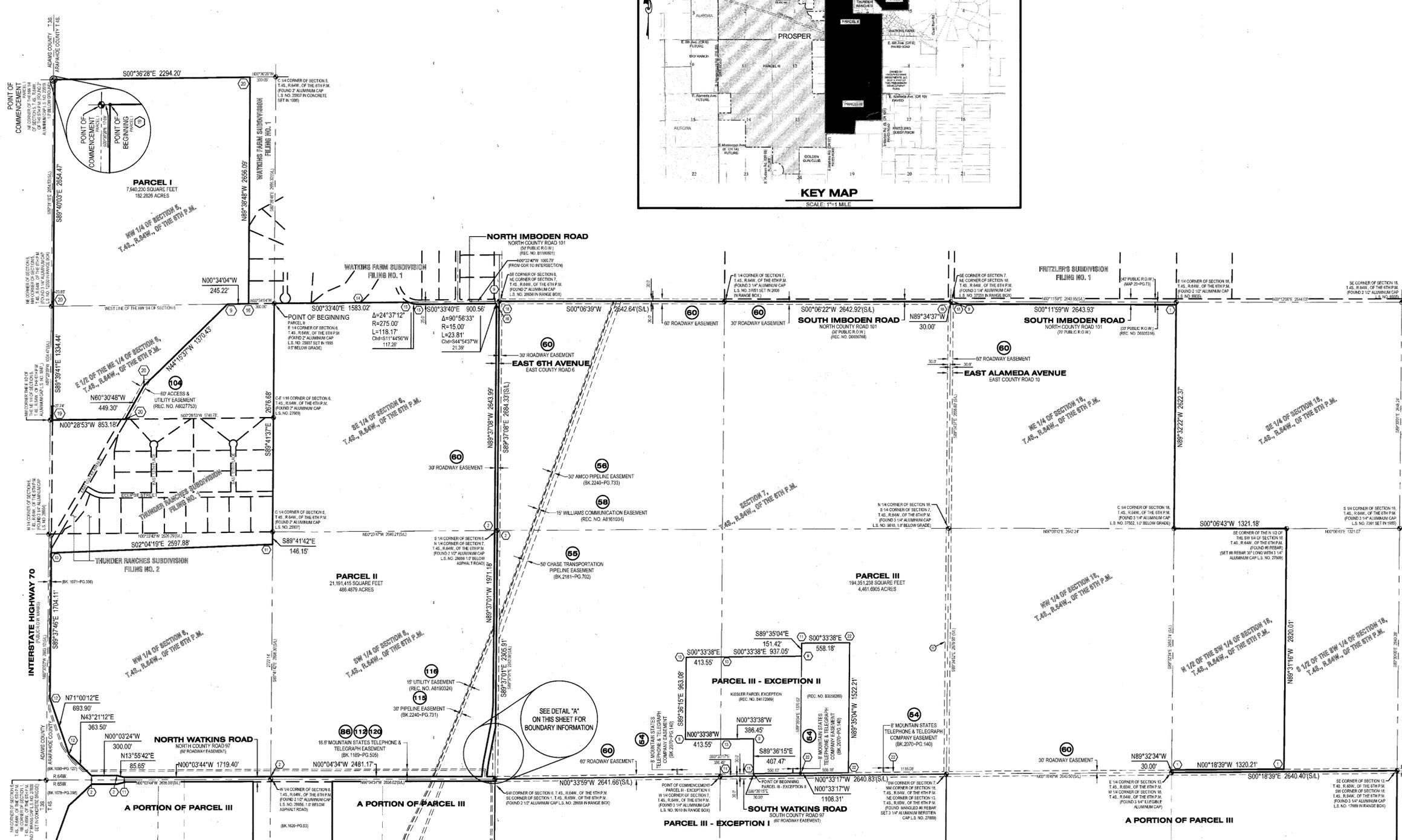


## LAND SURVEY PLAT OVERALL (EAST)

Scale: 1"=600'

Date: NOVEMBER 10, 2015

Revision Date:



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Drawn: C-285b Date of Preparation: 10/08/2012 Date of Last Revision: 5/20/2013

CASE NO. Z12-100

*Handwritten initials/signature*

# PROSPER

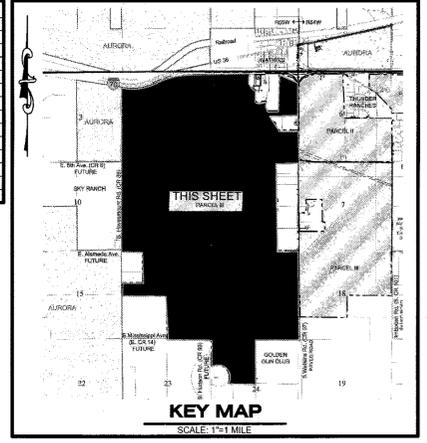
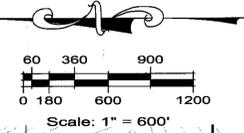
## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 6 OF 42

### LAND SURVEY PLAT (4 OF 8)

LINE DATA TABLE		
COURSE	BEARING	LENGTH
L8	S00°10'36"E	40.91
L9	S07°23'05"W	207.05
L10	S20°36'40"W	222.35
L11	S04°17'39"E	119.11
L12	S33°11'15"E	248.20
L13	S60°24'00"E	141.58
L14	S72°47'28"E	134.06
L15	S31°04'43"E	127.54
L16	S05°59'42"W	610.24
L17	S89°40'03"E	136.82
L18	N84°20'14"E	203.91
L19	N78°52'53"E	354.30
L20	S12°13'16"W	309.00



- MONUMENT NOTES & SCHEDULE**
- FOUND REBAR WITH 1" RED PLASTIC CAP STAMPED WSSI 28849 (ACCEPTED). ALSO FOUND 3" DEPARTMENT OF HIGHWAYS, BRASS CAP LEARNING IN CONCRETE, S88°43'47"E A DISTANCE OF 4.50' (NOT ACCEPTED).
  - FOUND REBAR WITH 1" RED PLASTIC CAP STAMPED WSSI 28849 (ACCEPTED). ALSO FOUND 3" DEPARTMENT OF HIGHWAYS, BRASS CAP LEARNING IN CONCRETE, S87°21'01"E A DISTANCE OF 3.99' (NOT ACCEPTED).
  - FOUND REBAR WITH 1" RED PLASTIC CAP STAMPED WSSI 28849 (ACCEPTED). ALSO FOUND 3" DEPARTMENT OF HIGHWAYS, BRASS CAP LEARNING IN CONCRETE, S71°20'29"E A DISTANCE OF 2.59' (NOT ACCEPTED).
- FOUND #5 REBAR & YELLOW PLASTIC CAP L.S. NO. 27609.
  - FOUND #4 REBAR.
  - FOUND 1 1/2" ILLEGIBLE ALUMINUM CAP.
  - NOT USED.
  - FOUND #4 REBAR WITH RED PLASTIC CAP STAMPED WSSI 23234.
  - FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 9862.
  - FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 27809.
  - FOUND #5 REBAR.
  - FOUND #5 REBAR.
  - FOUND #4 REBAR WITH RED PLASTIC CAP STAMPED WSSI 28649.
  - FOUND 1 1/4" ILLEGIBLE YELLOW PLASTIC CAP.
  - FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 23033.
  - FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 33202.
  - FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 10717.
  - FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 25845.
  - FOUND #5 REBAR WITH 2" ALUMINUM CAP L.S. NO. 25827.
  - FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 23961.
  - FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 9010.
  - FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 12330.
  - FOUND #5 REBAR WITH ORANGE PLASTIC CAP L.S. NO. 25627.
  - FOUND #5 REBAR.
  - FOUND REBAR WITH YELLOW PLASTIC CAP L.S. NO. 18475.



### LAND SURVEY PLAT OVERALL (WEST)

Scale: 1"=600'  
Date: NOVEMBER 10, 2015

Revision Date:	

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Drawer No: C-2658b Date of Preparation: 10/08/2012 Date of Last Revision: 5/20/2013

CASE NO. Z12-100

# PROSPER

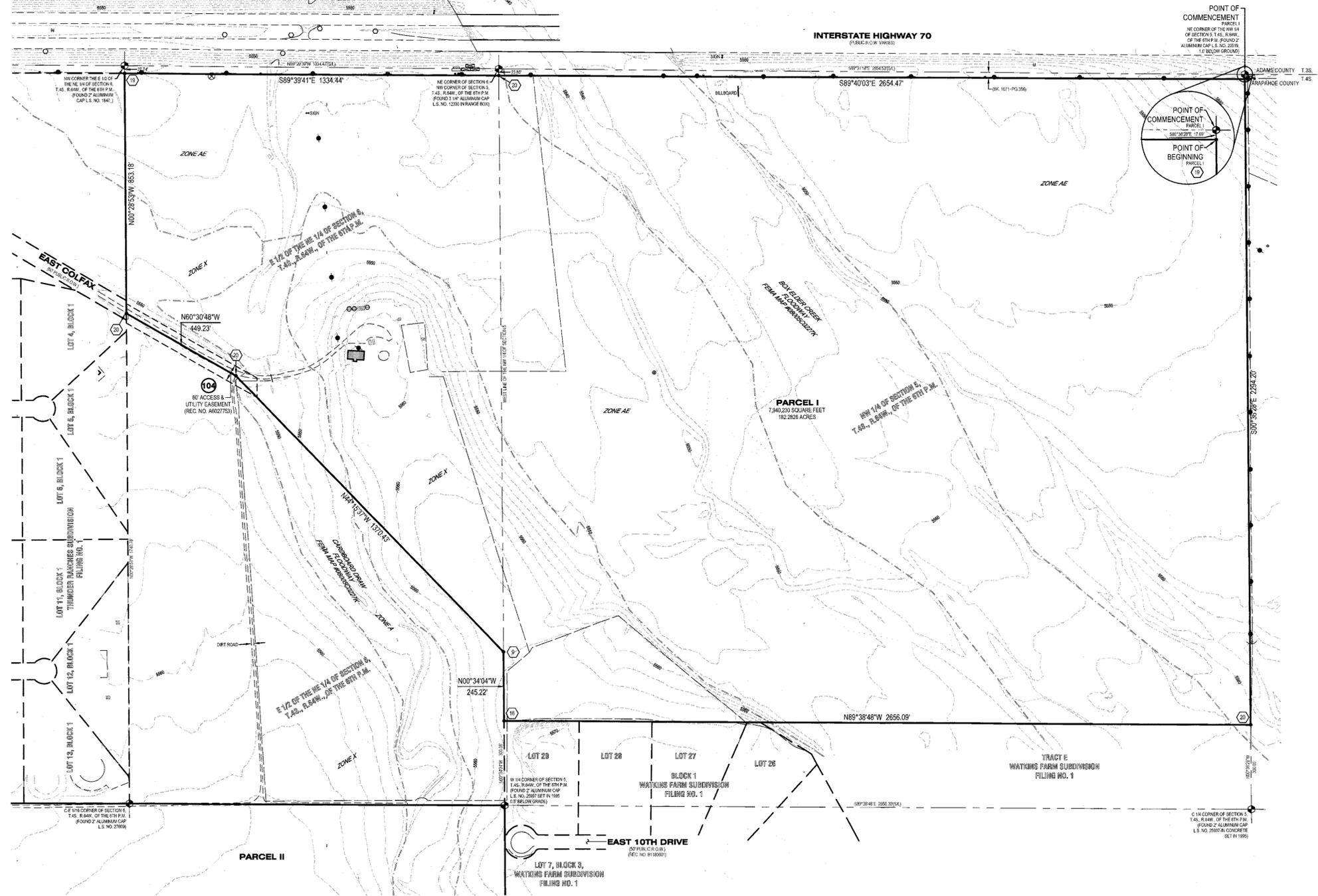
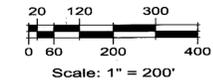
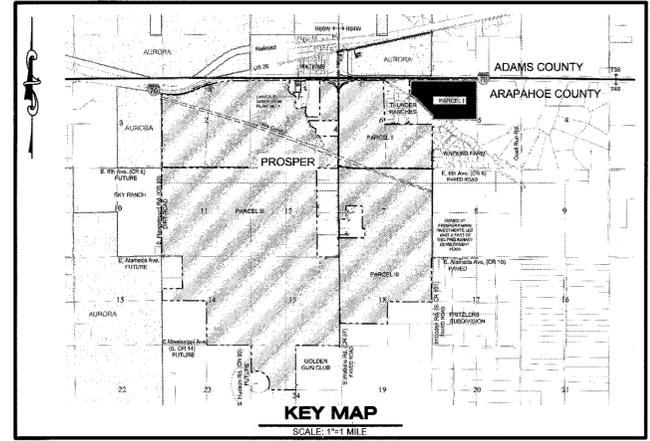
## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 7 OF 42

### LAND SURVEY PLAT (5 OF 8)

LEGEND			
	CONTOUR LINE		POST/POLE/ UNDERGROUND UTILITY MARKER
	EDGE OF PAVEMENT		SIGN
	DIRT ROAD		ELECTRICAL BOX
	EDGE OF CONCRETE		ELECTRICAL METER
	DRAINAGE		FIRE HYDRANT
	TREE LINE		MANHOLE
	FENCE LINE		VALVE COVER
	GUARD RAIL		MAIL BOX
	POWER POLES		MISC. OBJECT
	POLE ANCHOR		METER
	LIGHT POLE		UTILITY BOX
			BUILDING
			SHED
			RANKS / SILOS
			SECTION LINE DIMENSION
			AS RECORDED
			BOOK - PAGE
			REC. NO.
			RECEPTION NUMBER



- MONUMENT SCHEDULE**
- (1) FOUND #5 REBAR & YELLOW PLASTIC CAP L.S. NO. 27609.
  - (2) FOUND #4 REBAR.
  - (3) FOUND 1 1/2" ILLEGIBLE ALUMINUM CAP.
  - (4) NOT USED.
  - (5) FOUND #4 REBAR WITH RED PLASTIC CAP STAMPED WSSI 23524.
  - (6) FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 9652.
  - (7) FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 27609.
  - (8) FOUND #3 REBAR.
  - (9) FOUND #5 REBAR.
  - (10) FOUND #4 REBAR WITH RED PLASTIC CAP STAMPED WSSI 25649.
  - (11) FOUND 1 1/4" ILLEGIBLE YELLOW PLASTIC CAP.
  - (12) FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 23053.
  - (13) FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 33202.
  - (14) FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 10717.
  - (15) FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 25945.
  - (16) FOUND #5 REBAR WITH 2" ALUMINUM CAP L.S. NO. 25937.
  - (17) FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 23961.
  - (18) FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 9010.
  - (19) FOUND #5 REBAR WITH RED PLASTIC CAP L.S. NO. 12330.
  - (20) FOUND #5 REBAR WITH ORANGE PLASTIC CAP L.S. NO. 25937.
  - (21) FOUND #6 REBAR.
  - (22) FOUND REBAR WITH YELLOW PLASTIC CAP L.S. NO. 18475.



### LAND SURVEY PLAT PARCEL I

Scale: 1"=200'
Date: NOVEMBER 10, 2015
Revision Date:
<i>mmw/jhm</i>

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Drawn No: C-2858b Date of Preparation: 10/08/2012 Date of Last Revision: 5/20/2013

CASE NO. Z12-100

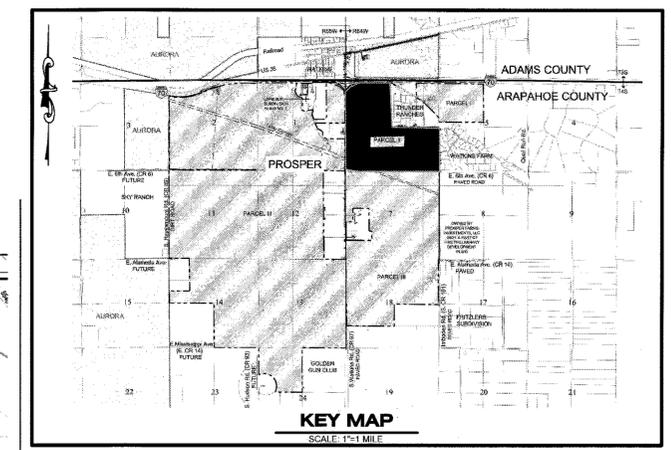
# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 8 OF 42

### LAND SURVEY PLAT (6 OF 8)



LINE DATA TABLE			
COURSE	BEARING	LENGTH	
L1	N71°53'39"W	336.54'	
L2	N85°24'58"W	73.07'	

CURVE DATA TABLE					
COURSE	DELTA	CHORDS	LENGTH	CHORD BEARING	CHORD LENGTH
C1	10°43'22"	1818.20'	340.27'	N84°15'20"W	339.78'
C2	06°31'18"	1079.50'	122.87'	N82°09'19"W	122.81'

S.W. 1/4 OF SECTION 6,  
T.4S., R.64W., OF THE 6TH P.M.

**DETAIL 'A'**  
SCALE: 1"=200'

- MONUMENT SCHEDULE**
- 1 FOUND #5 REBAR & YELLOW PLASTIC CAP L.S. NO. 27609
  - 2 FOUND #6 REBAR
  - 3 FOUND 1 1/2" ILLEGIBLE ALUMINUM CAP
  - 4 NOT USED
  - 5 FOUND #4 REBAR WITH RED PLASTIC CAP STAMPED WSS 22524
  - 6 FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 9652
  - 7 FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 27609
  - 8 FOUND #3 REBAR
  - 9 FOUND #5 REBAR
  - 10 FOUND #4 REBAR WITH RED PLASTIC CAP STAMPED WSS 28649
  - 11 FOUND 1 1/4" ILLEGIBLE YELLOW PLASTIC CAP
  - 12 FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 25653
  - 13 FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 33202
  - 14 FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 10717
  - 15 FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 25645
  - 16 FOUND #5 REBAR WITH 2" ALUMINUM CAP L.S. NO. 25937
  - 17 FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 23961
  - 18 FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 9010
  - 19 FOUND #5 REBAR WITH RED PLASTIC CAP L.S. NO. 12330
  - 20 FOUND #5 REBAR WITH ORANGE PLASTIC CAP L.S. NO. 25937
  - 21 FOUND #6 REBAR
  - 22 FOUND REBAR WITH YELLOW PLASTIC CAP L.S. NO. 18475

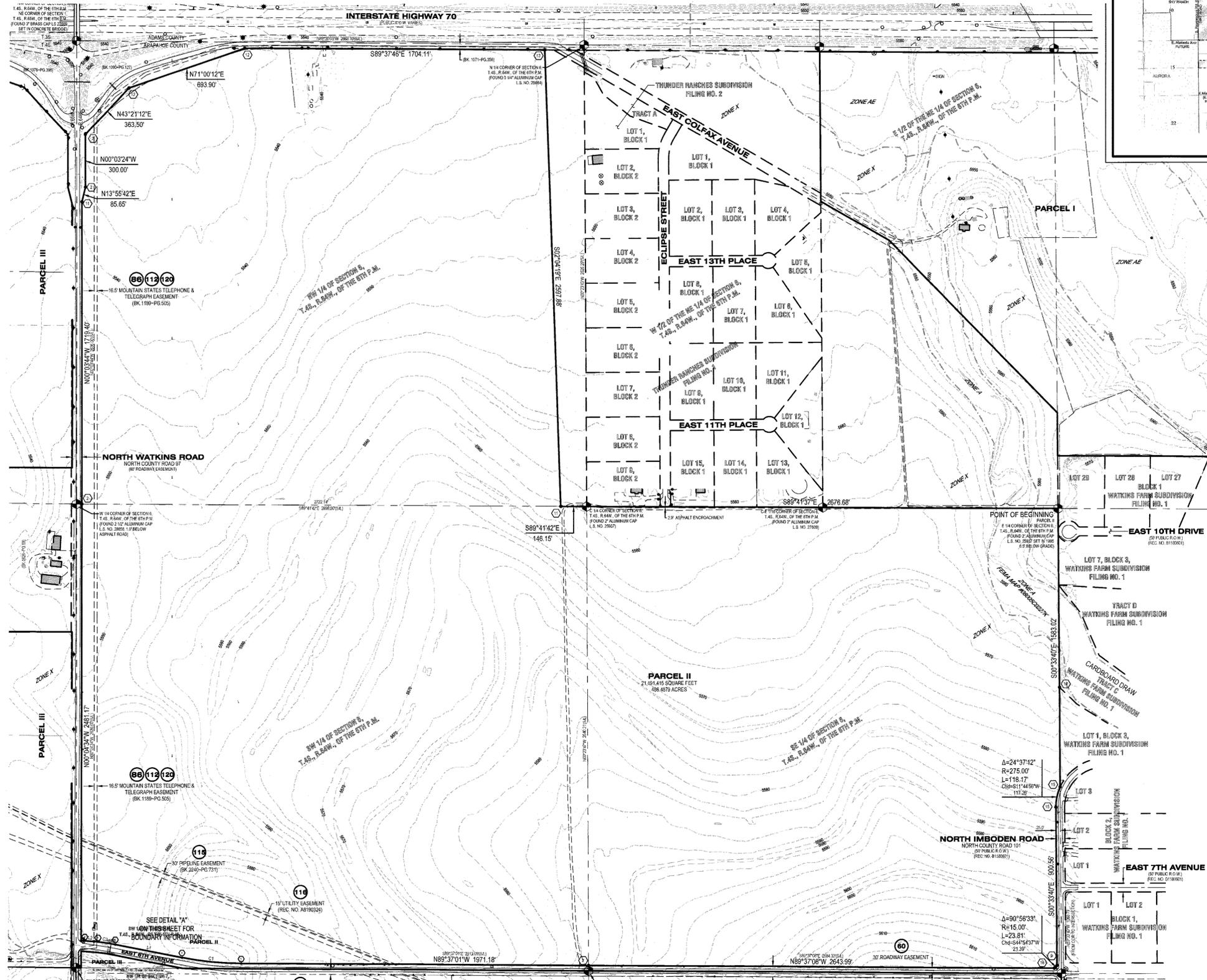


**LAND SURVEY PLAT**  
**PARCEL II**

Scale: 1"=300'

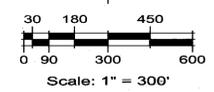
Date: NOVEMBER 10, 2015

Revision Date:



**LEGEND**

	CONTOUR LINE
	EDGE OF PAVEMENT
	DIRT ROAD
	EDGE OF CONCRETE
	DRAINAGE
	TREE LINE
	FENCE LINE
	GUARD RAIL
	POWER POLES
	POLE ANCHOR
	LIGHT POLE
	POST/POLE/UNDERGROUND UTILITY MARKER
	SIGN
	ELECTRICAL BOX
	ELECTRICAL METER
	FIRE HYDRANT
	MANHOLE
	VALVE COVER
	MAIL BOX
	MISC. OBJECT
	METER
	UTILITY BOX
	BUILDING
	SHED
	RANKS / SILOS
(SL)	SECTION LINE DIMENSION
(XXXX)	AS RECORDED
BK-PG.	BOOK - PAGE
REC. NO.	RECEPTION NUMBER



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CASE NO. Z12-100

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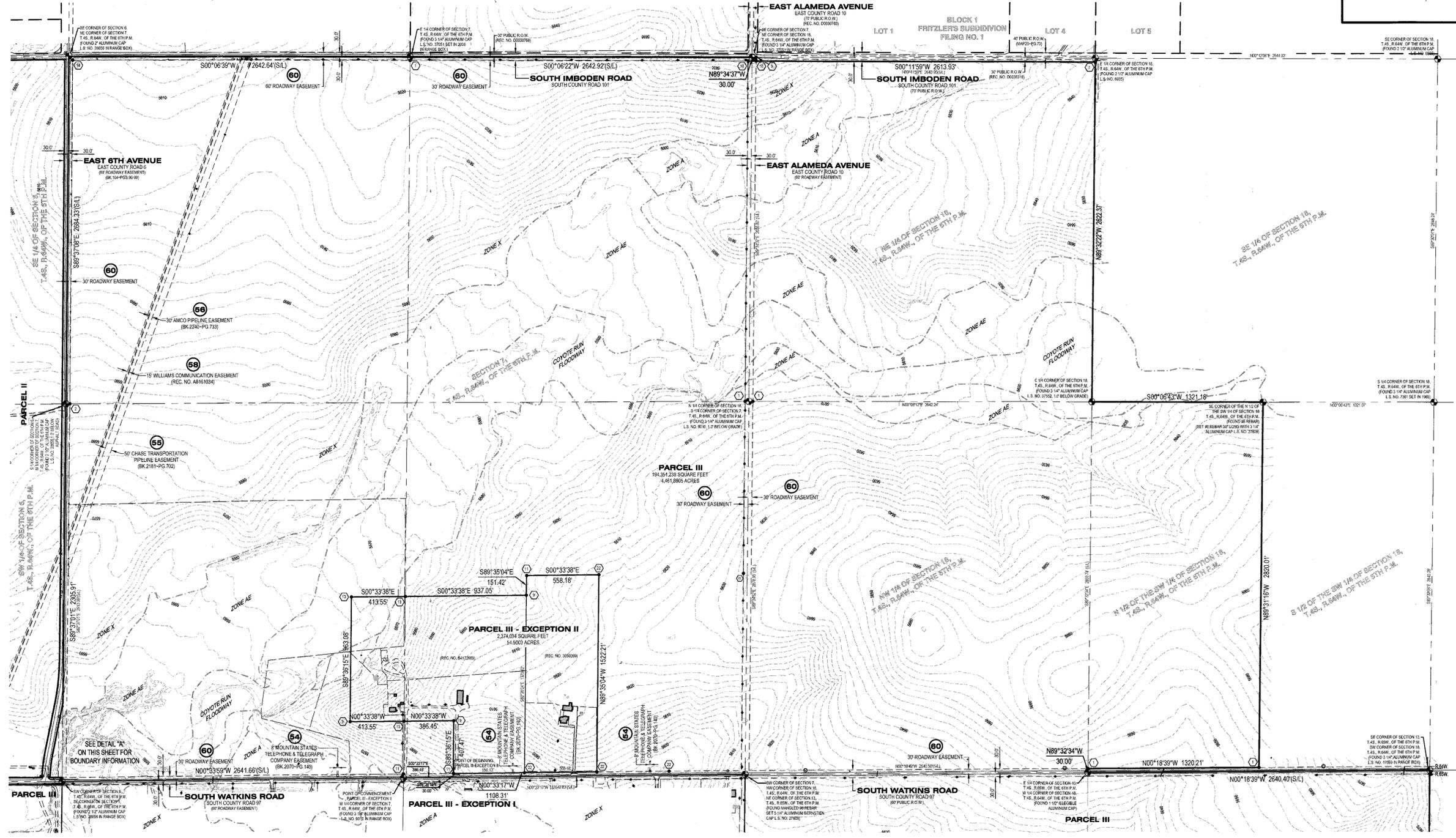
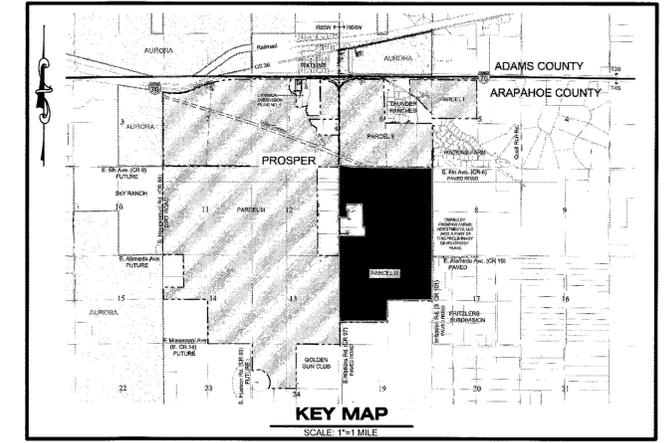
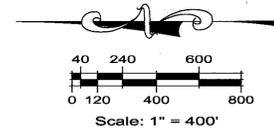
## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 9 OF 42

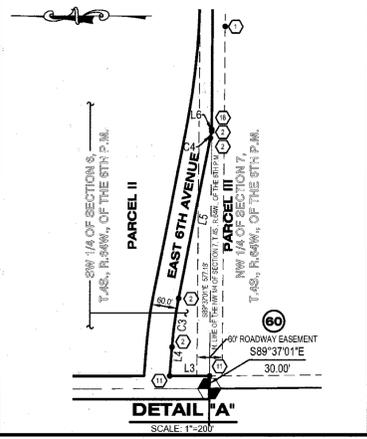
## LAND SURVEY PLAT (7 OF 8)

LEGEND			
— 00 —	CONTOUR LINE	— ○ —	UTILITY BOX
— — — —	EDGE OF PAVEMENT	— □ —	BUILDING
— — — —	DIRT ROAD	— ▭ —	SHED
— — — —	EDGE OF CONCRETE	— ○ —	RANKS / SILOS
— — — —	DRAINAGE	— ○ —	AS RECORDED
— — — —	TREE LINE	— ○ —	BK - PG.
— — — —	FENCE LINE	— ○ —	REC. NO.
— — — —	GUARD RAIL	— ○ —	RECEPTION NUMBER
— — — —	POLE ANCHOR	— ○ —	
— — — —	MISC. OBJECT	— ○ —	
— — — —	METER	— ○ —	
— — — —	UNDERGROUND UTILITY MARKER	— ○ —	
— — — —	SIGN	— ○ —	
— — — —	ELECTRICAL BOX	— ○ —	
— — — —	ELECTRICAL METER	— ○ —	
— — — —	FIRE HYDRANT	— ○ —	
— — — —	MANHOLE	— ○ —	
— — — —	VALVE COVER	— ○ —	
— — — —	MAIL BOX	— ○ —	
— — — —	MISC. OBJECT	— ○ —	
— — — —	METER	— ○ —	



LINE DATA TABLE		
COURSE	BEARING	LENGTH
L3	N00°04'34"W	94.77
L4	S85°24'58"E	68.20
L5	S78°53'39"E	385.77
L6	S89°37'01"E	4.55

CURVE DATA TABLE				
COURSE	DELTA	ARC	CHORD	CHORD BEARING
C3	06°31'18"	1019.00'	114.04'	S82°19'19"E
C4	00°29'35"	1878.20'	16.10'	S79°08'26"E



- MONUMENT NOTES & SCHEDULE**
- 1 FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 27609
  - 2 FOUND #4 REBAR
  - 3 FOUND 1 1/2" ILLIBLE ALUMINUM CAP
  - 4 NOT USED
  - 5 FOUND #4 REBAR WITH RED PLASTIC CAP STAMPED W881 25224
  - 6 FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 9652
  - 7 FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 27609
  - 8 FOUND #5 REBAR
  - 9 FOUND #5 REBAR
  - 10 FOUND #4 REBAR WITH RED PLASTIC CAP STAMPED W881 28849
  - 11 FOUND 1 1/2" ILLIBLE YELLOW PLASTIC CAP
  - 12 FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 23053
  - 13 FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 33202
  - 14 FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 10717
  - 15 FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 25945
  - 16 FOUND #5 REBAR WITH 2" ALUMINUM CAP L.S. NO. 25937
  - 17 FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 23681
  - 18 FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 9010
  - 19 FOUND #5 REBAR WITH RED PLASTIC CAP L.S. NO. 12330
  - 20 FOUND #5 REBAR WITH ORANGE PLASTIC CAP L.S. NO. 25937
  - 21 FOUND #6 REBAR
  - 22 FOUND REBAR WITH YELLOW PLASTIC CAP L.S. NO. 16476



### LAND SURVEY PLAT PARCEL III

Scale: 1"=400'
Date: NOVEMBER 10, 2015
Revision Date:

**ENGINEERING SERVICE COMPANY**  
ENGINEERS - SURVEYORS - PLANNERS  
Creative Solutions Since 1954  
1300 South Foothold Street, Suite 1200, Aurora, Colorado 80012  
Office (303) 337-1395 Fax (303) 307-7481  
www.engineerserviceco.com

Drawn No. C-2655b Date of Preparation: 10/08/2012 Date of Last Revision: 6/20/2013

CASE NO. Z12-100

# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

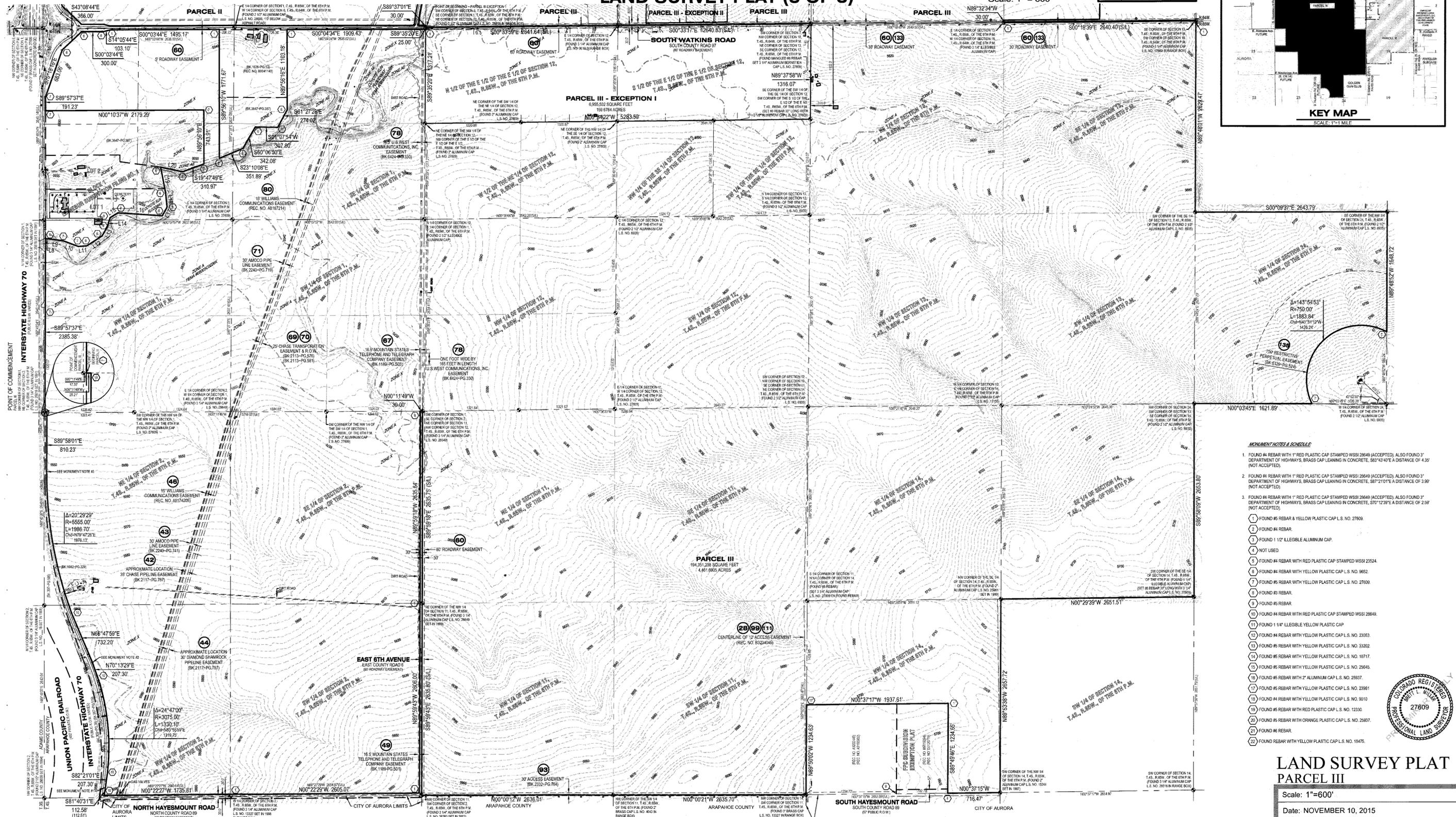
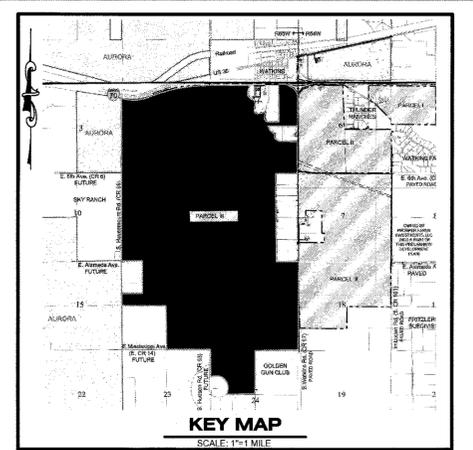
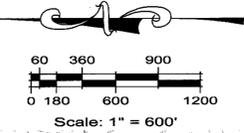
### PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W., AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M. COUNTY OF ARAPAHOE, STATE OF COLORADO

## SHEET 10 OF 42

### LAND SURVEY PLAT (8 OF 8)

LEGEND	
—	CONTOUR LINE
—	EDGE OF PAVEMENT
—	DIRT ROAD
—	EDGE OF CONCRETE
—	DRAINAGE
—	TREE LINE
—	FENCE LINE
—	POWER POLES
—	POLE AND/OR
—	LIGHT POLE
—	POSTHOLE/ UNDERGROUND UTILITY MARKER
—	SIGN
—	ELECTRICAL BOX
—	FIRE HYDRANT
—	MANHOLE
—	VALVE COVER
—	MMA BOX
—	MISC. OBJECT
—	METER
—	UTILITY BOX
—	BUILDING
—	SHED
—	RANKS / SLABS
—	SECTION LINE DIMENSION
—	AS RECORDED
—	BOOK - PAGE
—	REC. NO.
—	RECEPTION NUMBER

LINE DATA TABLE		
COURSE	BEARING	LENGTH
L8	S00°10'36"E	40.91'
L9	S07°23'05"W	207.09'
L10	S20°36'40"W	222.35'
L11	S04°17'39"E	119.11'
L12	S33°11'15"E	248.29'
L13	S60°23'00"E	141.58'
L14	S72°47'28"E	134.06'
L15	S31°04'43"E	127.54'
L16	S03°59'42"W	610.24'
L17	S60°40'03"E	136.03'
L18	N04°20'14"E	203.91'
L19	N78°52'53"E	354.30'
L20	S12°13'16"W	309.00'



- MONUMENT NOTES & SCHEDULE**
- FOUND #4 REBAR WITH 1" RED PLASTIC CAP STAMPED WSSI 28649 (ACCEPTED). ALSO FOUND 3" DEPARTMENT OF HIGHWAYS BRASS CAP LEAVING IN CONCRETE, S88°43'40"E A DISTANCE OF 4.30' (NOT ACCEPTED).
  - FOUND #4 REBAR WITH 1" RED PLASTIC CAP STAMPED WSSI 28649 (ACCEPTED). ALSO FOUND 3" DEPARTMENT OF HIGHWAYS BRASS CAP LEAVING IN CONCRETE, S87°21'01"E A DISTANCE OF 3.99' (NOT ACCEPTED).
  - FOUND #4 REBAR WITH 1" RED PLASTIC CAP STAMPED WSSI 28649 (ACCEPTED). ALSO FOUND 3" DEPARTMENT OF HIGHWAYS BRASS CAP LEAVING IN CONCRETE, S70°12'29"E A DISTANCE OF 2.99' (NOT ACCEPTED).
  - FOUND #5 REBAR & YELLOW PLASTIC CAP L.S. NO. 27609.
  - FOUND #4 REBAR.
  - FOUND 1 1/2" ILLEGIBLE ALUMINUM CAP.
  - NOT USED.
  - FOUND #4 REBAR WITH RED PLASTIC CAP STAMPED WSSI 25324.
  - FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 9652.
  - FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 27609.
  - FOUND #3 REBAR.
  - FOUND #5 REBAR.
  - FOUND #4 REBAR WITH RED PLASTIC CAP STAMPED WSSI 28649.
  - FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 23053.
  - FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 33202.
  - FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 10717.
  - FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 25845.
  - FOUND #5 REBAR WITH 2" ALUMINUM CAP L.S. NO. 25837.
  - FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 23981.
  - FOUND #4 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 9010.
  - FOUND #5 REBAR WITH YELLOW PLASTIC CAP L.S. NO. 12330.
  - FOUND #5 REBAR WITH ORANGE PLASTIC CAP L.S. NO. 25837.
  - FOUND #6 REBAR.
  - FOUND REBAR WITH YELLOW PLASTIC CAP L.S. NO. 18475.



**LAND SURVEY PLAT**  
**PARCEL III**

Scale: 1"=600'

Date: NOVEMBER 10, 2015

Revision Date:

**ENGINEERING SERVICE COMPANY**  
ENGINEERS - SURVEYORS - PLANNERS  
Creative Solutions Since 1954  
1300 South Potomac Street, Suite 126, Aurora, Colorado 80012  
Phone (303) 337-1360 Fax (303) 337-7481  
www.engineerservice.com

Drawing No.: C-26586 Date of Preparation: 10/08/2012 Date of Last Revision: 9/20/2013

CASE NO. Z12-100

*[Handwritten initials]*

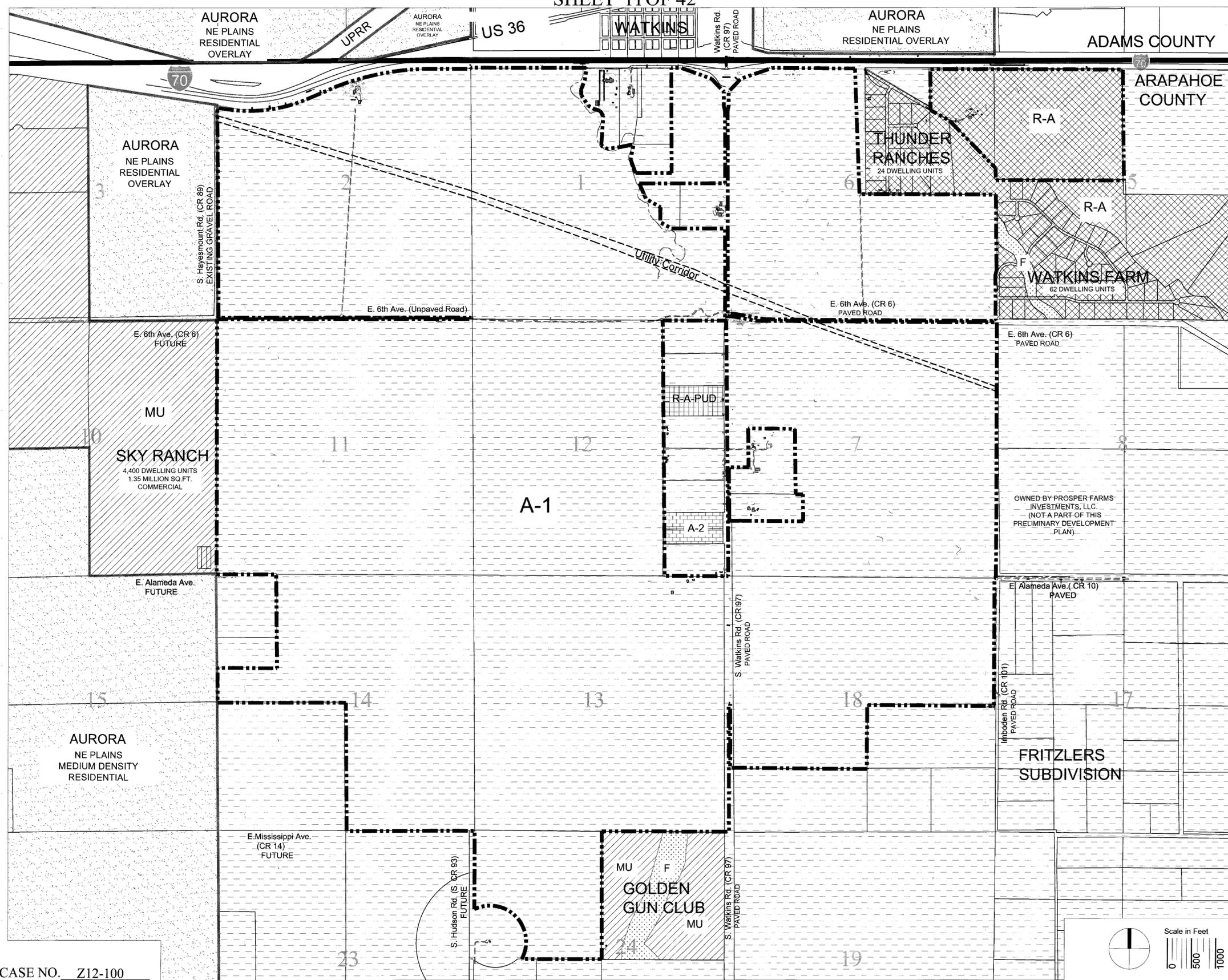
# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

SHEET 11 OF 42

**NOTES:**  
1. EXISTING ZONING SHOWN REFLECTS THE ZONING AT THE TIME OF THIS PRELIMINARY DEVELOPMENT PLAN APPROVAL.



**LEGEND**

ZONING	
	A-1
	A-2
	R-A
	RA-PUD
	MU
	F (FLOODPLAIN)
	CITY OF AURORA

**EXISTING ZONING**

Scale: 1"=1000'

Date: NOVEMBER 10, 2015

Revision Date:	
----------------	--

*mm/15/15*

**VOGEL & ASSOCIATES**  
475 W. 12th Avenue - Suite E  
Denver, Colorado 80204-3688  
(303) 893-4288

CASE NO. Z12-100



**NOTES:**

1. THE PLANNING AREA SUMMARY OUTLINES THE MAXIMUM DENSITY THAT CAN BE CONSTRUCTED WITHIN EACH PLANNING AREA, AS STATED IN SECTION 1.8 OF THIS PDP. DENSITY TRANSFERS ARE PERMITTED.
2. A DENSITY TRANSFER TRACKING CHART SHALL BE PROVIDED WITH EACH FINAL DEVELOPMENT PLAN.
3. MIXED USE 1 - PLANNING AREAS REQUIRE AT LEAST 50% OF ITS AREA TO BE USED FOR NON-RESIDENTIAL USES.
4. MIXED USE 2 - PLANNING AREAS REQUIRES AT LEAST 25% OF ITS AREA TO BE USED FOR NON-RESIDENTIAL USES.
5. SCHOOLS AND PARK LOCATIONS ARE PRELIMINARY AND WILL BE FINALIZED WITH EACH FINAL DEVELOPMENT PLAN.
6. DENSITY THAT IS PERMITTED IN A PLANNING AREA WHERE A RESERVOIR IS CONSTRUCTED SHALL APPLY TO THE NET DEVELOPABLE AREA.
7. THE FINAL LOCATION OF DETENTION AND WATER QUALITY PONDS WILL BE DETERMINED AT FINAL DEVELOPMENT PLAN / FINAL PLAT. FOR PRELIMINARY LOCATIONS REFER TO THE PROSPER PHASE I DRAINAGE REPORT.
8. F-ZONE AREAS CAN COUNT TOWARDS OPEN SPACE.

**PLANNING AREA SUMMARY**

PLANNING AREA	LAND USE	APPROX. ACRES	COMMERCIAL		RESIDENTIAL	
			MAX. FAR	MAX. SQ.FT.	MAX. DU /ACRE	MAX. UNITS
PA.1	Commercial Retail	41	0.9	1,697,364	20	40
PA.2	Commercial Retail	91	0.9	3,567,554	20	200
PA.3	Mixed Use -1	4	0.7	121,968	20	200
PA.4	Mixed Use -1	20	0.7	809,840	20	200
PA.5	High Density Residential	10			20	200
PA.6	High Density Residential	7			20	149
PA.7	High Density Residential	7			20	182
PA.8	Medium Density Residential	45			7	315
PA.9	Medium Density Residential	23			7	161
PA.10	Medium Density Residential	43			7	301
PA.11	Medium Density Residential	69			3	204
PA.12	Low Density Residential	60			3	180
PA.13	Low Density Residential	24			3	72
PA.14	Low Density Residential	27			3	81
PA.15	Low Density Residential	36			3	108
PA.16	Low Density Residential	50			3	150
PA.17	Low Density Residential	12			3	36
PA.18	Low Density Residential	15			3	45
PA.19	Low Density Residential	59			3	177
PA.20	Low Density Residential	104			3	312
PA.21	Low Density Residential	53			3	159
PA.22	Low Density Residential	24			3	72
PA.23	Low Density Residential	74			3	222
PA.24	Low Density Residential	63			7	441
PA.25	Low Density Residential	11	0.7	336,412	20	165
PA.26	Mixed Use -2	11	0.7	336,412	20	165
PA.27	Medium Density Residential	18			7	106
PA.28	Medium Density Residential	25			7	175
PA.29	Medium Density Residential	17			7	119
PA.30	Medium Density Residential	67			7	469
PA.31	Medium Density Residential	0.1			7	0.7
PA.32	Low Density Residential	0.4	0.7	457,380	20	225
PA.33	Mixed Use -2	78			7	546
PA.34	Medium Density Residential	15	0.7	457,380	20	225
PA.35	Mixed Use -2	102			3	306
PA.36	Low Density Residential	59			3	177
PA.37	Low Density Residential	40			3	120
PA.38	Medium Density Residential	0.7			7	4.9
PA.39	Medium Density Residential	63			7	441
PA.40	Medium Density Residential	72			7	504
PA.41	Medium Density Residential	14			20	280
PA.42	High Density Residential	9	0.7	274,428	20	135
PA.43	Mixed Use -2	9	0.9	352,836	20	135
PA.44	Commercial Retail	46	0.7	1,402,632	20	460
PA.45	Mixed Use -1	9	0.9	352,836	20	460
PA.46	Commercial Retail	8	0.7	243,936	20	120
PA.47	Mixed Use -2	15			20	300
PA.48	High Density Residential	49			7	343
PA.49	Medium Density Residential	65			7	455
PA.50	Medium Density Residential	70			7	490
PA.51	Medium Density Residential	79			7	553
PA.52	Medium Density Residential	91			7	637
PA.53	Medium Density Residential	23			7	161
PA.54	Medium Density Residential	76			7	532
PA.55	Mixed Use -2	12	0.7	385,904	20	180
PA.56	Low Density Residential	108			3	324
PA.57	Medium Density Residential	10			7	70
PA.58	Medium Density Residential	18			7	126
PA.59	Medium Density Residential	79			7	553
PA.60	Medium Density Residential	91			7	637
PA.61	Medium Density Residential	45			7	315
PA.62	Commercial Retail	8	0.9	313,632	20	320
PA.63	High Density Residential	29	0.7	884,268	20	290
PA.64	Mixed Use -1	25	0.7	782,300	20	250
PA.65	Mixed Use -1	15	0.9	506,060	20	150
PA.66	Commercial Retail	35	0.7	1,087,230	20	350
PA.67	Mixed Use -2	24	0.7	731,808	20	360
PA.68	Mixed Use -2	5			20	100
PA.69	High Density Residential	13			20	260
PA.70	High Density Residential	9	0.5	196,020	20	90
PA.71	Waste Water Treatment	55	0.8	1,916,640	20	550
PA.72	Employment	72	0.8	2,599,536	7	441
PA.73	Employment	63			7	441
PA.74	Medium Density Residential	32			7	224
PA.75	Medium Density Residential	32			7	224
PA.76	Medium Density Residential	11	0.7	336,412	20	165
PA.77	Mixed Use -2	19			7	133
PA.78	Medium Density Residential	56			3	168
PA.79	Low Density Residential	13	0.8	433,924	20	130
PA.80	Employment	26	0.8	875,744	20	260
PA.81	Employment	23	0.8	789,944	20	230
PA.82	Employment	695			1	4
Open Space (OS-1 - FZ-27)		144	0.25	220,000	1	4
Open Space - Agricultural (OSAG-1 - OSAG-11)		266	0.25	700,000	1	21
Right-of-Way		266				
<b>Total</b>		<b>5,130</b>				

\* 80% of Open Space - Agricultural must remain as open area.



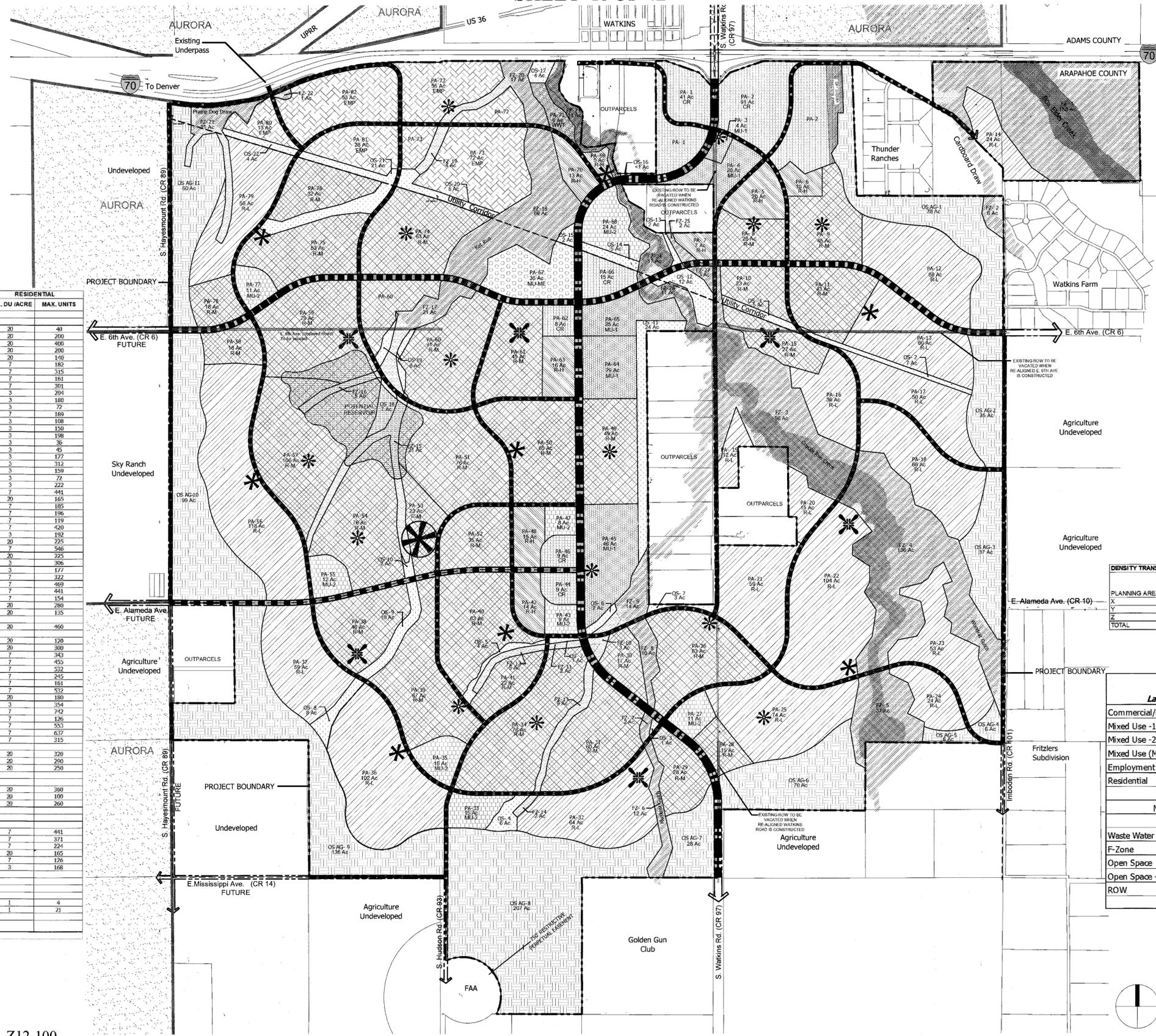
CASE NO. Z12-100

# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W., AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M. COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 13 OF 42



**LEGEND**

- RIGHTS-OF-WAY**
- Major Arterial
  - Minor Arterial
  - Boulevard
  - Connector Road
- SCHOOLS & PARKS**
- School / Park
  - Community Park
  - Neighborhood Park
  - Pocket Park
- WATERWAYS**
- FEMA 100 Year Floodplain
  - FEMA Floodway
  - Potential Reservoir

**Land Use Districts**

Abbr.	Land Use
CR	Commercial/Retail
MU-1	Mixed Use Commercial
MU-2	Mixed Use Residential
MU-ME	Mixed Use (Medical / Educational Campus)
EMP	Employment (Light Industrial/Flex/Office)
	Residential
R-L	Low Density Residential
R-M	Medium Density Residential
R-H	High Density Residential
WWT	Waste Water Treatment
FZ	F-Zone (Floodplain)
OS	Open Space
OS-AG	Open Space - Agricultural

**DENSITY TRANSFER CHART**

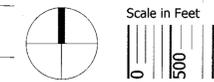
PLANNING AREA	ACRES	APPROVED DENSITY PRIOR TO TRANSFER		APPROVED DENSITY AFTER TRANSFER	
		RESIDENTIAL UNITS	DENSITY TRANSFER	RESIDENTIAL UNITS	DENSITY TRANSFER
X					
Y					
Z					
TOTAL					

Land Use Districts	Acres	% of Total	Maximum Building Square Feet	Maximum DU's
Commercial/Retail	173	3.4%	2,000,000	
Mixed Use -1	124	2.4%	1,500,000	400
Mixed Use -2	105	2.0%	500,000	900
Mixed Use (Medical /Educational)	35	0.7%	500,000	
Employment (Light Industrial/Flex/Office)	221	4.3%	3,500,000	
Residential				
Low Density Residential	1,044	20.4%		1,500
Medium Density Residential	1,452	28.3%		5,100
High Density Residential	100	1.9%		1,100
Waste Water Treatment Plant	9	0.2%		
F-Zone	695	13.5%		
Open Space	144	2.8%		
Open Space - Agricultural	762	14.9%		
ROW	266	5.2%		
<b>Total</b>	<b>5,130</b>	<b>100.0%</b>	<b>8,000,000</b>	<b>9,000</b>

**LAND USE PLAN**

Scale: 1"=1000'  
Date: NOVEMBER 10, 2015

Revision Date:

# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 14 OF 42

LAND USE CLASSIFICATION	SPECIFIC USE TYPE	LAND USE DISTRICT											
		CR	MU-1	MU-2	MU-ME	EMP	R-L	R-M	R-H	WWT	F	OS-AG	OS
<b>AGRICULTURAL USES</b>													
Agriculture or Ranch Use	Agriculture / Crop Cultivation	-	-	-	-	-	-	-	-	-	X(1)	X	-
	Ranching	-	-	-	-	-	-	-	-	-	X(1)	X	-
	Agriculture as an Interim Use	X	X	X	X	X	X	X	X	X	X(1)	X	X
	Community Gardens	X	X	X	X	X	X	X	X	-	-	X	X
Accessory Structures	Accessory Structures for Agriculture/Ranching Operations	-	-	-	-	-	-	-	-	-	-	X	X
Animals / Livestock	Farm or Ranch Animal Center	-	-	-	-	-	-	-	-	-	-	X	-
	Rodeos	-	-	-	-	-	-	-	-	-	-	X	-
	Commercial Stables	-	-	-	-	-	-	-	-	-	-	X	-
	Private Stables	-	-	-	-	-	-	X(3)	-	-	-	-	X
Horticulture and Nurseries	Outdoor Nursery / Tree Production	-	-	-	-	X	-	-	-	-	X(1)	X	-
	Greenhouse/nursery/tree production	-	-	-	-	X	-	-	-	-	-	X	-
Markets	Seasonal Farmers Markets	X	X	X	-	X	-	-	-	-	-	X	X(2)
	Farmers Markets	X	X	X	X	X	-	-	-	-	-	X	X(2)
Museums	Museums Including Farming and Ranching Museums	X	X	-	-	-	-	-	-	-	-	X(2)	-
<b>COMMERCIAL USES</b>													
Animal Services	Animal boarding (indoor) and training	X	X	-	-	X	-	-	-	-	-	X	-
	Animal day care centers	X	X	X	-	X	-	-	-	-	-	-	-
	Veterinary offices or clinics	X	X	X	-	X	-	-	-	-	-	-	-
Vehicle Parking	Vehicle parking lot	A	A	A	A	A	A	A	A	A	A(1)	A	A
	Private park & ride lot, car pool lot or equivalent	X	-	-	-	X	-	-	-	-	-	-	-
Building Materials & Services (Retail)	All other similar uses (plumbing, electrical, lumber and building equipment with outdoor storage)	X	X	-	-	X	-	-	-	-	-	-	-
	Landscape equipment, hardscape materials (with outdoor storage)	-	-	-	-	X	-	-	-	-	-	-	-
Eating and Drinking Establishments	Bar, Tavern	X	X	X	-	X	-	-	-	-	-	-	-
	Catering services	X	X	X	X	X	-	-	-	-	-	-	-
	Restaurant with drive-thru / up	X	X	X	-	X	-	-	-	-	-	-	-
	Restaurant without drive thru / up	X	X	X	X	X	-	-	-	-	-	-	-
Office	Administrative and or Executive Offices	X	X	X	X	X	-	-	-	-	-	-	-
	Business or professional (including medical / dental office / clinics)	X	X	X	X	X	-	-	-	-	-	-	-
	Call Centers	-	-	-	-	X	-	-	-	-	-	-	-
	Consulting Services Offices	X	X	X	X	X	-	-	-	-	-	-	-
	Courier services	X	X	X	X	X	-	-	-	-	-	-	-
	Corporate Headquarters / Offices	-	X	X	-	X	-	-	-	-	-	-	-
	Financial Establishments	X	X	X	-	X	-	-	-	-	-	-	-
	General Office	X	X	X	X	X	-	-	-	-	-	-	-
	Home Occupations	-	X	X	-	-	A	A	A	-	-	-	-
	Home / Land Sales Office	X	X	X	X	X	X	X	X	-	-	-	-
	Investment and Insurance Offices	X	X	X	X	X	-	-	-	-	-	-	-
	Massage Therapy Office/Clinics	X	X	X	X	X	-	-	-	-	-	-	-
	Temporary Construction offices	X	X	X	X	X	X	X	X	X	-	X	-
	Temporary Sales Offices	X	X	X	X	X	X	X	X	-	-	-	-
Personal Services	Instructional services, studios, photography	X	X	X	X	X	-	-	-	-	-	-	

LAND USE CLASSIFICATION	SPECIFIC USE TYPE	LAND USE DISTRICT											
		CR	MU-1	MU-2	MU-ME	EMP	R-L	R-M	R-H	WWT	F	OS-AG	OS
<b>COMMERCIAL USES</b>													
Recreation / Amusement Facilities	Amusement Parks	X	-	-	-	X	-	-	-	-	-	-	-
	Seasonal Amusement Parks	X	-	-	-	X	-	-	-	-	-	-	-
	Bingo establishments / Social gaming outlet / Performance centers	X	X	X	-	X	-	-	-	-	-	-	-
	Bowling, Billiards, Movie theaters and Similar uses	X	X	-	-	-	-	-	-	-	-	-	-
	Drive-in Theater	-	-	-	-	X	-	-	-	-	-	-	-
	Health clubs	X	X	X	X	X	-	-	-	-	-	-	-
	Miniature Golf	X	X	X	-	X	-	-	-	-	-	X	X(5)
	Parks	X	X	X	X	X	X	X	X	-	-	X	X(5)
	Dog Park	X	X	X	X	X	X	X	X	-	-	X	X
	Public and Private Golf Courses and Related Facilities	-	-	-	-	X	X(6)	X	X	-	X(1)	X	X(5)
	Public and Private Golf Practice Facilities and Par 3 Courses	X	X	X	-	X	X(6)	X	X	-	X(1)	X	X(5)
	Outdoor recreation	X	X	X	-	X	A	A	A	-	X(1)	X	X(5)
	Outdoor Skateboard Parks	X	X	X	X	X	X(4)	X(4)	X(4)	-	-	X	X(5)
	Community / Neighborhood Recreation Center	X	X	X	-	X	X	X	X	-	-	X	X(5)
Small Theaters (Outdoor Performances)	X	X	X	-	X	X	X	X	-	-	X	X(5)	
Retail	Auto Sales and Repair	X	X	-	-	X	-	-	-	-	-	-	-
	Convenience store / grocery store (less than 5,000 sq. ft.)	X	X	X	X	X	-	-	-	-	-	-	-
	Department Store	X	X	-	-	-	-	-	-	-	-	-	-
	Furniture / Appliance Store	X	X	-	-	-	-	-	-	-	-	-	-
	Grocery store (greater than 5,000 sq. ft.)	X	X	X	X	-	-	-	-	-	-	-	-
	Ground floor retail with office or residential on upper levels	X	X	X	X	-	-	-	-	-	-	-	-
	Retail (less than 40,000 sq. ft.)	X	X	X	X	X	-	-	-	-	-	-	-
	Retail (greater than 40,000 sq. ft. but less than 80,000 sq. ft.)	X	X	-	-	X	X	-	-	-	-	-	-
	Retail (greater than 80,000 sq. ft.)	X	-	-	-	-	-	-	-	-	-	-	-
	Large Format Retail	X	X	-	-	-	-	-	-	-	-	-	-
	Liquor Store	X	X	X	-	X	-	-	-	-	-	-	-
	Neighborhood Retail (e.g., delicatessen, retail bakery, specialty food market, coffee shop)	X	X	X	X	X	-	-	-	-	-	-	-
	Furniture or major household appliance repair	X	-	-	-	X	-	-	-	-	-	-	-
	Repair Services (Not Including Vehicles)	Machinery, excluding truck trailers, heavy equipment, and farm machinery	X	-	-	-	X	-	-	-	-	-	-
Antennas for commercial/industrial use accessory to principal use		-	-	-	-	-	-	-	-	-	A	-	
Telecommunications Facilities, Antennas, and Cell Towers	Commercial Antennas and Radio Towers (height and location to be reviewed and approved by county)	X	-	-	-	X	-	-	-	-	X	X	
	Radio or television broadcasting facilities/offices	X	X	-	-	X	-	-	-	-	-	-	-
Vehicle / Equipment Sales and Services	Vehicle rentals less than 1 Acre	X	X	-	-	X	-	-	-	-	-	-	-
	Vehicle rentals greater than 1 Acre	X	-	-	-	X	-	-	-	-	-	-	-
	Car Wash	X	X	X	-	X	-	-	-	-	-	A	-
	RV's, trailer, and camper rental	X	X	-	-	X	-	-	-	-	-	-	-
	Limited equipment rental (U-Haul type business)	X	X	-	-	X	-	-	-	-	-	-	-
	Major vehicle/equipment repair (includes auto body repair, paint shops, and incidental sales of parts)	X	-	-	-	X	-	-	-	-	-	-	-
Visitor Accommodations	Motor vehicle dealer / sales, new and used RV's, trailers, and campers	X	X	-	-	X	-	-	-	-	-	-	-
	Automotive service stations	X	X	X	X	X	-	-	-	-	-	-	-
	Hotel or motel lodging establishments	X	X	X	X	X	-	-	-	-	-	-	-
Overnight Campground	-	-	-	-	X	-	-	-	-	-	X	X(5)	

(1) NO STRUCTURES OR FENCES SHALL BE CONSTRUCTED WITHIN THE 100 YEAR FLOODPLAIN. USES WITHIN THE F-ZONE MUST BE EVALUATED BY THE COUNTY FLOODPLAIN ADMINISTRATOR FOR FINAL DETERMINATION ON WHETHER THE USE IS ALLOWABLE.

(2) NOT FOR PRIVATE PROFIT.

(3) PRIVATE STABLE MAY BE PERMITTED ON LOW DENSITY RESIDENTIAL LOTS THAT ARE A MINIMUM OF 2.5 ACRES.

(4) OUTDOOR SKATEBOARD PARKS CAN BE CONSTRUCTED IN CONJUNCTION WITH PUBLIC PARKS.

(5) ONLY PUBLIC FACILITIES SHALL BE CONSTRUCTED ON DEDICATED PUBLIC OPEN SPACE.

(6) GOLF COURSES ARE PERMITTED IN THE SPECIFIED LAND USE DISTRICTS, PROVIDED THAT ALL OF THE GOLF COURSE IS NOT CONSTRUCTED IN THE LOW DENSITY RESIDENTIAL DISTRICT.

#### LEGEND

- X PRINCIPAL PERMITTED USE
- A ACCESSORY USE
- EXCLUDED USE

#### LAND USE

- COMMERCIAL/RETAIL (CR):
- MIXED USE 1 (MU1)
- MIXED USE 2 (MU2)
- MEDICAL/EDUCATIONAL CAMPUS (MU-ME)
- EMPLOYMENT (EMP)
- LOW DENSITY RESIDENTIAL (R-L)
- MEDIUM DENSITY RESIDENTIAL (R-M)
- HIGH DENSITY RESIDENTIAL (R-H)
- WASTE WATER TREATMENT (WWT)
- FLOOD PLAIN (F)
- OPEN SPACE AGRICULTURAL (OS-AG)
- OPEN SPACE (OS)

**COMMERCIAL/RETAIL (CR):** PREDOMINANTLY A COMMERCIAL FOCUS. THIS DISTRICT WILL INCLUDE COMMERCIAL OFFICE, RETAIL, RESTAURANT, HOSPITALITY AND ENTERTAINMENT USES. THIS ZONING DISTRICT CLASSIFICATION IS LOCATED IN HIGH VISIBILITY AREAS WITH CONVENIENT ACCESS. MAXIMUM FAR SHALL BE 0.9.

**MIXED USE 1 (MU1):** PREDOMINANTLY A COMMERCIAL FOCUS. THIS DISTRICT REQUIRES AT LEAST 50% OF ITS AREA TO BE USED FOR RETAIL, CIVIC, OFFICE OR OTHER NON-RESIDENTIAL USES. THE REMAINDER OF THE AREA MAY BE USED FOR RESIDENTIAL, OPEN SPACE PLAZAS, COURTYARDS AND OTHER PEDESTRIAN ENHANCING ELEMENTS SHALL BE ENCOURAGED. MAXIMUM 0.7 FAR & MAXIMUM 20 DU/AC.

**MIXED USE 2 (MU2):** PREDOMINANTLY A RESIDENTIAL FOCUS. THIS DISTRICT REQUIRES AT LEAST 25% OF ITS AREA TO BE USED FOR RETAIL, CIVIC, OFFICE OR OTHER NON-RESIDENTIAL USES. THE REMAINDER OF THE AREA MAY BE USED FOR RESIDENTIAL, OPEN SPACE PLAZAS, COURTYARDS AND OTHER PEDESTRIAN ENHANCING ELEMENTS SHALL BE ENCOURAGED. MAXIMUM 0.7 FAR & MAXIMUM 20 DU/AC.

**MEDICAL/EDUCATIONAL CAMPUS (MU-ME):** THE INTENT IS TO PROVIDE AN AREA THAT CAN ACCOMMODATE MEDICAL AND EDUCATIONAL USES. THESE USES WOULD HAVE THE POTENTIAL TO BE LOCATED WITHIN A CAMPUS CONFIGURATION PROVIDING THE POTENTIAL FOR CROSS UTILIZATION OF FACILITIES. ESTABLISHING MEDICAL AND EDUCATIONAL CAMPUS ALSO INCLUDES ALLOWING COMMERCIAL USES SUCH AS RETAIL AND RESTAURANTS. THE MEDICAL CAMPUS MAY ALSO INCLUDE SENIOR HOUSING. MAXIMUM FAR SHALL BE 0.7.

**EMPLOYMENT (EMP):** THE INTENT IS TO PROVIDE AREAS THAT WILL SERVE AS AN EMPLOYMENT CENTER OR OFFICE PARK THAT CAN ACCOMMODATE CORPORATE CAMPUS, RESEARCH AND DEVELOPMENT, LIGHT INDUSTRIAL, OFFICE/FLEX, RETAIL, COMMERCIAL, WAREHOUSE AND DISTRIBUTION. MAXIMUM FAR SHALL BE 0.8.

**LOW DENSITY RESIDENTIAL (R-L):** THE INTENT IS TO ALLOW FOR SINGLE FAMILY DETACHED HOMES THAT CAN HAVE A MINIMUM LOT SIZE OF 10,000 SQ. FT.

**MEDIUM DENSITY RESIDENTIAL (R-M):** THE INTENT IS TO ALLOW FOR SINGLE FAMILY DETACHED HOMES AND SINGLE FAMILY ATTACHED HOMES THAT CAN HAVE A MINIMUM LOT SIZE OF 3,200 SQ. FT. MULTI-FAMILY UNITS OR TOWNHOMES NOT EXCEEDING 12.5 DU/AC ARE ALSO PERMITTED.

**HIGH DENSITY RESIDENTIAL (R-H):** THE INTENT IS TO ALLOW FOR SINGLE FAMILY DETACHED, SINGLE FAMILY ATTACHED AND HIGH DENSITY MULTI-FAMILY UNITS. SINGLE FAMILY HOMES AND SINGLE FAMILY ATTACHED HOMES CAN HAVE A MINIMUM LOT SIZE OF 3,200 SQ. FT. MULTI-FAMILY UNITS NOT EXCEEDING 20.0 DU/AC ARE ALSO PERMITTED.

**WASTE WATER TREATMENT (WWT):** THE INTENT IS TO PROVIDE AN AREA TO CONSTRUCT AND OPERATE A CENTRAL WATER AND/OR WASTE WATER TREATMENT FACILITY.

**FLOOD PLAIN (F):** THE INTENT IS TO ACCOMMODATE AREAS FOR THE CONVEYANCE AND STORAGE OF STORMWATER AND CASUAL WATER IN DESIGNATED AREAS. FLOOD PLAIN IS DEFINED AS THE FLOOD OF 100 YEAR FREQUENCY AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY AND ARAPAHOE COUNTY. (OWNERSHIP: PROSPER, METRO DISTRICT OR ASSIGNS)

**OPEN SPACE AGRICULTURAL (OS-AG):** THE INTENT IS TO ESTABLISH AREAS THAT CAN ACCOMMODATE AGRICULTURAL USES & RELATED FACILITIES. THIS AREA MAY ALSO BE UTILIZED FOR PUBLIC AND PRIVATE RECREATION AND OPEN SPACE. A MINIMUM OF 80% OF THE LAND IN THIS DISTRICT SHALL REMAIN AS OPEN AREA. OPEN ARE MAY INCLUDE GOLF COURSES, ATHLETIC FIELDS, PASSIVE OPEN SPACE, AND OTHER USES THAT DO NOT CONTAIN STRUCTURES. (OWNERSHIP: PROSPER, METRO DISTRICT OR ASSIGNS)

**OPEN SPACE (OS):** THE INTENT IS TO PROVIDE FOR PASSIVE AND ACTIVE RECREATION AND VISUAL AMENITIES FOR THE BENEFIT OF THE COMMUNITY. (OWNERSHIP: PROSPER, METRO DISTRICT OR ASSIGNS)



CASE NO. Z12-100

## LAND USE MATRIX

Scale: N/A  
Date: NOVEMBER 10, 2015  
Revision Date:

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# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 15 OF 42

LAND USE CLASSIFICATION	SPECIFIC USE TYPE	LAND USE DISTRICT												
		CR	MU-1	MU-2	MU-ME	EMP	R-L	R-M	R-H	WWT	F	OS-AG	OS	
INDUSTRIAL USES														
	Contractor Operations					X								
	Contractor's shop and storage yard					X								
Manufacturing, Food & Beverage	Special trade contractors					X								
	Bakeries, pasta / noodles, and tortilla manufacturing					X								
	Beverage manufacturing					X								
	Dairy product manufacturing					X					A			
	Fruit and vegetable preserving, and specialty food manufacturing (Max. 15,000 sq.ft.)					X								
	Meat products, packing and processing (no slaughtering)					X								
	Aerospace product and parts manufacturing					X								
	Commercial and service industry machinery manufacturing					X								
	Computer and electronic product manufacturing					X								
	Electrical equipment, appliance and component manufacturing					X								
Manufacturing, Machinery	Furniture and related product manufacturing					X								
	Food Production					X								
	HVAC and commercial refrigeration equipment manufacturing					X								
	Metalworking machinery					X								
	Motor vehicle and transportation manufacturing					X								
	Power distribution and transformer equipment					X								
	Relay and industrial control manufacturing					X								
	Ship and boat building/repair					X								
	Signs manufacturing					X								
	Switchgear and switchboard apparatus					X								
	Cutlery and handtool manufacturing					X								
	Machinery shops; turn products; screw, nut, and bolt manufacturing					X								
	Manufacturing, Textile	Apparel manufacturing					X							
	Manufacturing, Wood Product	Basket and hamper (wood, reed, rattan, etc.) manufacturing					X							
		Box and crate manufacturing					X							
Wood product manufacturing						X								
Motion Picture and Video Industry	Motion picture and video industry		X			X								
Outdoor Storage	Outdoor parking and storage of vehicles					X					A			
	Aboveground storage tanks less than 48,000 gallons (Non-Petroleum)					X					X	X		
	Above ground oil and gas operations storage tanks	X	X	X	X	X	X	X	X	X	X	X	X	
Printing and Publishing	Printing and related support activities					X								
	Publishing industry					X								
Renewable Energy	Solar manufacturing facilities					X								
	Wind turbine manufacturing facilities					X								
Oil and Gas	Oil and gas operations	X	X	X	X (7)	X	X (7)	X	X					
Research and Development Services	Scientific Research and Development					X								
	Testing laboratories, non-medical, non-explosive					X								
	Trade and technical uses					X								
Warehousing and Distribution	Household moving center					X								
	Motor freight transportation terminal and shipping					X								
	Mini-storage and warehouse without outdoor storage		X			X								
	Produce storage and warehousing					X								
	Retail sales in conjunction with wholesale warehouse	X				X								
	Warehousing and storage, general (excluding self-storage)					X								
	Building materials, garden equipment, and supply dealers					X								
	Grocery and related product wholesale					X								
	Retail sales in conjunction with wholesaling					X								
	Warehousing and wholesaling establishments excluding explosives and live animals					X								
	Wholesale establishments incidental to other principal uses					X								
	Wholesale houses and distributors (including warehouse clubs)	X	X			X								

LAND USE CLASSIFICATION	SPECIFIC USE TYPE	LAND USE DISTRICT												
		CR	MU-1	MU-2	MU-ME	EMP	R-L	R-M	R-H	WWT	F	OS-AG	OS	
PUBLIC, INSTITUTIONAL & CIVIC USES														
	Ambulance Service	X	X	X	X	X								
	Clubs and Lodges	X	X			X								
Community Services	Event and conference center less than 15,000 sq. ft.	X	X	X								X	X	
	Event and conference center greater than 15,000 sq. ft.	X				X								
Day Care Facilities, Adult or Child	Child care center	X	X	X	X	X	USR	USR	USR					
	Adult day care center	X	X	X	X	X	USR	USR	USR					
Fire	Fire Stations	X	X	X	X	X	X	X	X					
	Hospital		X			X	X							
	Outpatient surgical centers	X	X		X	X								
Office and Recreation	Public administrative office or service building	X	X	X		X								
	Public park or recreational facilities	X	X	X	X	X	X	X	X			X	X	
Religious Institutions	Church or religious institution	X	X	X	X	X	X	X	X					
	Public Schools		X	X	X	X	X	X	X					
Educational Facilities	Commercial schools	X	X		X	X								
	Public Transportation Terminals / Parking	X			X	X								
Transportation Facilities	Private Vehicle parking lots or parking garages as a principal use	X	X			X								
	Reservoirs or Aquifers recharge areas	X	X	X	X	X	X	X	X	X	X(1)	X	X	
Utilities	Electrical Substations	X	X	X	X	X	X	X	X	X		X	X	
	Public Utility Office	X	X	X		X				X				
	Solar Panels (Roof mounted)	X	X	X	X	X	X	X	X	X		X	X	
	Solar Fields					X						X		
	Wastewater Treatment Plants									X		X	X	
	Water Treatment / Storage	X	X	X	X	X	X	X	X	X		X	X	
	Water Storage (Reservoirs)	X	X	X	X	X	X	X	X	X		X	X	
	Water Wells	X	X	X	X	X	X	X	X	X	X	X(1)	X	X
	Water Storage Tanks	X	X	X	X	X	X	X	X	X		X	X	
	Small Wind Energy Conversion Systems (Less than 100kw)					X	X					X	X	
Wind Energy Conversion Systems (Windmills)					X									
<b>RESIDENTIAL USES</b>		<b>CR</b>	<b>MU-1</b>	<b>MU-2</b>	<b>MU-ME</b>	<b>EMP</b>	<b>R-L</b>	<b>R-M</b>	<b>R-H</b>	<b>WWT</b>	<b>F</b>	<b>OS-AG</b>	<b>OS</b>	
Single Family Attached	Single Family Attached including townhomes, cluster development, and patio homes		X	X					X	X				
	Single Family Detached Duplexes (Zero lot line)		X	X				X	X					
	Single Family Detached lots less than 0.5 acres		X	X				X	X					
Single Family Detached	Single Family Detached lots greater than 0.5 acres							X	X			X	X	
	Carriage House						A	A						
Multi-Family	Multi-family including rental and for sale units		X	X				X	X					
	Live / Work Units		X	X				X	X	X				
Senior Housing (8)	Primary residence for persons 55 years of age or older		X	X	X			X	X	X				
	Assisted Living Facilities		X	X	X			X	X	X				
	Independent Limited Care Facilities		X	X	X			X	X	X				
	Recreation, medical, religious chapel, laundry and / or caretaker facilities, and other building(s) and use(s) customarily appurtenant to the permitted		X	X	X			X	X	X				
Group Home	Type A Group Home		X	X	X			X	X	X				
	Type B Group Home		USR	USR	USR									

- (1) NO STRUCTURES OR FENCES SHALL BE CONSTRUCTED WITHIN THE 100 YEAR FLOODPLAIN. USES WITHIN THE F-ZONE MUST BE EVALUATED BY THE COUNTY FLOODPLAIN ADMINISTRATOR FOR FINAL DETERMINATION ON WHETHER THE USE IS ALLOWABLE.
- (2) NOT FOR PRIVATE PROFIT.
- (3) PRIVATE STABLE MAY BE PERMITTED ON LOW DENSITY RESIDENTIAL LOTS THAT ARE A MINIMUM OF 2.5 ACRES.
- (4) OUTDOOR SKATEBOARD PARKS CAN BE CONSTRUCTED IN CONJUNCTION WITH PUBLIC PARKS.
- (5) ONLY PUBLIC FACILITIES SHALL BE CONSTRUCTED ON DEDICATED PUBLIC OPEN SPACE.
- (6) GOLF COURSES ARE PERMITTED IN THE SPECIFIED LAND USE DISTRICTS, PROVIDED THAT ALL OF THE GOLF COURSE IS NOT CONSTRUCTED IN THE LOW DENSITY RESIDENTIAL DISTRICT.
- (7) OIL AND GAS OPERATIONS ARE PERMITTED IN ALL ZONE DISTRICTS. TO THE EXTENT PRACTICAL AND WHEN DETERMINED FEASIBLE, OIL AND GAS OPERATIONS SHOULD BE LOCATED IN NON-RESIDENTIAL PLANNING AREAS AND OPEN SPACE AREAS. GAS AND OIL OPERATIONS SHALL COMPLY TO ALL STANDARDS AND PRACTICES OUTLINED BY THE COLORADO OIL AND GAS CONSERVATION COMMITTEE (COGCC), EXECUTED SURFACE USE AGREEMENTS AND DEVELOPMENT STANDARDS OUTLINED IN THIS PRELIMINARY DEVELOPMENT PLAN. GAS AND OIL OPERATIONS SHALL NOT IMPEDE DRAINAGE FLOWS.
- (8) SENIOR HOUSING SHALL HAVE A MINIMUM AGE LIMIT FOR ONE OCCUPANT OF EACH UNIT IN A PROJECT TO BE 55 YEARS OF AGE OR OLDER. THE RESTRICTION MAY BE RELEASED FOR RENTAL UNITS WHICH ARE ADVERTISED FOR 270 CONSECUTIVE DAYS AND NOT OCCUPIED BY ONE OR MORE QUALIFIED INDIVIDUALS. THOSE UNOCCUPIED AND THOSE ONLY, MAY THEN BE RENTED TO PERSONS OF ANY AGE. IN THE EVENT THAT SUCH UNIT IS OCCUPIED BY A PERSON UNDER THE AGE OF 55, AND LATER VACATED, THE 270 DAY PERIOD SHALL APPLY TO THAT UNIT.

**LEGEND**

- X PRINCIPAL PERMITTED USE
- A ACCESSORY USE
- EXCLUDED USE
- USR USE BY SPECIAL REVIEW

**LAND USE**

- COMMERCIAL/RETAIL (CR):
- MIXED USE 1 (MU1)
- MIXED USE 2 (MU2)
- MEDICAL/EDUCATIONAL CAMPUS (MU-ME)
- EMPLOYMENT (EMP)
- LOW DENSITY RESIDENTIAL (R-L)
- MEDIUM DENSITY RESIDENTIAL (R-M)
- HIGH DENSITY RESIDENTIAL (R-H)
- WASTE WATER TREATMENT (WWT)
- FLOOD PLAIN (F)
- OPEN SPACE AGRICULTURAL (OS-AG)
- OPEN SPACE (OS)

**LAND USE MATRIX**

Scale: N/A

Date: NOVEMBER 10, 2015

Revision Date:

*[Signature]*



CASE NO. Z12-100

# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

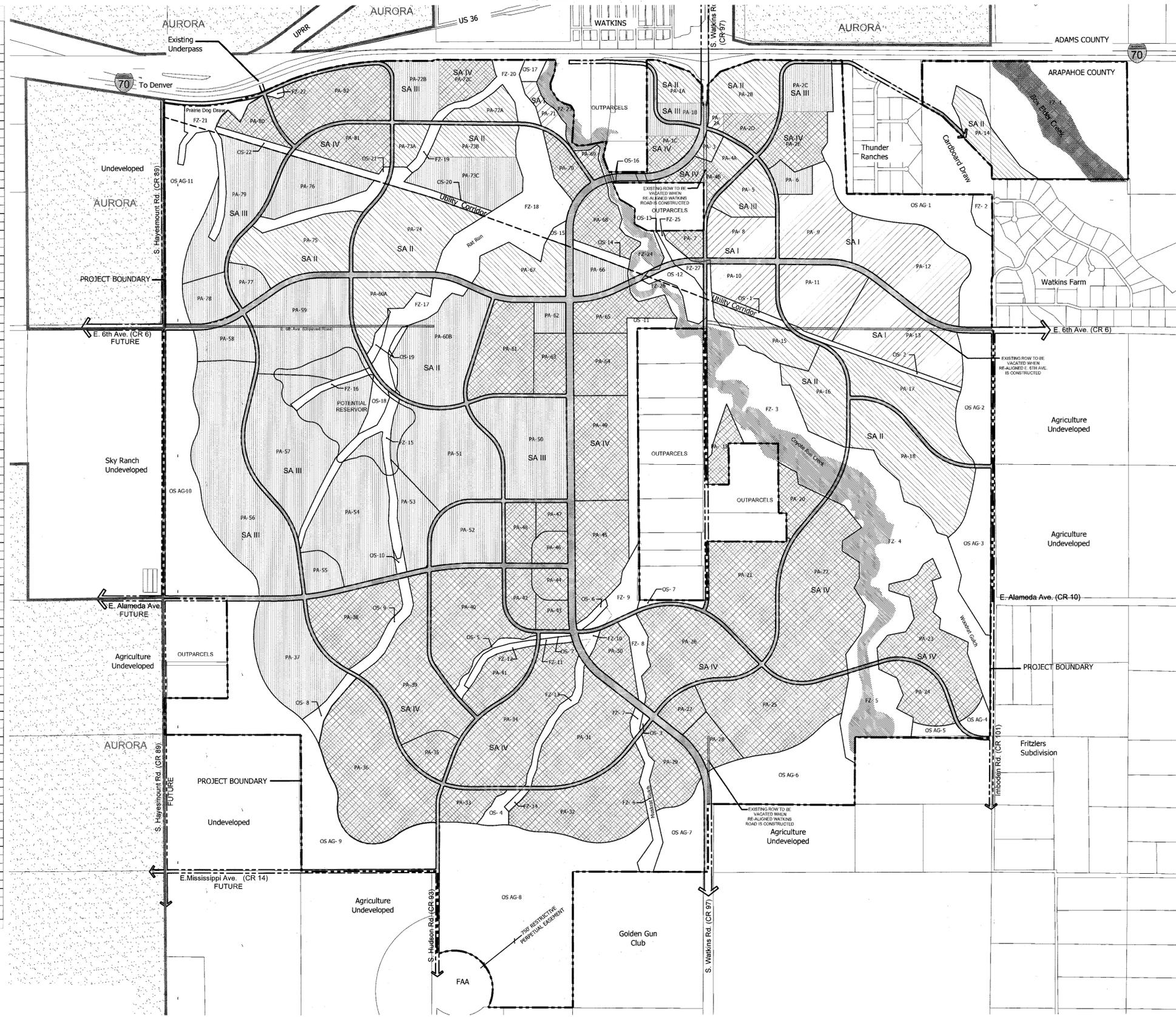
PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 16 OF 42

#### PROSPER SUBAREAS

SUBAREA	PLANNING AREA	LAND USE	ACRES	
1	PA-2-A	Commercial Retail	2	
	PA-8	Medium Density Residential	26	
	PA-9	Medium Density Residential	45	
	PA-10	Medium Density Residential	23	
	PA-11	Medium Density Residential	43	
	PA-12	Low Density Residential	98	
	PA-13	Low Density Residential	80	
	PA-71	Waste Water Treatment	9	
		<b>Subtotal</b>	<b>276</b>	
	2	PA-1-A	Commercial Retail	14
		PA-2-B	Commercial Retail	17
PA-3		Mixed Use-1 (Commercial)	4	
PA-4-A		Mixed Use-1 (Commercial)	10	
PA-5		High Density Residential	20	
PA-14		Low Density Residential	24	
PA-15		Medium Density Residential	27	
PA-16		Low Density Residential	36	
PA-17		Low Density Residential	50	
PA-18		Low Density Residential	66	
PA-60-A		Medium Density Residential	27	
PA-67		Mixed Use ME (Medical/Educational)	35	
PA-72-A		Employment	11	
PA-73-A		Employment	9	
PA-73-B		Employment	33	
PA-74		Medium Density Residential	63	
PA-75		Medium Density Residential	53	
		<b>Subtotal</b>	<b>499</b>	
3		PA-1-B	Commercial Retail	13
	PA-2-C	Commercial Retail	9	
	PA-6	High Density Residential	10	
	PA-37	Low Density Residential	59	
	PA-50	Medium Density Residential	65	
	PA-51	Medium Density Residential	76	
	PA-52	Medium Density Residential	35	
	PA-53	Medium Density Residential	23	
	PA-54	Medium Density Residential	76	
	PA-55	Mixed Use-2 (Residential)	12	
	PA-56	Low Density Residential	118	
	PA-57	Medium Density Residential	106	
	PA-58	Medium Density Residential	18	
	PA-59	Medium Density Residential	79	
	PA-60-B	Medium Density Residential	64	
	PA-62	Commercial Retail	8	
	PA-66	Commercial Retail	15	
	PA-72-B	Employment	23	
	PA-73-C	Employment	30	
	PA-76	Medium Density Residential	32	
	PA-77	Mixed Use-2 (Residential)	11	
	PA-78	Medium Density Residential	18	
	PA-79	Low Density Residential	58	
		<b>Subtotal</b>	<b>956</b>	
	4	PA-1-C	Commercial Retail	14
		PA-2-D	Commercial Retail	31
		PA-2-E	Commercial Retail	32
		PA-4-B	Mixed Use-1 (Commercial)	10
		PA-7	High Density Residential	7
PA-19		Low Density Residential	12	
PA-20		Low Density Residential	15	
PA-21		Low Density Residential	59	
PA-22		Low Density Residential	104	
PA-23		Low Density Residential	53	
PA-24		Low Density Residential	24	
PA-25		Low Density Residential	74	
PA-26		Medium Density Residential	63	
PA-27		Mixed Use-2 (Residential)	11	
PA-28		Medium Density Residential	15	
PA-29		Medium Density Residential	28	
PA-30		Medium Density Residential	17	
PA-31		Medium Density Residential	60	
PA-32		Low Density Residential	64	
PA-33		Mixed Use-2 (Residential)	15	
PA-34		Medium Density Residential	78	
PA-35		Mixed Use-2 (Residential)	15	
PA-36		Low Density Residential	102	
PA-38		Medium Density Residential	48	
PA-39		Medium Density Residential	67	
PA-40		Medium Density Residential	63	
PA-41		Medium Density Residential	22	
PA-42		High Density Residential	14	
PA-43		Mixed Use-2 (Residential)	9	
PA-44		Commercial Retail	9	
PA-45		Mixed Use-1 (Commercial)	48	
PA-46		Commercial Retail	9	
PA-47	Mixed Use-2 (Residential)	8		
PA-48	High Density Residential	15		
PA-49	Medium Density Residential	49		
PA-61	Medium Density Residential (H.S.)	45		
PA-63	High Density Residential	16		
PA-64	Mixed Use-1 (Commercial)	29		
PA-65	Mixed Use-1 (Commercial)	25		
PA-68	Mixed Use-2 (Residential)	24		
PA-69	High Density Residential	5		
PA-70	High Density Residential	13		
PA-72-C	Employment	21		
PA-80	Employment	13		
PA-81	Employment	28		
PA-82	Employment	53		
	<b>Subtotal</b>	<b>1,532</b>		
	F-Zone	695		
	Open Space	144		
	Open Space Agricultural	762		
	R.O.W.	286		
	<b>Total</b>	<b>5,130</b>		

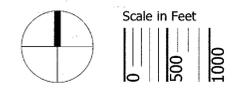
NOTE: Planning Area Suffixes (I.E. 1-B,1-C) are used only for subarea purposes only.



- #### NOTES:
- PHASING WILL OCCUR IN A LOGICAL AND COST EFFECTIVE MANNER BASED ON INFRASTRUCTURE EXTENSION, AVAILABILITY OF UTILITY SERVICE AND MARKET CONDITIONS. INFRASTRUCTURE REQUIREMENTS FOR EACH PHASE WILL BE DETERMINED AT THE TIME OF FINAL DEVELOPMENT PLAN AND FINAL PLAT. THE PROSPER PDP SHALL PERMIT DEVELOPMENT OF PLANNING AREAS TO COMMENCE REGARDLESS OF THE BUILD OUT WITHIN THE SUBAREA. PLANNING AREAS THAT ARE DEVELOPED OUT OF SEQUENCE OF THE SUBAREA PLAN SHALL INCLUDE THE REQUIRED INFRASTRUCTURE IMPROVEMENTS.
  - REFER TO THE DEVELOPMENT AGREEMENT FOR PHASING OF TRANSPORTATION IMPROVEMENTS.
  - PRIOR TO THE ISSUANCE OF THE 2,001st BUILDING PERMIT FOR RESIDENTIAL USES WITHIN PROSPER, BUILDING PERMIT APPLICATION(S) SHALL BE MADE FOR A MINIMUM OF ONE HUNDRED THOUSAND (100,000) TOTAL SQUARE FEET OF NON-RESIDENTIAL USES.
  - THE FINAL LOCATION OF DETENTION AND WATER QUALITY PONDS WILL BE DETERMINED AT FINAL DEVELOPMENT PLAN / FINAL PLAT. FOR PRELIMINARY LOCATIONS REFER TO THE PROSPER PHASE I DRAINAGE REPORT.
  - THE TIME FRAMES TO COMPLETE THE SUBAREAS IS AN ESTIMATE ONLY AND IS SUBJECT TO CHANGE.

#### LEGEND

ACRES	SUBAREA	TIME FRAME
276	SUBAREA 1	0-5 YEARS
499	SUBAREA 2	5-10 YEARS
956	SUBAREA 3	10-15 YEARS
1532	SUBAREA 4	15-30 YEARS



#### SUBAREA PLAN

Scale: 1"=1000'
Date: NOVEMBER 10, 2015
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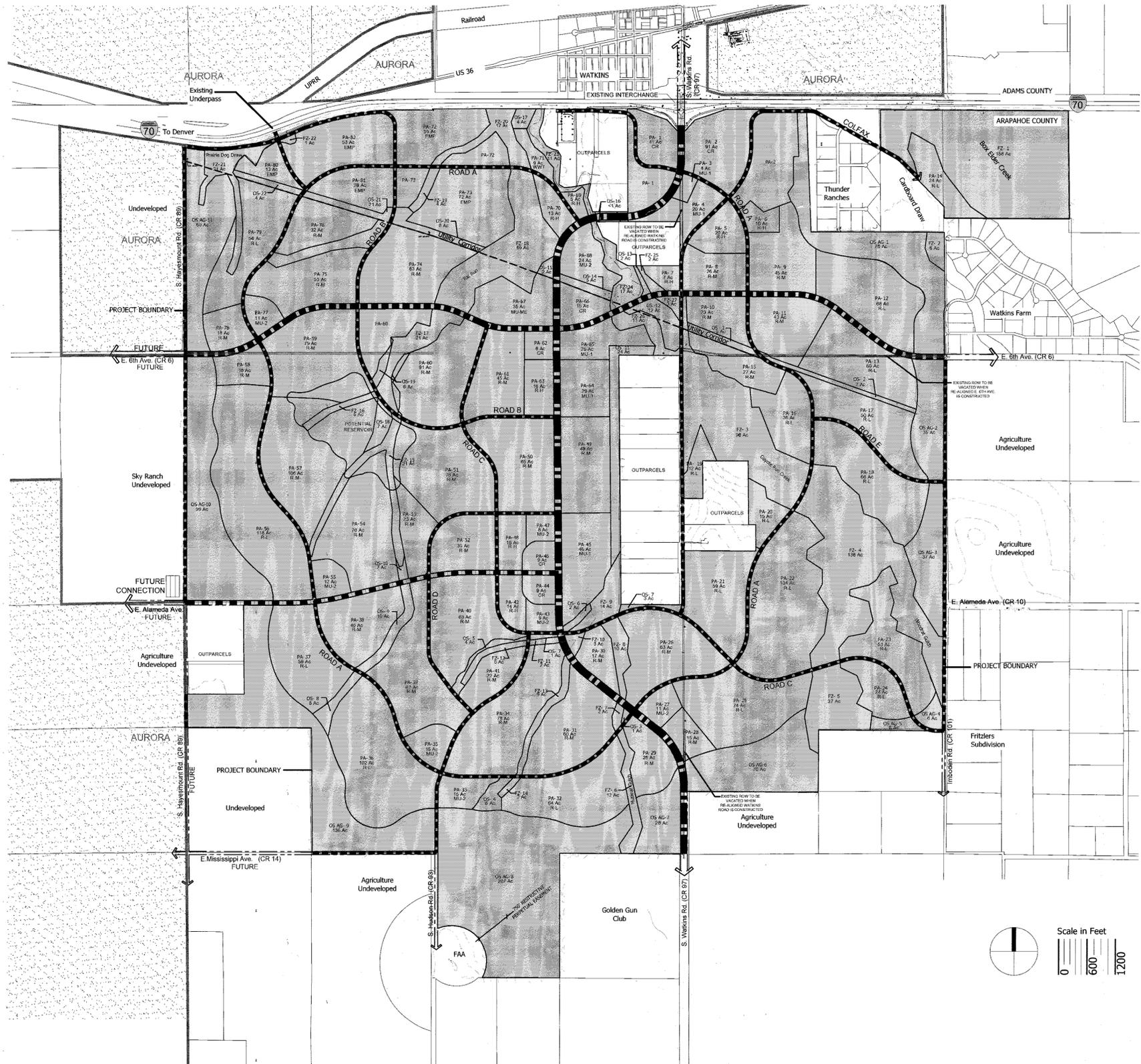
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# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 17 OF 42



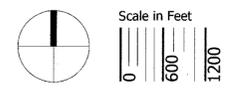
#### LEGEND

**RIGHTS-OF-WAY**

- Major Arterial
- Minor Arterial
- Boulevard
- Connector Road

Prosper

- #### NOTES:
- THE PDP IS INTENDED TO DEPICT GENERAL LOCATIONS OF ROADWAYS, RECOGNIZING THAT FINAL ROAD ALIGNMENTS ARE SUBJECT TO ENGINEERING STUDIES. MINOR RE-ALIGNMENTS OF ROADWAYS ARE EXPECTED.
  - THE PHASING AND CONSTRUCTION OF TRANSPORTATION IMPROVEMENTS SHALL BE PER THE PROSPER TRAFFIC IMPACT STUDY AND DEVELOPMENT AGREEMENT.
  - PLANNING AREA ACCESS POINTS WILL BE DETERMINED AT THE TIME OF FINAL DEVELOPMENT PLAN AND FINAL PLAT PHASE. ACCESS POINTS SHALL COMPLY WITH THE ARAPAHOE COUNTY AND STATE ACCESS STANDARDS.
  - STREET CROSS SECTIONS SHALL BE DETERMINED AT THE TIME OF FINAL DEVELOPMENT PLAN AND FINAL PLAT. ACCESS POINTS SHALL BE PLACED AT A POINT OF OPTIMUM SIGHT DISTANCE.
  - THE LOCATION AND DIMENSIONS OF EXISTING ACCESS POINTS ON, OR IMMEDIATELY ADJACENT PROPERTIES (INCLUDING OUTPARCELS) SHALL BE ILLUSTRATED ON THE FINAL DEVELOPMENT PLAN.
  - PROSPER WILL CONTINUE TO EVALUATE TRANSPORTATION STRATEGIES TO OPTIMIZE PROGRESSION BANDWIDTHS AND INTERSECTION SPACING TO MEET COUNTY STANDARDS AT THE TIME OF PRELIMINARY PLAT.
  - PER THE TRAFFIC IMPACT STUDY FOR PROSPER, ADDITIONAL ROW FOR AUXILIARY TURN LANES AND THOSE LANES THAT ARE UNIQUE TO OPTIMIZE PROGRESSION WILL BE NECESSARY IN THE FUTURE INCLUDING BUT NOT LIMITED TO CONTINUOUS FLOW, DISPLACED LEFT TURNS, AND OTHER TRANSPORTATION IMPROVEMENTS. ADDITIONAL ROW SHALL BE DETERMINED WITH THE PRELIMINARY PLAT AND APPROVED WITH THE FINAL PLAT.
  - THE TRAFFIC IMPACT STUDY SUBMITTED FOR THE PROSPER DEVELOPMENT IS PRELIMINARY AND WILL REQUIRE AN UPDATED ANALYSIS AS DEVELOPMENT IS IMPLEMENTED. THE APPLICANT ALSO AGREES THAT A NEW TRAFFIC IMPACT STUDY MEETING THE COUNTY'S REQUIREMENTS SHALL BE SUBMITTED WITH THE PRELIMINARY PLAT AND THEN WITH EACH FINAL PLAT/FINAL DEVELOPMENT PLAN.
  - TRANSPORTATION CONNECTIONS INCLUDING PROVIDING REQUIRED EMERGENCY VEHICLE ACCESS WILL BE REVIEWED AND REQUIRED AT THE FDP AND FINAL PLAT PHASE. THE INTENT WILL BE TO DISPERSE TRAFFIC AS OPPOSED TO HAVING ONE POINT OF CONNECTION.
  - LOCAL STREET SECTIONS WILL REQUIRE A MINIMUM OF A 5' WALK ON BOTH SIDES OF THE STREET IN RESIDENTIAL DEVELOPMENTS WITH PLATTED LOTS AVERAGING LESS THAN 0.5 ACRES PER PLAT. RESIDENTIAL DEVELOPMENTS WITH PLATTED LOTS AVERAGING 0.5 ACRES OR GREATER PER PLAT WILL NOT REQUIRE A WALK FOR LOCAL STREET SECTIONS.
  - THE FINAL LOCATION OF DETENTION AND WATER QUALITY PONDS WILL BE DETERMINED AT FINAL DEVELOPMENT PLAN / FINAL PLAT. FOR PRELIMINARY LOCATIONS REFER TO THE PROSPER PHASE I DRAINAGE REPORT.



**VOGEL & ASSOCIATES**  
475 W. 12th Avenue - Suite E  
Denver, Colorado 80204-3688  
(303) 893-4288

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#### CONNECTIVITY

Scale: 1"=1000'

Date: NOVEMBER 10, 2015

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# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

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COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 18 OF 42

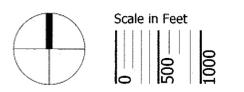
**NOTES:**

1. NEIGHBORHOODS ARE CONCEPTUAL AND MAY VARY IN SIZE DELINEATION AND NUMBER FROM THOSE ILLUSTRATED ON THIS PLAN.
2. NEIGHBORHOODS MAY ENCOMPASS ONE OR SEVERAL PLANNING AREAS.
3. NEIGHBORHOOD NAMES ARE CONCEPTUAL AND MAY VARY FROM THOSE SHOWN ON THE PLAN.
4. NEIGHBORHOODS ARE ENCOURAGED TO INCLUDE A DIVERSITY OF HOUSING TYPES AND DENSITIES. THIS DIVERSITY WILL ALLOW RESIDENTS TO REMAIN IN THEIR NEIGHBORHOOD AND SOCIAL CENTERS AS THEY EVOLVE THROUGH THEIR RESPECTIVE LIFECYCLE.



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**NEIGHBORHOODS**

Scale: 1"=1000'	
Date: NOVEMBER 10, 2015	
Revision Date:	
	<i>[Signature]</i>

# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

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COUNTY OF ARAPAHOE, STATE OF COLORADO

SHEET 19 OF 42

**NOTES:**

1. TRAILS INDICATED ON THIS EXHIBIT ILLUSTRATE PEDESTRIAN/BICYCLE CONNECTIVITY IN LOGICAL LOCATIONS WITHIN PROSPER. TRAIL LOCATIONS SERVE AS GUIDELINES FOR TRAIL CONNECTIONS. SPECIFIC TRAIL LOCATIONS, USES, SIZES, AND SURFACES WILL BE FINALIZED AT FINAL DEVELOPMENT PLAN.
2. CONSTRUCTION OF TRAILS WILL BE DETERMINED AT FINAL DEVELOPMENT PLAN AND FINAL PLAT. LOCAL PEDESTRIAN CONNECTIONS, INCLUDING BOTH DETACHED AND ATTACHED SIDEWALKS, WILL BE SHOWN AT THE TIME OF FINAL DEVELOPMENT PLAN.
3. PARKS AND OTHER PUBLIC PURPOSES ACREAGE AND DEDICATIONS SHALL BE DETERMINED AT THE TIME OF FINAL DEVELOPMENT PLAN AND FINAL PLAT.
4. PROSPER WILL INCLUDE ONE COMMUNITY PARK, SIX SCHOOL/PARKS, EIGHT NEIGHBORHOOD PARKS, AND 14 POCKET PARKS. THE FOLLOWING IS A DESCRIPTION OF EACH TYPE OF PARK, INCLUDING POTENTIAL FACILITIES AND RECREATIONAL ELEMENTS THAT MAY BE INCLUDED IN THE PARKS.
5. THE FINAL LOCATION OF DETENTION AND WATER QUALITY PONDS WILL BE DETERMINED AT FINAL DEVELOPMENT PLAN / FINAL PLAT. FOR PRELIMINARY LOCATIONS REFER TO THE PROSPER PHASE I DRAINAGE REPORT.

**COMMUNITY PARK**  
THE COMMUNITY PARK SHALL BE THE LARGEST PARK IN SIZE. THIS COMMUNITY PARK SHALL SERVE ALL OF PROSPER AND BE A MINIMUM OF 25 ACRES IN SIZE. IT WILL ALLOW FOR GROUP ACTIVITIES AND OFFER OTHER RECREATION OPPORTUNITIES NOT FEASIBLE OR DESIRABLE AT THE OTHER PARKS. THE COMMUNITY PARK SHALL BE DEVELOPED FOR BOTH ACTIVE AND PASSIVE RECREATION ACTIVITIES. SURROUNDING USES SHOULD BE PREDOMINATELY SINGLE OR MULTI-FAMILY RESIDENTIAL. AND MOST AREAS OF THE PARK SHOULD BE READILY VISIBLE FROM ADJOINING STREETS IN ORDER TO PROVIDE A SECURE ENVIRONMENT. THE SITE SHOULD BE SERVICED BY CONNECTOR OR LARGER STREETS AND BE EASILY ACCESSIBLE FROM THROUGHOUT PROSPER BY WAY OF INTERCONNECTING TRAILS. SOME POTENTIAL, BUT NOT LIMITED TO, USES LOCATED IN THE COMMUNITY PARK ARE: COMMUNITY CENTER, SWIMMING POOLS, PLAY STRUCTURES, CREATIVE PLAY ATTRACTIONS, SPORTS FIELDS, SPORTS COURTS, INDIVIDUAL AND GROUP PICNIC/SITTING AREAS, INTERNAL TRAILS, FISHING, WILDLIFE VIEWING AREAS AND STORMWATER DETENTION. STORMWATER DETENTION SHALL BE PER CODE OR AS AMENDED.

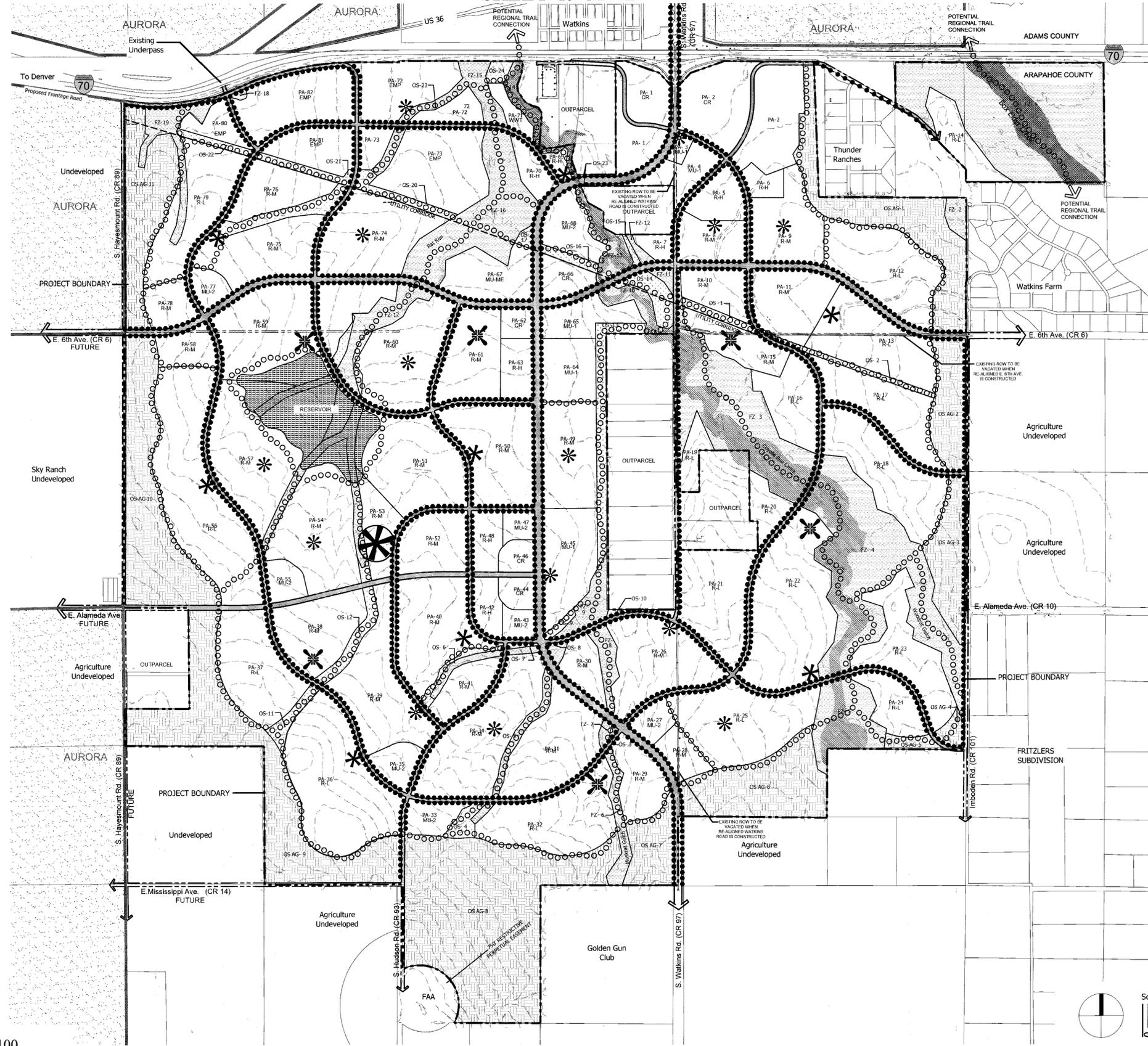
**SCHOOL / PARK**  
SCHOOL/ PARKS ARE 12+ ACRES IN SIZE AND PROVIDE ADEQUATE AREA FOR A SCHOOL WITH SHARED PARK FACILITIES. SURROUNDING USES SHOULD BE PREDOMINATELY SINGLE OR MULTI-FAMILY RESIDENTIAL THE SITE SHOULD BE SERVICED BY CONNECTOR OR COLLECTOR STREETS, HIGH SCHOOL FACILITIES SHOULD BE SERVICES BY ARTERIAL STREETS AND BE EASILY ACCESSIBLE FROM THROUGHOUT PROSPER BY WAY OF INTERCONNECTING TRAILS. SOME POTENTIAL, BUT NOT LIMITED TO, USES LOCATED IN THE SCHOOL/PARKS: SCHOOLS, PLAY STRUCTURES, CREATIVE PLAY ATTRACTIONS, SPORTS FIELDS, SPORTS COURT, AND STORMWATER DETENTION. STORMWATER DETENTION SHALL BE PER CODE OR AS AMENDED.

**NEIGHBORHOOD PARK**  
NEIGHBORHOOD PARKS ARE 3-5 ACRES IN SIZE AND SERVE THE SURROUNDING USERS. NEIGHBORHOOD PARKS SHOULD BE DEVELOPED FOR BOTH ACTIVE AND PASSIVE RECREATION ACTIVITIES. SURROUNDING USES SHOULD BE PREDOMINATELY SINGLE OR MULTI-FAMILY RESIDENTIAL. AND MOST AREAS OF THE PARK SHOULD BE READILY VISIBLE FROM ADJOINING STREETS IN ORDER TO PROVIDE A SECURE ENVIRONMENT. SOME POTENTIAL, BUT NOT LIMITED TO, USES LOCATED IN THE NEIGHBORHOOD PARKS ARE: PLAY STRUCTURES, CREATIVE PLAY ATTRACTIONS, INFORMAL SPORTS FIELDS, SPORTS COURTS, INDIVIDUAL PICNIC/SITTING AREAS, INTERNAL TRAILS, AND STORMWATER DETENTION. STORMWATER DETENTION SHALL BE PER CODE OR AS AMENDED.

**POCKET PARK**  
POCKET PARKS ARE UP TO 2 ACRES IN SIZE. POCKET PARKS PARKS CAN BE DEVELOPED FOR BOTH ACTIVE AND/OR PASSIVE RECREATION ACTIVITIES. SOME POTENTIAL, BUT NOT LIMITED TO, USES LOCATED IN THE POCKET PARKS ARE: PROJECT MONUMENTATION, PLAY STRUCTURES, INDIVIDUAL PICNIC/SITTING AREAS AND STORMWATER DETENTION. STORMWATER DETENTION SHALL BE PER CODE OR AS AMENDED.

**LEGEND**

- SCHOOL / PARK
- COMMUNITY PARK
- NEIGHBORHOOD PARK
- POCKET PARK
- DETACHED COMMUNITY TRAILS
- SIDEWALKS WITHIN RIGHTS-OF-WAY
- POTENTIAL RESERVOIR SITE
- OPEN SPACE
- OPEN SPACE - AGRICULTURAL
- F - FLOOD PLAIN (OPEN SPACE)
- FLOODWAY



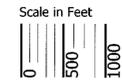
PARKS & OPEN SPACE COMPARISON				
	PROSPER PROJECTED POPULATION	1,000 RESIDENTS	PUBLIC PARK ACRES REQUIRED	ACRES
<b>ARAPAHOE COUNTY</b>				
PUBLIC PARKS 6 AGRICULTURE RESIDENTS	22,304	22.30	6.00	134
OTHER PUBLIC PURPOSE 25 AGRICULTURE RESIDENTS	22,304	22.30	0.25	6
<b>TOTAL REQUIRED</b>				<b>140</b>
<b>PROSPER</b>				
COMMUNITY PARK			30	
NEIGHBORHOOD PARKS			40	
POCKET PARKS			39	
JOINT SCHOOL PARKS			25	
<b>PUBLIC PARK TOTAL</b>			<b>134</b>	
OTHER PUBLIC PURPOSE			6	
<b>TOTAL PROVIDED</b>				<b>140</b>

**TRAILS & OPEN SPACE PLAN**

Scale: 1"=1000'

Date: NOVEMBER 10, 2015

Revision Date:



CASE NO. Z12-100

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**PROSPER**  
**PRELIMINARY DEVELOPMENT PLAN**  
 PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
 AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
 COUNTY OF ARAPAHOE, STATE OF COLORADO  
**SHEET 20 OF 42**

Non-Residential						
Standards	CR	MU-1	MU-2	MU-ME	EMP	OS-AG
Minimum Lot Size	0.5 Ac.	1.0 Ac.				
Maximum Floor Area Ratio	0.90	0.70	0.70	0.70	0.80	0.15
Landscape Area	15%	10%	20%	20%	15%	30%
Minimum Unobstructed Open Space	(7)	(7)	(7)	(7)	(7)	(7)
Principal Use						
Height	75'(13)	75'	50'	75'	75'	50'
Setback From 6 Lane Arterial	25'	25'	25'	25'	50'	75'
Setback From 4 Lane Minor Arterial	25'	25'	25'	25'	20'	30'
Setback From 2 Lane Boulevard	20'	20'	20'	20'	10'	30'
Setback From Connector Road	20'	10'	10'	20'	15'	30'
Setback From Local Road	20'	10'	10'	20'	20'	30'
Setback From Parking	10'	10'	10'	10'	10'	15'
*Building Separation	0'	0'	0'	0'	20'	30'
Setback From Single Family Detached	50'	20'	20'	50'	50'	75'
Setback From Single Family Attached	50'	20'	20'	50'	50'	75'
Setback From Multi-Family	30'	0'	0'	30'	50'	75'
Accessory Use						
Height	35'	35'	35'	35'	35'	90'
Structure Setback From 6 Lane Arterial	30'	30'	30'	30'	30'	30'
Parking Setback From 6 Lane Arterial	15'	15'	15'	15'	15'	15'
Setback From 4 Lane Minor Arterial	15'	15'	15'	15'	15'	15'
Setback From 2 Lane Boulevard	5'	5'	5'	10'	10'	10'
Setback From Connector Road	5'	5'	5'	10'	10'	10'
Setback From Local Road	10'	10'	10'	15'	15'	15'
Setback From Parking	10'	10'	10'	10'	10'	10'
Setback From Property Line	5'	5'	5'	5'	5'	5'

\* OR AS REQUIRED BY CURRENT FIRE CODE / INTERNATIONAL BUILDING CODE (I.B.C.)

Single Family Detached					
Standards	R-L	R-M	R-H	MU-1	MU-2
Minimum Lot Size	10,000	3,200	3,200	3,200	3,200
Parking Requirement	2/unit	2/unit	2/unit	2/unit	2/unit
Maximum Height	35'	35'	35'	35'	35'
Minimum Non-Obstructed Open Space	10%	10%	10%	10%	10%
Principal Use					
Front Setback to Living Space	25'	15'	10'	10'	10'
Front Setback to Covered Porch	15'	10'	5'	5'	5'
Front Setback to Garage	25'	18'	18'	18'	18'
Front Setback to Side Loaded Garage	10'	10'	10'	10'	10'
Side Setback Minimum	10'	0'	0'	0'	0'
Side Setback with Easement	0'	0'	0'	0'	0'
*Building Separation	20'	10'	10'	10'	10'
Rear Setback - Front Load	20'	10'	5'	5'	5'
Rear Setback - Alley Load	N/A	3'	3'	3'	3'
Side (corner) Setback	25'	15'	10'	10'	10'
Accessory Use					
Maximum Height	35'	15'	15'	15'	15'
Front Setback	40'	20'	20'	20'	20'
Side Setback	3'*	3'*	0'	0'	0'
Rear Setback	15'	5'	0'	0'	0'
Rear Setback (alley load garage)	N/A	3'	3'	3'	3'
Side (corner) Setback	25'	15'	5'	5'	5'

\* OR AS REQUIRED BY CURRENT FIRE CODE / INTERNATIONAL BUILDING CODE (I.B.C.)

Multi-Family and Attached Residential				
Standards	R-M	R-H	MU-1	MU-2
Minimum Lot Size	3200	1200	1200	1200
Maximum Height	35	50	50	50
Maximum Number of Units Attached	8	50	50	50
Minimum Unobstructed Open Space	20%(7)	20%(7)	20%(7)	20%(7)
Principal Use				
Front Setback to Living Space	15'	10'	5'	5'
Front Setback to Covered Porch	10'	5'	0'	0'
Side Setback Minimum	0'	0'	0'	0'
Side Setback with Easement	15'	15'	10'	10'
*Building Separation	20'(12)	20'(12)	15'(12)	15'(12)
Rear Setback	10'	10'	10'	10'
Rear Setback - Alley Load Garage	3'*	3'*	3'*	3'*
Side (corner) Setback	10'	10'	5'	5'
Accessory Use				
Maximum Height	15'	15'	15'	15'
Front Setback	20'	20'	20'	20'
Side Setback	5'	5'	5'	5'
Rear Setback - non garage	10'	10'	10'	10'
Rear Setback (alley load garage)	3'*	3'*	3'*	3'*
Side (corner) Setback	15'	10'	0'	0'

\* OR AS REQUIRED BY CURRENT FIRE CODE / INTERNATIONAL BUILDING CODE (I.B.C.)

**DEVELOPMENT STANDARDS:**

1. ARCHITECTURAL ELEMENTS SUCH AS ROOF OVERHANGS, FIREPLACES, AND BAY BOX WINDOWS ARE PERMITTED A 24-INCH ENCROACHMENT INTO BUILDING SEPARATIONS. NO PORTION OF THE STRUCTURE ABOVE GROUND MAY ENCROACH INTO THE THREE-FOOT BUILDING TO PROPERTY LINE SETBACK WITHOUT MODIFICATION AND BUILDING DEPARTMENT REVIEW AND APPROVAL. OTHER SUBSURFACE ARCHITECTURAL ELEMENTS INCLUDING STRUCTURAL ELEMENTS OF THE BUILDING FOUNDATION SUCH AS COUNTERFEITS MAY ENCROACH INTO BUILDING SEPARATIONS OR SETBACKS PROVIDED THAT SUCH ELEMENTS REMAIN ENTIRELY WITHIN THE LOT UPON WHICH THEY ORIGINATED. FOUNDATION WALLS ARE NOT PERMITTED WITHIN ANY SETBACKS. UNENCLOSED DECKS MAY ENCROACH INTO REAR SETBACKS BUT SHALL BE LOCATED NO CLOSER THAN 10' (TEN FEET) FROM THE REAR PROPERTY LINE BUT SHALL NOT ENCROACH INTO A UTILITY EASEMENT. DECKS SHALL NOT ENCROACH INTO SIDE SETBACK.
2. A ZERO LOT LINE MAY BE UTILIZED WHEN A MAINTENANCE EASEMENT AND SIDEYARD EASEMENT ARE EXECUTED SUBJECT TO U.B.C. REQUIREMENTS.
3. SETBACKS ARE MEASURED FROM THE R.O.W UNLESS OTHERWISE SPECIFIED.
4. SINGLE FAMILY DETACHED (SFD) FRONT LOADED GARAGES REQUIRE A MINIMUM 18' DRIVEWAY FROM THE GARAGE FACE TO THE BACK OF WALK. SFD FRONT LOADED GARAGES WITH NO WALK REQUIRE A MINIMUM 20' DRIVEWAY FROM THE GARAGE FACE TO THE ASPHALT. SFD FRONT LOADED GARAGES LOCATED ON CORNER LOTS SHALL BE LOCATED 20' FROM POINT OF CURB RETURN.
5. BUILDING HEIGHT IS MEASURED AS THE VERTICAL DISTANCE FROM THE AVERAGE FINISHED GRADE IMMEDIATELY ADJACENT TO THE STRUCTURE TO THE HIGHEST POINT OF THE STRUCTURE, INCLUDING ROOFTOP APPURTENANCES.

**DEVELOPMENT STANDARDS (CON'T):**

6. ANY LAND USE OF A LOWER DENSITY MAY BE DEVELOPED WITHIN A HIGHER DENSITY PARCEL AS LONG AS IT FOLLOWS STANDARDS OF THE LOWER DENSITY LISTED IN THE TABLES.
7. 25% OPEN SPACE SHALL BE REQUIRED FOR 2 OR MORE STORIES, 30% OPEN SPACE FOR 3 STORIES, 35% OPEN SPACE FOR 4 STORIES OR MORE.
8. PORTIONS OF SCHOOL SITES NOT USED FOR BUILDING OR VEHICULAR INFRASTRUCTURE PURPOSES AND PLANNED FOR OPEN SPACE AND RECREATION USE MAY BE COUNTED TOWARD THE OPEN SPACE AND PARKS REQUIREMENT FOR THE SITE.
9. REQUIRED PARKING SHALL MEET THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE PARKING STANDARDS OUTLINE IN SECTION 12-1208(OFF-STREET PARKING.) SHARED PARKING IS ENCOURAGED AND ALLOWED IN INSTANCES WHERE APPROPRIATE.
10. ATTACHED RESIDENTIAL UNITS REQUIRE THE FOLLOWING OFF-STREET PARKING SPACES: STUDIO AND 1 BEDROOM UNITS REQUIRE 1.5 PARKING SPACES PER UNIT. 2 BEDROOM UNITS REQUIRE 2.0 PARKING SPACES PER UNIT. 3+ BEDROOM UNITS REQUIRE 2.5 PARKING SPACE PER UNIT. GUEST PARKING REQUIRES 0.25 SPACES PER RESIDENTIAL UNIT
11. RESIDENTIAL SETBACKS FROM RIGHT-OF-WAY ON ARTERIAL WITH DETACHED SIDEWALKS, TWO LANE BOULEVARDS & CONNECTOR STREETS TO BE INCREASED BY 10'.
12. ATTACHED DUPLEX RESIDENTIAL UNITS HAVE A 10' MINIMUM BUILDING SEPARATION.
13. TO REDUCE THE VISUAL IMPACT TO THUNDER RANCHES AND WATKINS FARM, THE MAXIMUM BUILDING HEIGHT FOR PLANNING AREAS PA-2, PA-12 & OS AG-1 HAS BEEN TERRACED. WITHIN 500' WEST OF THUNDER RANCHES, MEASURED FROM THE EASTERNMOST PROSPER PROPERTY LINE, A MAXIMUM BUILDING HEIGHT OF 45' IS ALLOWED. ALL AREAS BEYOND 500' REFER TO THE DEVELOPMENT STANDARDS IN THIS DOCUMENT FOR MAXIMUM BUILDING HEIGHTS.
14. AGRICULTURAL BUILDINGS SHALL HAVE THE FOLLOWING MAXIMUM HEIGHTS:  
 BARN 50 FEET  
 SILOS 75 FEET

**DEVELOPMENT STANDARDS**

Scale: N/A  
 Date: NOVEMBER 10, 2015  
 Revision Date:



CASE NO. Z12-100



# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

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#### 1.0 GENERAL STANDARDS

MINOR AMENDMENTS TO THESE DESIGN STANDARDS THAT DO NOT MODIFY THE INTENT, BUT RATHER CLARIFY AMBIGUITY OR OVERSIGHTS, MAY BE ADMINISTRATIVELY APPROVED BY THE PLANNING DIVISION MANAGER ON A CASE-BY-CASE BASIS.

#### 1.1 SITE PLANNING

##### INTENT:

PROSPER IS MASTER PLANNED AS A VITAL AND BALANCED MIXED USE COMMUNITY THAT IS BASED ON INTEGRATED AND "SMART GROWTH" PLANNING AND DESIGN PRINCIPLES.

##### PRINCIPLE ONE: IDENTIFY AND SUSTAIN GREEN INFRASTRUCTURE

PROSPER INCLUDES AN EXPANSIVE GREEN INFRASTRUCTURE NETWORK CONSISTING OF EXISTING NATURAL DRAINAGE CORRIDORS AND RIPARIAN AREAS. LARGE CONTIGUOUS AREAS OF OPEN SPACE ALONG THE PERIMETER OF PROSPER HAVE ALSO BEEN PRESERVED AS PART OF THE GREEN INFRASTRUCTURE.

THIS NETWORK WILL SERVE THE COMMUNITY'S NEED FOR PARKS AND OPEN SPACE WHILE PROVIDING A FRAMEWORK THAT WILL SHAPE THE COMMUNITY'S FORM AND BUFFER INCOMPATIBLE LAND USES. MAINTAINING THE GREEN INFRASTRUCTURE WILL REDUCE COSTS FOR STORM WATER MANAGEMENT, FLOOD CONTROL AND THE COMPONENTS OF BUILT INFRASTRUCTURE.

##### PRINCIPLE TWO: PROTECT ENVIRONMENTAL SYSTEMS AND CONSERVE RESOURCES

MINIMIZE DISTURBANCE -PROSPER UTILIZES PLANNING TECHNIQUES THAT WILL MAINTAIN THE INTEGRITY OF NATURAL DRAINAGE SYSTEMS. THE MASTER PLAN ADDRESSES SITE RESOURCES SUCH AS HYDROLOGY, TERRAIN, GEOLOGY, SITE ECOLOGY, WILDLIFE AND VEGETATION IN A SENSITIVE MANNER WHICH WILL ENHANCE PROJECT CHARACTER, ENVIRONMENTAL AWARENESS AND REDUCE INFRASTRUCTURE COSTS.

DESIGN FOR LOCAL CLIMATE-DEVELOPMENT WITHIN THE PROSPER PLANNING AREAS SHOULD ADDRESS CLIMATIC CONDITIONS AT ALL LEVELS OF THE PLANNING AND DESIGN PROCESS. DESIGN ISSUES RELATED TO STREET AND OPEN SPACE CONFIGURATION, BUILDING ORIENTATION, PREVAILING WINDS AND VEGETATIVE COVER FOR COOLING SHOULD BE ADDRESSED. PLANNING FOR LOCAL CLIMATIC CONDITIONS WILL YIELD ECONOMIC BENEFITS, ENCOURAGE ALTERNATIVE METHODS OF TRANSPORTATION AS WELL AS CONTRIBUTE TO A UNIQUE CHARACTER FOR PROSPER.

RESOURCE CONSERVATION AND RECYCLING-A VARIETY OF WATER CONSERVATION PRACTICES AND METHODS WILL BE INCORPORATED INTO THE COMMUNITY AT A MACRO AND MICRO LEVEL. UTILIZING GRAY WATER TO RECYCLE WATER AND NATURAL DRAINAGE SYSTEMS TO RECHARGE AQUIFERS ARE PRACTICES THAT CAN BE EVALUATED AS PART OF THE PLANNING PROCESS. LANDSCAPING WITH NATIVE PLANTS AND DROUGHT-TOLERANT PLANTS ADAPTED TO LOCAL SITE CLIMATE AND MOISTURE CONDITIONS WILL REDUCE THE NEED FOR EXCESSIVE IRRIGATION AND WILL ENHANCE PROJECT CHARACTER AND WILDLIFE HABITAT. PROVIDING SOIL AMENDMENTS FOR POOR SOILS WILL INCREASE EFFICIENT PLANT GROWTH AND REDUCE WATER CONSUMPTION. CONCENTRATING MANICURED LANDSCAPES IN AREAS WITH HIGH INTENSITY PEDESTRIAN USE WILL FURTHER CONTRIBUTE TO WATER CONSERVATION.

PLANNING FOR ENERGY EFFICIENCY SHOULD BE BUILT INTO THE PLANNING AND DESIGN OF PLANNING AREAS TO MINIMIZE OR ELIMINATE THE USE OF NON RENEWABLE ENERGY SOURCES. THE INCLUSION OF PASSIVE SOLAR PRINCIPLES AND NATURAL COOLING ENHANCES ENERGY EFFICIENCY. UTILIZING HIGH-EFFICIENCY HEATING, VENTILATING, AIR-CONDITIONING, LIGHTING, APPLIANCES, AND PLUMBING SYSTEMS REDUCES ENERGY CONSUMPTION, DIMINISHES WASTE, AND AVOIDS THE POLLUTION ASSOCIATED WITH THE USE OF FOSSIL FUELS. OTHER METHODS INCLUDE USING RESOURCE-EFFICIENT MATERIALS, REDUCING THE QUANTITY OF MATERIALS USED, DESIGNING FOR DURABILITY AND ADAPTABILITY. REDUCING CONSTRUCTION WASTE AND PROTECTING ECOSYSTEMS WILL CONSERVE ENERGY. RE-USE OF ASPHALT AND AGGREGATES FOR NEW BUILDING MATERIALS CAN BE BENEFICIAL AND APPLIED TO MULTIPLE APPLICATIONS.

##### PRINCIPLE THREE: COMMUNITY PLANNING AND OPEN SPACE PRESERVATION.

THE PROSPER MASTER PLAN INCORPORATES A PLANNING APPROACH THAT PRESERVES THE NATURAL DRAINAGES THAT TRANSCEND THROUGH THE PROPERTY ALONG WITH LARGE CONTIGUOUS OPEN SPACE AREAS LOCATED ON THE PERIMETER OF PROSPER. THIS APPROACH TO PLANNING UTILIZES DENSITIES, BUILDING TYPES AND SITE PLANNING CONFIGURATIONS THAT PROTECT AND PRESERVE LARGE CONTIGUOUS AREAS OF OPEN SPACE, IMPORTANT NATURAL FEATURES AND SCENIC VIEWS. A PLANNING FRAMEWORK IS ESTABLISHED THAT REDUCES SPRAWL, ENHANCES A "SENSE OF COMMUNITY" WHILE REDUCING INFRASTRUCTURE COSTS. A PLANNING FRAMEWORK THAT CENTRALIZES DEVELOPMENT AREA AND PRESERVES OPEN SPACE CORRIDORS PROVIDES SAFETY/SECURITY AND ENCOURAGES PEDESTRIAN ACTIVITY, THE USE OF BICYCLE AND OTHER ALTERNATIVE MODES OF TRANSPORTATION. PEDESTRIAN-ORIENTED STREETS, LARGE CONTIGUOUS OPEN SPACE AREAS, COMMUNITY GATHERING AREAS, PARKS AND TRAILS SYSTEMS BECOME THE FRAMEWORK AND FOCUS OF THE COMMUNITY.

INCORPORATING THIS PLANNING APPROACH HAS CONTRIBUTED TO THE PRESERVATION OF BOX ELDER CREEK, COYOTE RUN AND THE ASSOCIATED TRIBUTARIES THAT DEFINE A SIGNIFICANT COMPONENT OF PROSPER'S "GREEN INFRASTRUCTURE" NETWORK. THIS APPROACH TO CLUSTERING HAS ALSO ALLOWED THE PRESERVATION OF APPROXIMATELY 762 ACRES OF OPEN SPACE AREAS ALONG THE PERIMETER OF PROSPER. THIS LARGE CONTIGUOUS AREA OF PERIMETER OPEN SPACE WILL BE UTILIZED FOR AGRICULTURE, RECREATION AND PRESERVATION.

##### PRINCIPLE FOUR: DIVERSITY OF HOUSING TYPES

THE PROSPER LAND USE PLAN PERMITS A DIVERSITY OF HOUSING TYPES TO BE CONSTRUCTED. DIVERSE HOUSING ACCOMMODATES A MULTI-GENERATIONAL POPULATION AND ALLOWS FOR A MIX OF INCOMES. THIS DIVERSITY FURTHER BALANCES EMPLOYMENT WITH HOUSING BY PROVIDING RESIDENTIAL PRODUCT TYPES THAT WILL ACCOMMODATE A DIVERSE WORK FORCE. LONG TERM COMMUNITY RESIDENTS ALSO HAVE THE OPTION OF REMAINING IN THEIR NEIGHBORHOOD AS THEY MIGRATE THROUGH THE LIFECYCLE AND IN SOME INSTANCES CAN REMAIN IN CLOSE PROXIMITY TO OTHER PRIMARY FAMILY MEMBERS.

##### PRINCIPLE FIVE: MIXED USE CENTERS AND NEIGHBORHOOD FOCAL POINTS

PROSPER INCLUDES A HIERARCHY OF MIXED USE CENTERS AND NEIGHBORHOOD FOCAL POINTS. PLANNING MIXED USE CENTERS IN THE PROJECT PROVIDES A CRITICAL MASS AND A SENSE OF PLACE THAT WILL GIVE THE COMMUNITY IDENTITY AND A HEART. MIXED USE ENCLAVES WILL CREATE A DESTINATION THAT INCLUDES HOUSING, OFFICE, RETAIL, ENTERTAINMENT, MEDICAL, AND CIVIC USES. MIXED USE CENTERS PROVIDE CONVENIENCE TO RESIDENTS, EMPLOYEES AND PROVIDE ATTRACTIVE AND ACCESSIBLE NEIGHBORHOODS FOR THE ELDERLY.

CREATING NEIGHBORHOOD FOCAL POINTS AND GATHERING AREAS CONTRIBUTES TO A "SENSE OF COMMUNITY" AND REINFORCES NEIGHBORHOOD IDENTITY AND CHARACTER. NEIGHBORHOOD FOCAL POINTS MAY INCLUDE A COMMONS, NEIGHBORHOOD PARK, SCHOOL AND/OR PLAZAS.

##### PRINCIPLE SIX: COMMUNITY CONNECTIVITY

PROSPER IS A COMMUNITY THAT INCLUDES A HIERARCHY OF CONNECTED STREETS THAT DISPERSE TRAFFIC BY PROVIDING DRIVERS, CYCLISTS, AND PEDESTRIANS WITH A NUMBER OF CHOICES TO REACH THEIR DESTINATIONS. A SYSTEM OF INTER-CONNECTED STREETS WILL ALSO IMPROVE ACCESS FOR EMERGENCY VEHICLES. PROVIDING NETWORK OF CONNECTED STREETS WILL REDUCE TRAVEL TIME AND CONGESTION BY DISPERSING TRAFFIC THROUGHOUT THE SYSTEM AS OPPOSED TO ONE OR TWO MAJOR STREETS.

COMMUNITY CONNECTIVITY WITHIN PROSPER WILL ALSO INCLUDE CREATING A WELL-CONNECTED SYSTEM OF RECREATIONAL TRAILS, PARKS, AND OPEN SPACE FOR RESIDENTS AND TO ACCOMMODATE THE NEEDS OF A DIVERSE POPULATION. THE PROJECT CHARACTER AND IDENTITY ARE REINFORCED BY PROVIDING KEY CONNECTIONS TO NEIGHBORHOODS, EMPLOYMENT CENTERS, SCHOOLS, CHURCHES, COMMERCIAL CENTERS, PARKS AND OPEN SPACES.

#### 1.2.0 SIGNAGE AND LIGHTING

##### INTENT:

TO DEVELOP AND ESTABLISH A COMPREHENSIVE SIGNAGE AND MONUMENTATION PROGRAM THAT REQUIRES COORDINATING THE DESIGN AND PLACEMENT OF SIGNAGE WITH SITE AND PROJECT DESIGN GOALS.

TO ENCOURAGE COORDINATED SIGN PROGRAMS GOVERNING MULTIPLE BUILDINGS AND DEVELOPMENT SITES.

TO PROVIDE LIGHTING THAT PROVIDES SAFETY AND A CONSISTENT APPEARANCE.

TO LIGHT AREAS IN A CONSISTENT MANNER THAT IS ATTRACTIVE AND UNOBTRUSIVE. MINIMIZE OFF-SITE LIGHT IMPACTS.

TO ACCENTUATE DESIGN FEATURES OF THE SITE AND ARCHITECTURE.

##### 1.2.1 SIGNAGE

##### STANDARDS:

SIGN STANDARDS SHALL, AT A MINIMUM, COMPLY WITH THE REQUIREMENTS OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE SECTION 12-300. SIGN STANDARDS WHICH EXCEED THE MINIMUM ALLOWABLE SQUARE FOOTAGE, HEIGHT AND NUMBER OF SIGNS SHALL BE SUBMITTED FOR APPROVAL TO ARAPAHOE COUNTY AS PART OF AN OVERALL SIGN PROGRAM. ANY VARIATION TO THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE IS SUBJECT TO APPROVAL AT THE FINAL DEVELOPMENT PLAN STAGE. ALL SIGNS ARE SUBJECT TO APPROVAL WITH A FINAL DEVELOPMENT PLAN.

##### 1.2.2 PARKING LOT LIGHTING

LIGHTING STANDARDS SHALL, AT A MINIMUM, COMPLY WITH THE REQUIREMENTS OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE SECTION 12-1300. ANY VARIATION TO THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE IS SUBJECT TO APPROVAL AT THE FINAL DEVELOPMENT PLAN STAGE.

##### STANDARDS:

THE LIGHT SOURCE SHALL BE INDIRECT, DIFFUSED OR SHIELDED TYPE FIXTURES, INSTALLED TO REDUCE GLARE AND THE CONSEQUENT INTERFERENCE WITH BOUNDARY STREETS AND ADJACENT PROPERTY.

FIXTURES SHALL BE ATTACHED TO BUILDINGS OR MOUNTED ON POLES IN SUCH A MANNER AND AT SUCH A HEIGHT THAT LIGHT IS NOT DIRECTED AT A RESIDENTIAL USE.

##### 1.2.3 PEDESTRIAN LIGHTING

PEDESTRIAN LIGHTING SHALL USE CONSISTENT FIXTURES, SOURCE COLORS AND ILLUMINATION LEVELS.

TO PREVENT GLARE AND LIGHT POLLUTION, LIGHT FIXTURES SHALL BE DOWNCAST OR LOW CUT-OFF FIXTURES.

##### 1.2.4 ACCENT LIGHTING

ARCHITECTURAL ACCENT LIGHTING SHALL BE LIMITED TO LIGHTING OF ARCHITECTURAL FEATURES ONLY.

ACCENT FIXTURES PROVIDING DIRECT ILLUMINATION SHALL BE IN CHARACTER WITH THE ARCHITECTURAL AND LANDSCAPE CHARACTER OF THE DEVELOPMENT.

SERVICE AREA LIGHTING SHALL BE CONFINED WITHIN THE SERVICE AREA BOUNDARIES AND ENCLOSURE WALLS. LIGHTS AT SERVICE OR EXIT DOORS SHALL BE LIMITED TO LOW WATTAGE DOWNCAST OR LOW CUT-OFF FIXTURES THAT MAY REMAIN ON THROUGHOUT THE NIGHT.

#### 1.3 SUBSTATIONS

##### STANDARDS:

ABOVE GROUND ELECTRIC UTILITY SUBSTATIONS SHALL BE SCREENED TO THE EXTENT PRACTICABLE. LANDSCAPING, BERMING AND FENCING SHALL BE UTILIZED TO SCREEN ABOVE GROUND UTILITY SUBSTATIONS.

THE LOCATION AND SIZE OF POTENTIAL UTILITY SUBSTATIONS SHALL BE DETERMINED AS PART OF A LOCATIONS AND EXTENT APPLICATION.

##### 1.4 OIL AND GAS FACILITIES

OIL AND GAS PLATFORMS AND FACILITIES AT A MINIMUM SHALL COMPLY WITH THE STANDARDS AND PROVISIONS IN THE SURFACE USE AND/OR ALL APPLICABLE AGREEMENTS.

##### STANDARDS:

OIL AND GAS FACILITIES SHOULD BE LOCATED IN AREAS THAT MINIMIZE VISIBILITY AND EXTENSIVE SITE DISTURBANCE.

REQUIRED CUT AND FILL SLOPES SHALL BE TRANSITIONED INTO EXISTING GRADE UTILIZING NATURAL CONTOUR ALIGNMENTS AND FORMS.

OIL AND GAS FACILITIES AND TRANSMISSION LINES SHALL BE LOCATED TO ACCOMMODATE ON-SITE AND OFF-SITE DRAINAGE PATTERNS

OIL AND GAS FACILITIES SITES SHALL COORDINATE ACCESS POINTS WITH ADJACENT PROPERTIES AND LAND USES.

SUFFICIENT AREA ALONG THE PERIMETER OF OIL AND GAS FACILITIES SHALL BE PROVIDED TO ALLOW FOR BUFFERING AND SCREENING. BUFFERING AND SCREENING MAY INCLUDE BERMING, LANDSCAPING AND SOLID FENCING.

##### EQUIPMENT AND STORAGE TANKS:

LOW PROFILE TANKS SHALL BE UTILIZED FOR PERMANENT GAS, OIL AND WATER STORAGE. STORAGE TANKS SHALL BE PAINTED ELK TAN OR OTHER EARTH TONE COLORS APPROVED BY PROSPER FARMS INVESTMENTS, LLC. AND ARAPAHOE COUNTY.

##### FENCING AND LIGHTING:

NO PERMANENT LIGHTING SHALL BE PERMITTED. TEMPORARY CHAIN LINK FENCE MAY BE PERMITTED DURING DRILLING OPERATIONS. PERMANENT FENCING SHALL INCLUDE BROWN METAL FENCE PANELS WITH SOLID PICKETS. FENCES SHALL BE A MAXIMUM OF 6' HIGH.

#### 1.5 DOG PARKS

ENCLOSED FENCED AREA WHERE DOGS ARE ABLE TO FREELY RUN OFF LEASH.

##### STANDARDS:

LOCATE IN A SAFE AND ACCESSIBLE LOCATION WITH ADEQUATE DRAINAGE IS PREFERRED. DOG PARKS SHOULD BE LOCATED ON WELL-DRAINED LAND WITH A MAXIMUM SLOPE OF 15%.

AN IDEAL SEPARATION BETWEEN A DOG PARK AND SCHOOLS, RESIDENCES, AND BUSINESS IS 200 FEET; HOWEVER CHANGES IN TOPOGRAPHY OR LANDSCAPING CAN REDUCE THE NEED FOR SPATIAL SEPARATION.

THE DISTANCE BETWEEN THE PROPOSED DOG PARK AND HOMES, BUSINESS, SCHOOLS, AND ADJACENT PARK FEATURES WHEN LOCATED IN A COMMUNITY PARK WILL BE EVALUATED FOR CONFLICTS ASSOCIATED WITH NOISE.

WHEN A DOG PARK IS LOCATED WITHIN THE COMMUNITY PARK IT SHALL NOT BE PLACED IN ANY AREA WHERE IT WILL NEGATIVELY IMPACT PRIMARY USES OF THE PARK, UNLESS THE IMPACT CAN BE MITIGATED BY REGULATING THE HOURS OF THE DOG PARK. THE SITE WILL BE EVALUATED FOR NOISE CONFLICTS WITH ADJACENT PARK USES, RESIDENTIAL AREAS AND BUSINESS. POTENTIAL USE CONFLICTS INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- PLAYGROUNDS AND CHILDREN'S PLAY AREAS
- ATHLETIC FIELDS AND COURTS
- SENSITIVE HABITATS OR WILDLIFE AREAS
- AREA DIRECTLY UPSLOPE FROM COMMUNITY GARDENS
- JOGGING OR BICYCLE PATHS

ONE ACRE MINIMUM SIZE TO ALLOW FOR SEPARATE AREA FOR BOTH SMALL AND LARGE DOGS. 5000 S.F. FOR SMALL NEIGHBORHOOD DOG PARKS WITHOUT SEPARATE AREAS FOR LARGE AND SMALL DOGS. IF SPACE ALLOWS, IT IS PREFERABLE TO PROVIDE SEPARATE AREAS FOR SMALL AND LARGE DOGS. THIS WILL ENABLE LARGE DOG OWNERS TO ALLOW THEIR PETS TO RUN MORE FREELY, WHILE PROTECTING SMALLER DOGS WHO MAY NOT BE SUITED TO THE ENTHUSIASTIC PLAY OF LARGER BREEDS.

ENCLOSE WITH A 6' HIGH METAL VIEW FENCE WITH EITHER A DOUBLE-GATED ENTRY THAT IS CENTRALLY LOCATED OR A BULL PEN TYPE ENTRY THAT IS EITHER CONCRETE OR CRUSHED STONE. THE SURFACE MATERIAL SHOULD EXTEND OUT AT THE ENTRY/EXIT POINTS TO MINIMIZE THE HIGH USE IMPACTS ON THE AREA. ALL GATES SHALL BE ADA ACCESSIBLE.

THE SURFACE CAN INCLUDED NATURAL TURF, NATIVE GRASS, CRUSHER FINES AND STABILIZED NATIVE SOIL.

SHADE TREES SHALL BE LOCATED WITHIN THE PERIMETER OF THE DOG PARK AREA. CANOPY COVERAGE SHOULD ULTIMATELY SHADE AT LEAST 1/3 OF THE DOG PARK AREA OTHERWISE SHADE STRUCTURES ARE REQUIRED. WHEN TREE CANOPY IS NOT AVAILABLE STRUCTURED SHADE FOR EACH FENCED AREA SHOULD BE CONSIDERED.

A MINIMUM OF 1 METAL PET FRIENDLY BENCH SHALL BE LOCATED WITHIN EACH FENCED AREA. IF THERE IS ONLY 1 FENCED AREA THEN 2 BENCHES SHALL BE PROVIDED.

PET FOUNTAINS SHOULD BE LOCATED WITHIN EACH DOG RUN AREA NEAR THE ENTRANCE BULL PEN. THE PET FOUNTAIN SHOULD ALSO HAVE A HOSE BIB ATTACHMENT ALONG WITH A 100' HOSE ON A METAL HOSE REEL THAT IS VANDAL PROOF.

TRASH RECEPTACLES AND DOG WASTES BAG DISPENSERS SHALL BE LOCATED WITHIN THE FENCED DOG PARK. THE TRASH RECEPTACLE SHALL BE LOCATED NEXT TO A DOG WASTE BAG DISPENSER. AN ADDITIONAL TRASH RECEPTACLE SHALL BE LOCATED OUTSIDE THE ENTRANCE AND BE VANDAL PROOF.

A VANDAL PROOF SIGN THAT DISPLAYS HOURS OF OPERATION, RULES, REGULATIONS AND CONTACT INFORMATION FOR ARAPAHOE COUNTY ANIMAL CONTROL SHALL BE INCORPORATED. THIS VANDAL PROOF SIGN SHALL BE LOCATED AT OR NEAR THE ENTRANCE OF THE DOG PARK.

PARKING SHALL BE LOCATED CLOSE TO THE SITE. IF THE DOG PARK IS LOCATED WITHIN THE COMMUNITY PARK OR IS ADJACENT TO A SCHOOL SITE WITH EXISTING PARKING THEN NO ADDITIONAL PARKING IS REQUIRED. DOG PARKS THAT ARE 5000 SF TO 1/2 ACRE IN SIZE SHALL BE ADJACENT TO ON STREET PARKING OR PROVIDE 3 PARKING SPACES. DOG PARKS THAT ARE 1/2 ACRE AND LARGER IN SIZE SHALL PROVIDE 4 PARKING SPACES PER 1/2 ACRE IN ADDITION TO ANY ADJACENT ON STREET PARKING.



CASE NO. Z12-100

## DESIGN STANDARDS

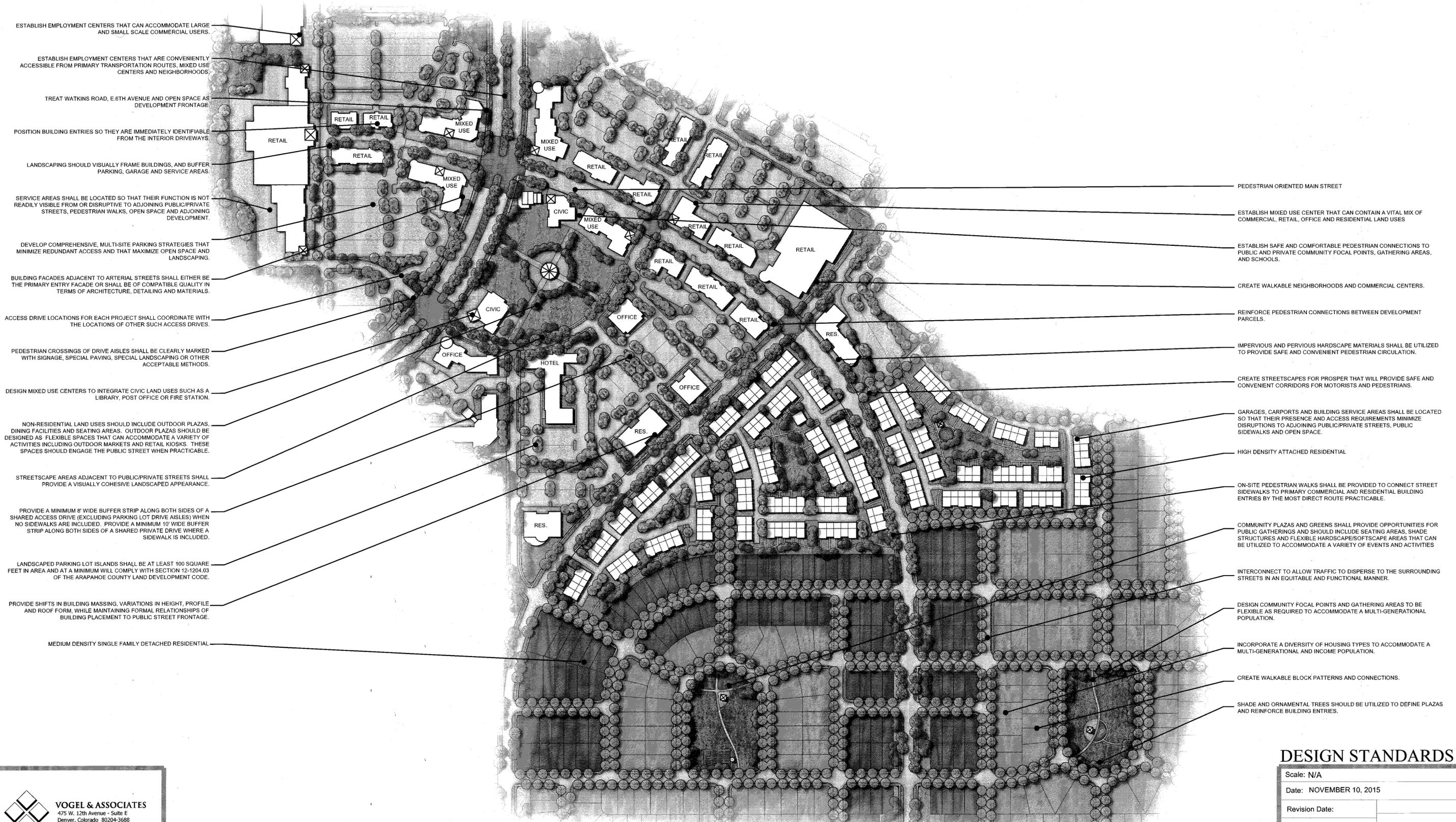
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# PROSPER

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- ESTABLISH EMPLOYMENT CENTERS THAT CAN ACCOMMODATE LARGE AND SMALL SCALE COMMERCIAL USERS.
- ESTABLISH EMPLOYMENT CENTERS THAT ARE CONVENIENTLY ACCESSIBLE FROM PRIMARY TRANSPORTATION ROUTES, MIXED USE CENTERS AND NEIGHBORHOODS.
- TREAT WATKINS ROAD, E.6TH AVENUE AND OPEN SPACE AS DEVELOPMENT FRONTAGE.
- POSITION BUILDING ENTRIES SO THEY ARE IMMEDIATELY IDENTIFIABLE FROM THE INTERIOR DRIVEWAYS.
- LANDSCAPING SHOULD VISUALLY FRAME BUILDINGS, AND BUFFER PARKING, GARAGE AND SERVICE AREAS.
- SERVICE AREAS SHALL BE LOCATED SO THAT THEIR FUNCTION IS NOT READILY VISIBLE FROM OR DISRUPTIVE TO ADJOINING PUBLIC/PRIVATE STREETS, PEDESTRIAN WALKS, OPEN SPACE AND ADJOINING DEVELOPMENT.
- DEVELOP COMPREHENSIVE, MULTI-SITE PARKING STRATEGIES THAT MINIMIZE REDUNDANT ACCESS AND THAT MAXIMIZE OPEN SPACE AND LANDSCAPING.
- BUILDING FACADES ADJACENT TO ARTERIAL STREETS SHALL EITHER BE THE PRIMARY ENTRY FACADE OR SHALL BE OF COMPATIBLE QUALITY IN TERMS OF ARCHITECTURE, DETAILING AND MATERIALS.
- ACCESS DRIVE LOCATIONS FOR EACH PROJECT SHALL COORDINATE WITH THE LOCATIONS OF OTHER SUCH ACCESS DRIVES.
- PEDESTRIAN CROSSINGS OF DRIVE AISLES SHALL BE CLEARLY MARKED WITH SIGNAGE, SPECIAL PAVING, SPECIAL LANDSCAPING OR OTHER ACCEPTABLE METHODS.
- DESIGN MIXED USE CENTERS TO INTEGRATE CIVIC LAND USES SUCH AS A LIBRARY, POST OFFICE OR FIRE STATION.
- NON-RESIDENTIAL LAND USES SHOULD INCLUDE OUTDOOR PLAZAS, DINING FACILITIES AND SEATING AREAS. OUTDOOR PLAZAS SHOULD BE DESIGNED AS FLEXIBLE SPACES THAT CAN ACCOMMODATE A VARIETY OF ACTIVITIES INCLUDING OUTDOOR MARKETS AND RETAIL KIOSKS. THESE SPACES SHOULD ENGAGE THE PUBLIC STREET WHEN PRACTICABLE.
- STREETSCAPE AREAS ADJACENT TO PUBLIC/PRIVATE STREETS SHALL PROVIDE A VISUALLY COHESIVE LANDSCAPED APPEARANCE.
- PROVIDE A MINIMUM 8' WIDE BUFFER STRIP ALONG BOTH SIDES OF A SHARED ACCESS DRIVE (EXCLUDING PARKING LOT DRIVE AISLES) WHEN NO SIDEWALKS ARE INCLUDED. PROVIDE A MINIMUM 10' WIDE BUFFER STRIP ALONG BOTH SIDES OF A SHARED PRIVATE DRIVE WHERE A SIDEWALK IS INCLUDED.
- LANDSCAPED PARKING LOT ISLANDS SHALL BE AT LEAST 100 SQUARE FEET IN AREA AND AT A MINIMUM WILL COMPLY WITH SECTION 12-1204.03 OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE.
- PROVIDE SHIFTS IN BUILDING MASSING, VARIATIONS IN HEIGHT, PROFILE AND ROOF FORM, WHILE MAINTAINING FORMAL RELATIONSHIPS OF BUILDING PLACEMENT TO PUBLIC STREET FRONTAGE.
- MEDIUM DENSITY SINGLE FAMILY DETACHED RESIDENTIAL

- PEDESTRIAN ORIENTED MAIN STREET
- ESTABLISH MIXED USE CENTER THAT CAN CONTAIN A VITAL MIX OF COMMERCIAL, RETAIL, OFFICE AND RESIDENTIAL LAND USES
- ESTABLISH SAFE AND COMFORTABLE PEDESTRIAN CONNECTIONS TO PUBLIC AND PRIVATE COMMUNITY FOCAL POINTS, GATHERING AREAS, AND SCHOOLS.
- CREATE WALKABLE NEIGHBORHOODS AND COMMERCIAL CENTERS.
- REINFORCE PEDESTRIAN CONNECTIONS BETWEEN DEVELOPMENT PARCELS.
- IMPERVIOUS AND PERVIOUS HARDSCAPE MATERIALS SHALL BE UTILIZED TO PROVIDE SAFE AND CONVENIENT PEDESTRIAN CIRCULATION.
- CREATE STREETSCAPES FOR PROSPER THAT WILL PROVIDE SAFE AND CONVENIENT CORRIDORS FOR MOTORISTS AND PEDESTRIANS.
- GARAGES, CARPORTS AND BUILDING SERVICE AREAS SHALL BE LOCATED SO THAT THEIR PRESENCE AND ACCESS REQUIREMENTS MINIMIZE DISRUPTIONS TO ADJOINING PUBLIC/PRIVATE STREETS, PUBLIC SIDEWALKS AND OPEN SPACE.
- HIGH DENSITY ATTACHED RESIDENTIAL
- ON-SITE PEDESTRIAN WALKS SHALL BE PROVIDED TO CONNECT STREET SIDEWALKS TO PRIMARY COMMERCIAL AND RESIDENTIAL BUILDING ENTRIES BY THE MOST DIRECT ROUTE PRACTICABLE.
- COMMUNITY PLAZAS AND GREENS SHALL PROVIDE OPPORTUNITIES FOR PUBLIC GATHERINGS AND SHOULD INCLUDE SEATING AREAS, SHADE STRUCTURES AND FLEXIBLE HARDSCAPE/SOFTSCAPE AREAS THAT CAN BE UTILIZED TO ACCOMMODATE A VARIETY OF EVENTS AND ACTIVITIES
- INTERCONNECT TO ALLOW TRAFFIC TO DISPERSE TO THE SURROUNDING STREETS IN AN EQUITABLE AND FUNCTIONAL MANNER.
- DESIGN COMMUNITY FOCAL POINTS AND GATHERING AREAS TO BE FLEXIBLE AS REQUIRED TO ACCOMMODATE A MULTI-GENERATIONAL POPULATION.
- INCORPORATE A DIVERSITY OF HOUSING TYPES TO ACCOMMODATE A MULTI-GENERATIONAL AND INCOME POPULATION.
- CREATE WALKABLE BLOCK PATTERNS AND CONNECTIONS.
- SHADE AND ORNAMENTAL TREES SHOULD BE UTILIZED TO DEFINE PLAZAS AND REINFORCE BUILDING ENTRIES.



CASE NO. Z12-100

## MIXED USE COMMERCIAL NEIGHBORHOOD

DESIGN STANDARDS	
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#### 2.0 COMMERCIAL RETAIL AND MIXED USE DESIGN STANDARDS AND GUIDELINES

##### 2.1.1 SITE PLANNING

**INTENT:**

TO REINFORCE WALKABLE AND VIBRANT RETAIL AND MIXED USE CENTERS WITH CONVENIENT ACCESS TO NEIGHBORHOODS, EMPLOYMENT CENTERS, SCHOOLS AND FUTURE TRANSIT STOPS.

PROVIDE SAFE AND CONVENIENT AUTOMOBILE AND PEDESTRIAN CIRCULATION WITH QUALITY SITE PLANNING OF BUILDINGS, PARKING FACILITIES AND PEDESTRIAN WALKS AND PLAZAS.

TO TREAT WATKINS ROAD, E. 6TH AVENUE AND OPEN SPACE AS DEVELOPMENT FRONTAGE.

TO DISCOURAGE ANY DEVELOPMENT FROM ORIENTING SERVICES TOWARD A PUBLIC STREET OR I-70.

TO DEVELOP COMPREHENSIVE, MULTI-SITE PARKING STRATEGIES THAT MINIMIZE REDUNDANT ACCESS AND THAT MAXIMIZE OPEN SPACE AND LANDSCAPING.

##### 2.1.2 DESIGN OF STREETS

**STANDARDS:**

STREETS AND COMMON OWNERSHIP PRIVATE STREETS (EXCLUDING PARKING LOT DRIVE AISLES) SHALL BE LOCATED WITHIN RIGHT-OF-WAY, PRIVATE ACCESS MAINTENANCE EASEMENTS, OR PRIVATE ACCESS TRACTS.

PUBLIC/PRIVATE STREETS AND PRIVATE STREETS WITHIN PROSPER SHALL:

- PROVIDE A VARIETY OF ROUTE OPTIONS.
- INTERCONNECT TO ALLOW TRAFFIC TO DISPERSE TO THE SURROUNDING STREETS IN AN EQUITABLE AND FUNCTIONAL MANNER.
- GRID AND MODIFIED GRID STREET PATTERNS ARE ENCOURAGED. IN THE COMMERCIAL/RETAIL, MIXED USE, EMPLOYMENT, MIXED USE MEDICAL, MEDIUM DENSITY RESIDENTIAL AND HIGH DENSITY RESIDENTIAL LAND USE DISTRICTS.

##### 2.1.3 MASS TRANSIT FACILITIES

**STANDARDS:**

UPON ANNEXING TO THE REGIONAL TRANSPORTATION DISTRICT, BUS SHELTERS AND MASS TRANSIT FACILITIES SHALL BE LOCATED AND DESIGNED IN ACCORDANCE WITH THE STANDARDS OF THE REGIONAL TRANSPORTATION DISTRICT.

##### 2.1.4 BUILDING ENTRANCES AND ENTRY DRIVES

**STANDARDS:**

BUILDING FACADES ADJACENT TO ARTERIAL STREETS SHALL EITHER BE THE PRIMARY ENTRY FACADE OR SHALL BE OF COMPATIBLE QUALITY IN TERMS OF ARCHITECTURE, DETAILING AND MATERIALS.

CONSIDERATION SHOULD BE GIVEN TO THE OPPORTUNITY FOR ADJOINING SITES AND BUILDINGS TO SHARE ACCESS, AMENITIES AND RELATIONSHIPS OF FORM THAT WILL CREATE A STRONGER PROJECT IDENTITY.

ONE ENTRY DRIVE SHALL BE PROVIDED TO EACH BUILDING SITE AND/OR BUILDING.

PROVIDE CLEAR PEDESTRIAN CROSSINGS AT THE INTERSECTION OF ENTRY DRIVES BY UTILIZING ACCENT PAVING OR PAINT STRIPING.

ENTRY ROAD DRIVES SHALL PROVIDE UNOBSTRUCTED SIGHT LINES FOR SAFE ENTERING AND EXITING MOVEMENTS.

##### 2.1.5 BUILDING ORIENTATION

**STANDARDS:**

UTILITY BOXES, METERS AND SERVICE AREAS SUCH AS TRASH ENCLOSURES SHOULD NOT BE LOCATED FACING THE PUBLIC/PRIVATE STREET. IF SUCH PLACEMENT IS REQUIRED, SCREENING SHALL BE PROVIDED PER SECTION 2.4.5.

POSITION BUILDING ENTRIES SO THEY ARE IMMEDIATELY IDENTIFIABLE FROM THE INTERIOR DRIVEWAYS.

##### 2.1.6 PARKING ACCESS AND CIRCULATION

**STANDARDS:**

CONTIGUOUS DEVELOPMENTS SHALL COORDINATE CIRCULATION PLANS TO MINIMIZE CURB CUTS.

ACCESS DRIVE LOCATIONS FOR EACH PROJECT SHALL COORDINATE WITH THE LOCATIONS OF OTHER SUCH ACCESS DRIVES.

VEHICULAR CIRCULATION ON-SITE SHALL BE CLEARLY ORGANIZED TO FACILITATE MOVEMENT INTO AND THROUGHOUT PARKING AREAS. PARKING DRIVE LANES AND INTERSECTIONS SHALL ALIGN WHEREVER PRACTICABLE. ON-SITE INTERSECTIONS SHALL BE LOCATED TO PRECLUDE STACKING OF VEHICLES ACROSS INTERSECTIONS AND/OR ONTO PUBLIC AND PRIVATE STREETS.

THE MINIMUM THROAT LENGTH FOR AN ACCESS DRIVES SHALL MEET THE REQUIREMENTS FOR THE FOLLOWING CONDITIONS:

- FOR PARKING AREAS WITH UNSIGNALIZED ACCESS - 75- FEET.
- FOR DISTANCE TO MINOR INTERSECTION WITH UNSIGNALIZED MAJOR INTERSECTION - 50- FEET.
- FOR DISTANCE FROM ANY SIGNALIZED MAJOR INTERSECTION - 200- FEET.

THE DISTANCE SHOWN ABOVE IS MEASURED FROM THE EDGE OF THE MAJOR ROADWAY'S RIGHT-OF-WAY TO THE NEAREST EDGE OF THE PARKING SPACE OR ACCESS AISLE.

PEDESTRIAN CROSSINGS OF DRIVE AISLES SHALL BE CLEARLY MARKED WITH SIGNAGE, SPECIAL PAVING, SPECIAL LANDSCAPING OR OTHER ACCEPTABLE METHODS.

ALL DEVELOPMENTS SHALL BE EQUALLY ACCESSIBLE TO BOTH ABLE AND DISABLED PERSONS. ALL DEVELOPMENTS ARE REQUIRED TO MEET OR EXCEED ALL REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT (ADA), AND ALL AMENDMENTS THERETO.

BIKE RACKS SHALL BE INTEGRATED INTO THE SITE PLANING OF COMMERCIAL, RETAIL, EMPLOYMENT, MIXED USE, MEDICAL EDUCATIONAL AND RECREATIONAL FACILITIES INCLUDING PARKS.

##### 2.1.7 BICYCLE PARKING

**STANDARDS:**

TO ENCOURAGE THE USE OF ALTERNATIVE TRANSPORTATION MODES, FUNCTIONAL AND ATTRACTIVE BIKE PARKING SHALL BE PROVIDED IN CONVENIENT LOCATIONS AND BE ADEQUATE FOR BOTH CUSTOMERS, RESIDENTS AND EMPLOYEES.

MINIMUM BICYCLE PARKING STANDARDS SHALL BE ESTABLISHED FOR SPECIFIC LAND USES AT THE FINAL DEVELOPMENT PLAN.

##### 2.1.8 MULTI-FAMILY RESIDENTIAL PARKING LOCATION CRITERIA

**STANDARDS:**

CONTIGUOUS AND PHASED DEVELOPMENTS SHALL COORDINATE CIRCULATION PLANS TO MINIMIZE CURB CUTS AND ENCOURAGE PEDESTRIAN CONNECTIVITY.

GARAGES, CARPORTS AND BUILDING SERVICE AREAS SHALL BE LOCATED SO THAT THEIR PRESENCE AND ACCESS REQUIREMENTS MINIMIZE DISRUPTIONS TO ADJOINING PUBLIC/PRIVATE STREETS, PUBLIC SIDEWALKS, PRIVATE DRIVES, PRIVATE SIDEWALKS, AND OPEN SPACE.

##### 2.1.9 PARKING STRUCTURES

**STANDARDS:**

PARKING STRUCTURES SHALL CONCEAL VIEWS OF AUTOMOBILES. A BRICK, MASONRY, PRECAST OR SIMILAR WALL AT LEAST 42 INCHES HIGH SHALL BE PROVIDED ON LEVELS WHERE A GARAGE IS WITHIN 40 FEET OF A PUBLIC STREET OR OPEN SPACE. ARCHITECTURAL MATERIALS SHALL MATCH OR REPLICATE MATERIALS USED ON PRINCIPAL BUILDINGS LOCATED ON THE SITE.

##### 2.2.1 PEDESTRIAN AND BICYCLE CIRCULATION

**INTENT:**

TO PROVIDE A SAFE, CONVENIENT AND AN INTERCONNECTED ENVIRONMENT FOR PEDESTRIANS.

TO MINIMIZE CONFLICTS BETWEEN AUTOMOBILES, BICYCLISTS AND PEDESTRIANS.

TO PROVIDE PEDESTRIAN CONNECTIONS TO COMMUNITY OPEN SPACE AREAS AND PLAZAS.

##### 2.2.2 SIDEWALKS

**STANDARDS:**

COMMERCIAL AND RETAIL LAND USES MAY INCLUDE ATTACHED SIDEWALKS AND PLAZAS. ATTACHED SIDEWALKS TO BE REVIEWED AT THE TIME OF FINAL DEVELOPMENT PLAN. ATTACHED SIDEWALKS ARE NOT TO BE LOCATED ON ARTERIAL STREETS.

UNLESS SPECIFIED OTHERWISE, SIDEWALKS SHALL BE CONCRETE AND NO LESS THAN FIVE (5) FEET IN WIDTH, NOT INCLUDING CURB.

PEDESTRIAN LINKS SHALL BE PROVIDED TO COMMON OPEN SPACE AREAS, FOCAL POINTS AND GATHERING AREAS.

ON-SITE PEDESTRIAN WALKS SHALL BE PROVIDED TO CONNECT STREET SIDEWALKS TO PRIMARY COMMERCIAL AND RESIDENTIAL BUILDING ENTRIES BY THE MOST DIRECT ROUTE PRACTICABLE.

MULTI-BUILDING DEVELOPMENTS SHALL MINIMIZE AUTO/PEDESTRIAN CONFLICTS AND MAXIMIZE CONVENIENT PEDESTRIAN ACCESS BETWEEN BUILDINGS.

##### 2.2.3 OPEN SPACE AREAS

**STANDARDS:**

COMMUNITY PLAZAS AND GREENS SHALL PROVIDE OPPORTUNITIES FOR PUBLIC GATHERINGS AND SHOULD INCLUDE SEATING AREAS, SHADE STRUCTURES AND FLEXIBLE HARDSCAPE/SOFTSCAPE AREAS THAT CAN BE UTILIZED TO ACCOMMODATE A VARIETY OF EVENTS AND ACTIVITIES.

PRIVATE OPEN SPACE AREAS SHALL BE PROGRAMMED TO SERVE THE NEEDS OF PROSPER RESIDENTS AND PATRONS. FACILITIES ARE TO BE PROVIDED TO ACCOMMODATE DIFFERENT AGE GROUPS.

PRIVATE OPEN SPACE AREAS LOCATED IN RESIDENTIAL PRIVATE OPEN SPACE AREAS MAY INCLUDE DOG PARK FACILITIES, GRILLING FACILITIES, COMMUNITY GARDENS AND OTHER FACILITIES THAT MAY BE APPROPRIATE FOR COMMUNITY RESIDENTS.

NON-RESIDENTIAL LAND USES SHOULD INCLUDE OUTDOOR PLAZAS, DINING FACILITIES AND SEATING AREAS. OUTDOOR PLAZAS SHOULD BE DESIGNED AS FLEXIBLE SPACES THAT CAN ACCOMMODATE A VARIETY OF ACTIVITIES INCLUDING OUTDOOR MARKETS AND RETAIL KIOSKS. THESE SPACES SHOULD ENGAGE THE PUBLIC STREET WHEN PRACTICABLE.

##### 2.3.0 LANDSCAPING STANDARDS

LANDSCAPE STANDARDS AT A MINIMUM SHALL COMPLY WITH THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE SECTION 12-1400. ALL LANDSCAPING AND FENCING IMPROVEMENTS WITHIN THE COUNTY R.O.W. MUST BE REVIEWED AND APPROVED THROUGH THE ENGINEERING SERVICES DIVISION PRIOR TO ANY R.O.W. PERMITS BEING ISSUED.

**INTENT:**

TO MITIGATE THE VISUAL IMPACT OF LARGE BUILDINGS AND EXPANSIVE PARKING LOTS.

TO REINFORCE AND ENHANCE PROSPER'S MIXED USE CHARACTER.

TO PROVIDE TRANSITIONS BETWEEN DEVELOPED AREAS AND PUBLIC SPACES.

TO INTEGRATE AND UTILIZE LANDSCAPE DESIGN TO REINFORCE SITE DESIGN SUCH AS ENHANCING ARRIVAL, PEDESTRIAN CIRCULATION AND BUILDING PLACEMENT.

TO REINFORCE THE PROJECT CHARACTER WITH COORDINATED LANDSCAPING ALONG PUBLIC/PRIVATE STREETS.

TO PROVIDE SAFE AND CONVENIENT PEDESTRIAN STREETSCAPE ENVIRONMENTS.

**AREAS TO BE LANDSCAPED**

PROSPER SHALL INCLUDE LANDSCAPE AREAS AND DECORATIVE ELEMENTS WITHIN EACH PARCEL OR BUILDING SITE THAT WILL

- 1) CREATE A PEDESTRIAN FRIENDLY ENVIRONMENT
- 2) REINFORCE A CONSISTENT AND HARMONIOUS AESTHETIC FOR THE COMMUNITY
- 3) SOFTEN PROJECT ARCHITECTURE
- 4) PROVIDE SCREENING OF SERVICE AREAS
- 5) ENHANCE STREETSCAPES AND THE PEDESTRIAN ENVIRONMENT.

**THE LANDSCAPE DESIGN STANDARDS ADDRESS THE FOLLOWING ZONES.**

- STREETSCAPE
- PARKS, PLAZAS AND OPEN SPACE AREAS
- PARKING LOT LANDSCAPING
- BUILDING SITE LANDSCAPING
- DETENTION PONDS

##### 2.3.1 STREETSCAPE

STREETSCAPE AT A MINIMUM SHALL COMPLY WITH SECTIONS 12-1409 AND 18-100 OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE, AS AMENDED. SIGHT DISTANCE LINES TO COMPLY WITH ARAPAHOE COUNTY ENGINEERING STANDARDS, AS AMENDED.

##### PUBLIC/PRIVATE STREETS

**STANDARDS:**

STREETSCAPE AREAS ADJACENT TO PUBLIC/PRIVATE STREETS SHALL PROVIDE A VISUALLY COHESIVE LANDSCAPED APPEARANCE.

WATKINS ROAD SHALL CONTAIN A DOUBLE ROW OF STREET TREES. THE DETACHED SIDEWALK SHALL BE LOCATED WITHIN THE TWO TRIANGULAR SPACED ROWS OF TREES.

STREET TREES SHALL BE INSTALLED AND MAINTAINED BY THE OWNER, METROPOLITAN DISTRICT OR OWNER OF THE ADJACENT PARCEL.

PROVIDE ADEQUATE SIGHT LINES FOR AN EFFECTIVE SIGHT TRIANGLE AT STREET INTERSECTIONS AND ENTRIES/ACCESS POINTS. SIGHT TRIANGLES AND SIGHT LINES SHALL COMPLY WITH SECTION 18-101.02 OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE.

PLANT TREES A MINIMUM OF 4 FEET FROM THE BACK OF CURB AND SELECT SHRUBS THAT WILL NOT CONFLICT WITH SIGHT TRIANGLES OR SIGHT LINES.

STREET TREES SELECTED FOR STREETSCAPES SHALL BE STRONG WOODED AND ABLE TO ENDURE POLLUTION, COMPACTED SOILS, MINIMAL WATER AND LOW MAINTENANCE.

TREES THAT REQUIRE MINIMAL WATER SHALL BE REQUIRED. IRRIGATION SHALL BE INSTALLED FOR LANDSCAPING AND DESIGNED TO DELIVER THE APPROPRIATE AMOUNT OF WATER WITH MINIMAL WATER WASTE.

##### PRIVATE DRIVES

**STANDARDS:**

PROVIDE A MINIMUM 8' WIDE BUFFER STRIP ALONG BOTH SIDES OF A SHARED ACCESS DRIVE (EXCLUDING PARKING LOT DRIVE AISLES) WHEN NO SIDEWALKS ARE INCLUDED. PROVIDE A MINIMUM 10' WIDE BUFFER STRIP ALONG BOTH SIDES OF A SHARED PRIVATE DRIVE WHERE A SIDEWALK IS INCLUDED. THE SIDEWALK IS TO BE INCLUDED IN THE 10' BUFFER.

##### 2.3.2 PARKS, PLAZAS AND OPEN SPACE AREAS

PARKS AND OPEN SPACE AREAS SHALL BE LANDSCAPED TO INCLUDE FLEXIBLE HARDSCAPE AND SOFTSCAPE AREAS THAT CAN ACCOMMODATE A VARIETY OF COMMUNITY FUNCTIONS AND GATHERINGS.

**STANDARDS:**

TURF AREAS SHALL BE LOCATED IN HIGH PEDESTRIAN TRAFFIC ZONES TO MAXIMIZE USE AND MINIMIZE WATER CONSUMPTION.

TURF AREAS SHALL BE LOCATED AND CONFIGURED TO PROVIDE FLEXIBILITY IN ACCOMMODATING A VARIETY OF USER GROUPS AND ACTIVITIES.

DROUGHT TOLERANT SHRUBS, GRASSES AND GROUNDCOVER BEDS SHALL BE LOCATED IN LOW-PEDESTRIAN ACTIVITY ZONES AND USED TO REINFORCE EDGES AND DEFINE FORMAL AND INFORMAL SPACES.

DECIDUOUS AND EVERGREEN TREES SHALL BE UTILIZED TO DEFINE SPACES AND ORIENT PEDESTRIANS AND USERS.

SHADE TREES SHALL BE PLANTED IN FORMAL OR INFORMAL MASSINGS TO PROVIDE SHADE TO PEDESTRIANS AND USERS. ORNAMENTAL TREES MAY BE USED AS ACCENTS AND SHALL NOT CONFLICT WITH HIGH TRAFFIC PEDESTRIAN ZONES.

LANDSCAPE PLANTERS, SEAT WALLS, ARBORS AND TRELIS STRUCTURES CAN BE USED TO DEFINE SPACES AND ACCOMMODATE FUNCTIONS FOR A VARIETY OF USER GROUPS.

IMPERVIOUS AND PERVIOUS HARDSCAPE MATERIALS SHALL BE UTILIZED TO PROVIDE SAFE AND CONVENIENT PEDESTRIAN CIRCULATION.

BENCHES, TABLES, PET WASTE AND TRASH RECEPTACLES SHALL BE LOCATED ALONG PEDESTRIAN CORRIDORS AND WITHIN PARKS.

LOCATE AND CONFIGURE PRIVATE OPEN SPACE AREAS AND PLAZAS TO MAXIMIZE OPTIMAL SOLAR ORIENTATION.

LOCATE OUTDOOR PLAZAS AND DINING AREAS TO ENGAGE THE PUBLIC STREET WHEN PRACTICABLE.

SHADE AND ORNAMENTAL TREES CAN BE UTILIZED TO DEFINE PLAZAS AND REINFORCE BUILDING ENTRIES.

## DESIGN STANDARDS

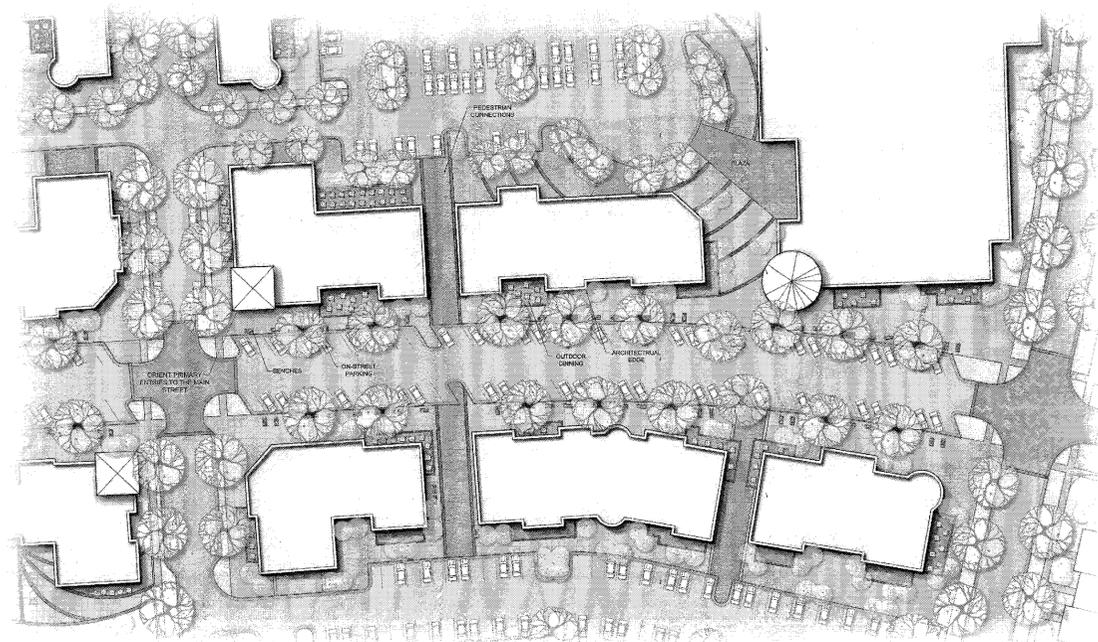
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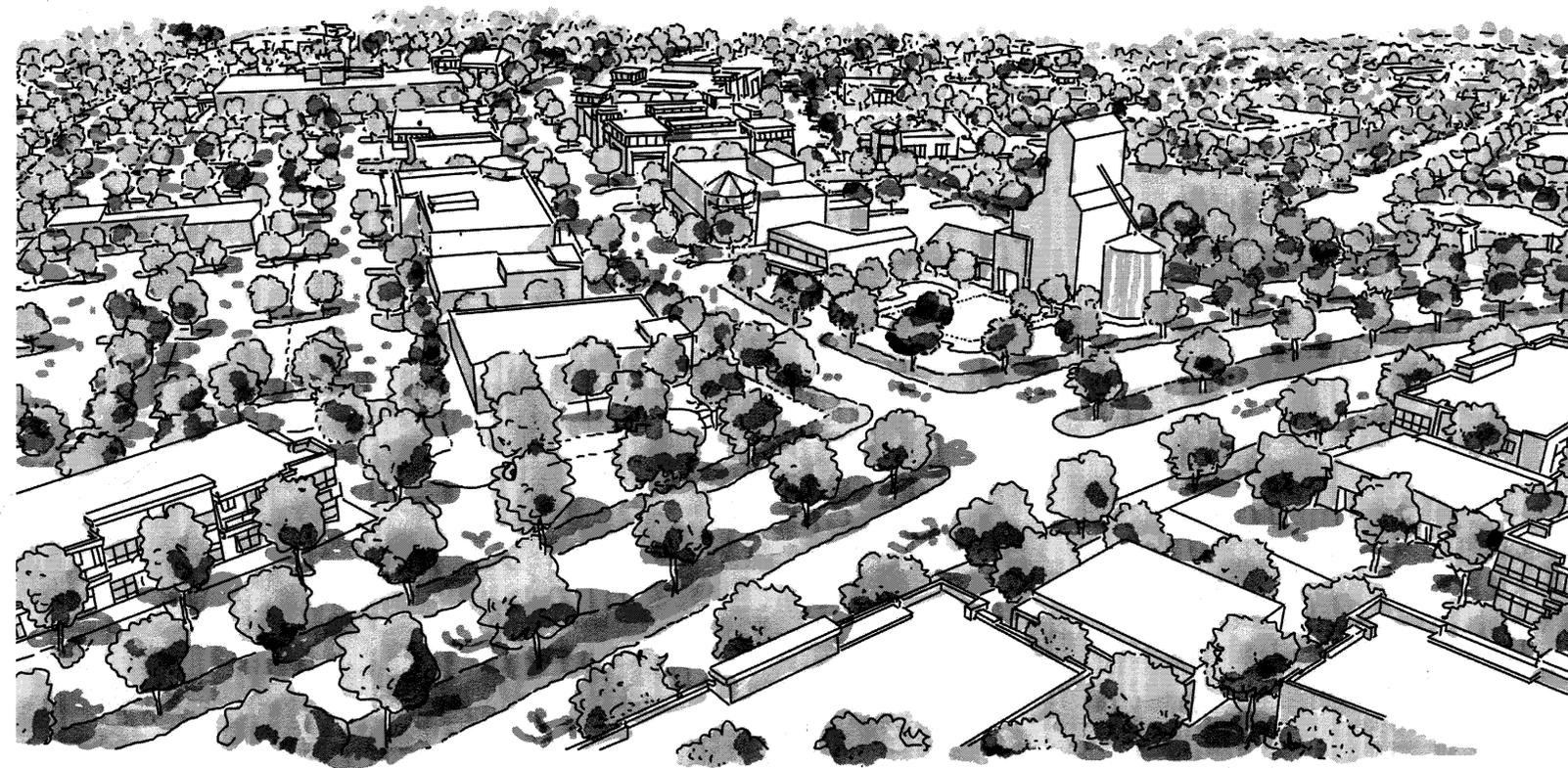
CASE NO. Z12-100

# PROSPER

PRELIMINARY DEVELOPMENT PLAN  
 PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
 AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
 COUNTY OF ARAPAHOE, STATE OF COLORADO  
 SHEET 25 OF 42



COMMERCIAL MIXED USE TYPICAL



COMMERCIAL MIXED USE TYPICAL BIRDS EYE PERSPECTIVE



COMMERCIAL MIXED USE TYPICAL STREET PERSPECTIVE

## DESIGN STANDARDS

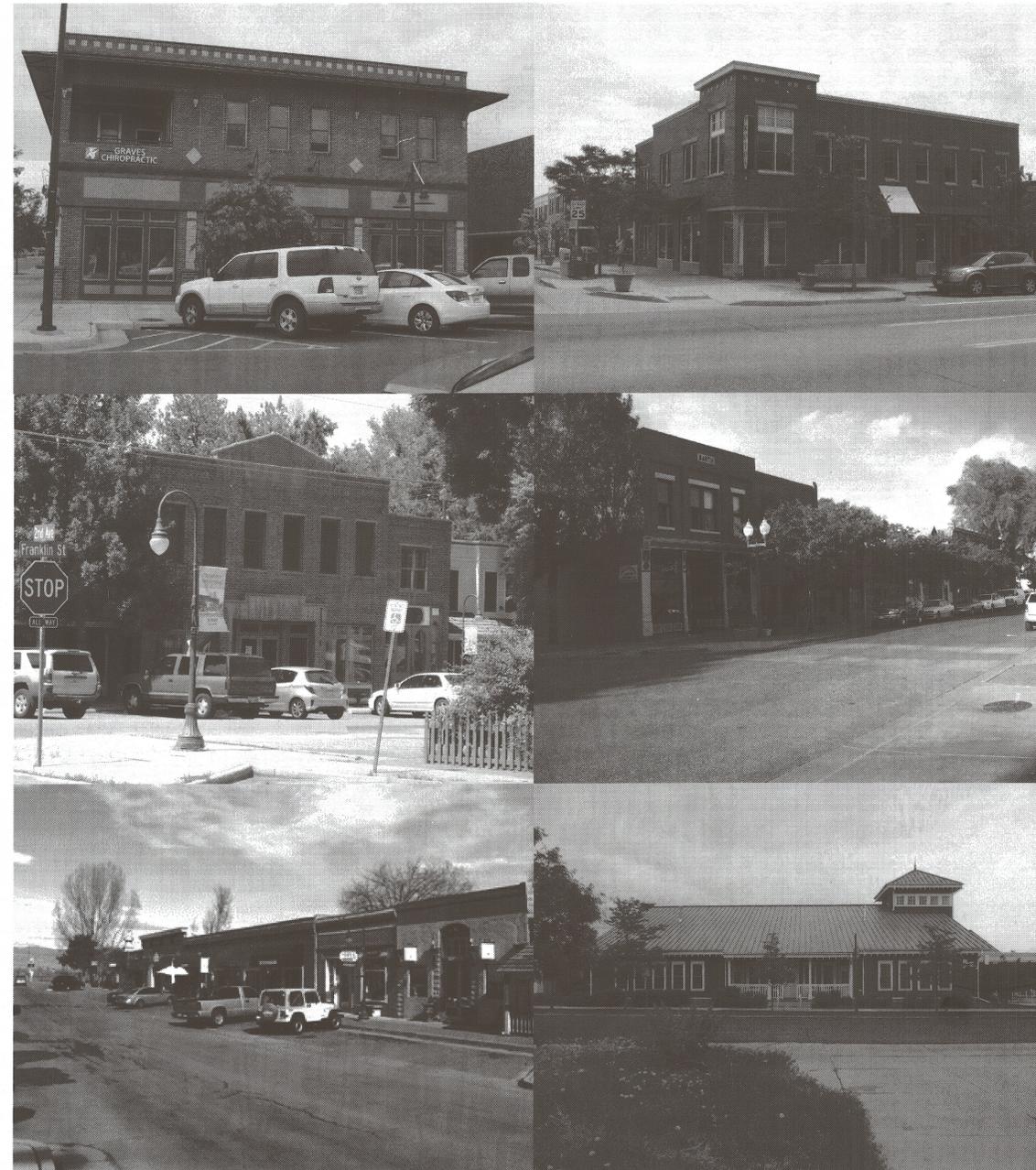
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**PROSPER**  
 PRELIMINARY DEVELOPMENT PLAN  
 PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
 AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
 COUNTY OF ARAPAHOE, STATE OF COLORADO  
 SHEET 26 OF 42  
 TYPICAL COMMERCIAL MIXED USE  
 ARCHITECTURAL IMAGERY

HIGH PLAINS MODERN



HIGH PLAINS TRADITIONAL



**DESIGN STANDARDS**

Scale: N/A	
Date: NOVEMBER 10, 2015	
Revision Date:	
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# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 27 OF 42

#### 2.3.3 PARKING LOTS

PARKING LOT LANDSCAPE ISLANDS AT A MINIMUM SHALL COMPLY WITH SECTION 12-1204.03 OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE.

##### STANDARDS:

SURFACE PARKING LOTS SHALL CONTAIN 1 LANDSCAPE ISLAND PER EVERY 15 CONTIGUOUS PARKING SPACES, UNLESS APPROVED OTHERWISE AS PART OF A FINAL DEVELOPMENT PLAN.

ANY LANDSCAPING AROUND A FIRE HYDRANT SHALL BE PLACED SUCH THAT A THREE-FOOT CLEAR SPACE IS MAINTAINED AT ALL TIMES.

#### 2.3.4 BUILDING SITE LANDSCAPING

PROSPER IS A MIXED USE COMMUNITY THAT IS PLANNED TO REINFORCE WALKABILITY AND SAFETY FOR PEDESTRIANS. THE BUILDING SITE LANDSCAPE CONCEPT INCLUDES REINFORCING CONNECTIONS TO BUILDING ENTRANCES, COMMUNITY AMENITIES AND OPEN SPACE AREAS.

##### STANDARDS:

LANDSCAPING SHOULD VISUALLY FRAME BUILDINGS, AND BUFFER PARKING, GARAGE AND SERVICE AREAS.

LANDSCAPE CHARACTER OF ADJACENT LOTS SHOULD BE COORDINATED WITH THE OVERALL PROJECT CHARACTER AND THEME.

USE LANDSCAPING THAT IS OF APPROPRIATE SCALE AND EMPHASIZE LANDSCAPING AT BUILDING ENTRANCES TO ORIENT PEDESTRIANS AND ACCENT.

PROVIDE LANDSCAPING AT THE BASE OF BUILDINGS TO MINIMIZE THE EDGE BETWEEN SIDEWALKS, PARKING LOTS AND STRUCTURES.

NON-RESIDENTIAL LAND USES SHALL CONTAIN A MINIMUM OF 20% OPEN SPACE (INCLUDING PARKING LOT LANDSCAPING, HARDSCAPE PLAZAS, WATER FEATURES, AND WALKWAYS.)

#### 2.3.5 REQUIREMENTS IN DETENTION AREAS.

DETENTION AREAS AT A MINIMUM SHALL COMPLY WITH THE ARAPAHOE COUNTY STORMWATER MANAGEMENT MANUAL ENGINEERING REQUIREMENTS AS AMENDED.

##### STANDARDS:

DETENTION AREAS AND DRAINAGE CHANNELS, SHALL BE DESIGNED TO INCLUDE VEGETATION THAT UTILIZES PLANT SPECIES THAT ARE TOLERANT OF WET SOILS AND CONDITIONS. VEGETATION SHALL BE APPROVED BY THE ENGINEERING DIVISION.

LANDSCAPE DETENTION AREAS TO INTEGRATE WITH THE ADJACENT STREETScape AND ON-SITE LANDSCAPE PLAN.

DETENTION AREAS OR DRAINAGE CHANNELS SHALL BE GRADED TO BLEND WITH ADJACENT AREAS.

DETENTION PONDS SHALL BE INTEGRATED INTO PARK AND OPEN SPACE DESIGN. DETENTION PONDS WILL NOT COUNT TOWARDS PARK AND OPEN SPACE REQUIREMENTS.

#### 2.3.6 LANDSCAPE IRRIGATION/ WATER CONSERVATION

##### STANDARDS:

LANDSCAPE PLANS SHALL BE CREATED WITH THE INTENT TO CONSERVE WATER BY UTILIZING ALTERNATIVE METHODS FOR MAINTAINING A SUITABLE LANDSCAPE ENVIRONMENT (I.E. XERISCAPE, HIGH EFFICIENCY IRRIGATION SYSTEMS.)

LANDSCAPE PLANS SHALL INCORPORATE A "ZONED PLANTING PLAN" TO REDUCE WATER CONSUMPTION BY MASSING PLANT VARIETIES AND SPECIES THAT HAVE SIMILAR LOW WATER REQUIREMENTS.

LANDSCAPE PLANS SHALL PROVIDE SOIL AMENDMENTS FOR POOR-SOILS TO INCREASE EFFICIENT PLANT GROWTH AND REDUCE WATER CONSUMPTION.

#### 2.3.7 FENCES AND SCREENING

##### STANDARDS:

FENCE AND SCREENING STANDARDS SHALL, AT A MINIMUM, COMPLY WITH THE REQUIREMENTS OF ARAPAHOE COUNTY AS DEFINED IN SECTION 12-800 OF THE LAND DEVELOPMENT CODE.

THE DESIGN OF MATERIALS FOR WALLS AND FENCES WITHIN A DEVELOPMENT SHALL BE COORDINATED WITH THE DESIGN OF THE PRINCIPAL BUILDING IN TERMS OF COLOR, QUALITY, SCALE AND DETAIL.

PARKING AND STORAGE AREAS SHALL BE SCREENED BY MEANS OF PLANT MATERIALS, EARTH MOUNDING, ARCHITECTURAL SCREENS OR SITING SO AS TO PROVIDE VISUAL SEPARATION BETWEEN SUCH USES AND ADJACENT AREAS.

MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY ARCHITECTURAL FEATURES OR LANDSCAPE MATERIALS.

#### 2.4.1 ARCHITECTURAL STANDARDS

IN KEEPING WITH GOALS AND DIRECTIVES OF PROSPER, AN ARCHITECTURAL STYLE HAS BEEN ESTABLISHED FOR THE COMMUNITY THAT WILL REINFORCE THE SMALL TOWN CHARACTER OF THIS UNIQUE PLACE. THIS ARCHITECTURAL STYLE IS TIMELESS IN APPEARANCE AND WILL PROVIDE A SOLID FOUNDATION ALLOWING FOR CHANGE AND THE NATURAL EVOLUTION OF THE PLACE.

THE PROSPER ARCHITECTURAL CHARACTER INCORPORATES STYLES THAT ARE REMINISCENT OF BUILDINGS AND HOMES THAT HAVE BEEN CONSTRUCTED ON THE EASTERN COLORADO HIGH PLAINS PRAIRIE AND THE FRONT RANGE. THESE STYLES REINFORCE THE SMALL TOWN CHARACTER THAT HAS EVOLVED OVER THE YEARS TO BE FUNCTIONAL AND ADAPTABLE TO THE DYNAMIC COLORADO HIGH PLAINS CLIMATE.

PROSPER IS PROPOSED TO INCLUDE TWO ARCHITECTURAL STYLES WITH THE FIRST BEING "HIGH PLAINS TRADITIONAL". THE SECOND ARCHITECTURAL STYLE IS "HIGH PLAINS MODERN". THESE STYLES WILL PROVIDE VARIATION AND DIVERSITY WITHIN THE COMMUNITY WHILE MAINTAINING THE QUALITY, SOPHISTICATION AND COHESIVE CONSISTENCY OF PROSPER.

##### HIGH PLAINS TRADITIONAL

THE HIGH PLAINS TRADITIONAL STYLE UTILIZES TRADITIONAL ARCHITECTURAL BUILDING FORMS, MASSING AND MATERIALS. THIS STYLE INCLUDES ARCHITECTURAL TRADITIONS SUCH AS PRAIRIE STYLE, ARTS AND CRAFTS, AMERICAN AGRARIAN, CLASSIC FARMHOUSE, AMERICAN COTTAGE AND AMERICAN MAIN STREET. ILLUSTRATED WITHIN THIS SECTION ARE IMAGES AND EXAMPLES OF THIS STYLE.

##### HIGH PLAINS MODERN

THE "HIGH PLAINS MODERN" STYLE IS A PROGRESSIVE AND MODERN EXPRESSION OF TRADITIONAL AND PRAIRIE STYLE ARCHITECTURE. THIS STYLE PERMITS DIVERSITY AND VARIATION IN THE USE OF BUILDING FORMS, MASSING AND MATERIALS.

WHILE FLEXIBILITY AND VARIATION IS PROVIDED WITHIN THIS STYLE, ARCHITECTURE WILL BE DESIGNED TO INTEGRATE WITHIN THE RESPECTIVE CONTEXT WITH REGARDS TO FORM, MASSING, SCALE AND HEIGHT. ARCHITECTURE WILL BE REQUIRED TO ADDRESS THE PUBLIC REALM WITH RESPECT TO STREETS, PARKS AND PLAZAS.

ILLUSTRATED WITHIN THIS PRELIMINARY DEVELOPMENT PLAN ARE IMAGES AND EXAMPLES OF THESE STYLES. (SEE SHEETS 26,36)

##### INTENT:

TO ENCOURAGE RICHNESS AND DIVERSITY IN BUILDING ARCHITECTURE THAT IS WELL ARTICULATED TO PROVIDE HUMAN SCALE, INTEREST AND ORIENTATION AS WELL AS REINFORCE THE SPATIAL DEFINITIONS TO PUBLIC SPACES, INCLUDING STREETS.

TO ENCOURAGE VARIED BUILDING FORM AND PROFILE WITHIN LARGE STRUCTURES AND BUILDING GROUPS.

TO PROVIDE HUMAN SCALE AND VISIBLE ORIENTATION TO ENTRIES.

TO MINIMIZE NEGATIVE VISUAL IMPACTS OF SERVICE AREAS ON ADJOINING STREETS, PUBLIC SPACES AND ADJACENT PROPERTY.

TO ESTABLISH COMPLIMENTARY LEVELS OF MATERIAL QUALITY AND DETAIL.

TO ESTABLISH LEVELS OF MATERIAL, DETAIL AND QUALITY THAT WILL BE COMPATIBLE AND EMPHASIZE PROJECT CHARACTER.

TO PROVIDE DURABILITY, PERMANENCY, AND QUALITY THROUGHOUT PROSPER.

#### 2.4.2 MASSING, FORM AND SCALE

##### STANDARDS:

BUILDINGS SHALL BE DESIGNED TO INTEGRATE COMFORTABLY INTO THE CONTEXT OF THE THE PROSPER COMMUNITY WHILE REINFORCING THE CONSISTENT CIVIC CHARACTER OF STREETS AND DEVELOPED OPEN SPACE AREAS. BUILDINGS ELEMENTS SHALL HAVE "BALANCED" PROPORTIONS AND BE COMPLIMENTARY WITH ONE ANOTHER. THE FOLLOWING DESIGN TECHNIQUES SHALL BE USED TO MEET THIS OBJECTIVE:

PROVIDE SHIFTS IN BUILDING MASSING, VARIATIONS IN HEIGHT, PROFILE AND ROOF FORM, WHILE MAINTAINING FORMAL RELATIONSHIPS OF BUILDING PLACEMENT TO PUBLIC STREET FRONTAGE.

MINIMIZE LONG EXPANSES OF WALL AT A SINGLE HEIGHT OR IN A SINGLE PLANE. BUILDINGS WITH LONG FACADES SHALL BE DESIGNED WITH VERTICAL BREAKS TO CREATE DIFFERENTIATION ALONG ALL FOUR SIDES.

VARYING FLOOR HEIGHTS TO FOLLOW NATURAL GRADE CONTOURS IF SIGNIFICANT VARIATION IS PRESENT.

BUILDINGS SHALL BE ORIENTED SO AS NOT TO OBSCURE DESIRED VIEWS FROM EXISTING OR PROPOSED BUILDINGS NEARBY.

THERE SHALL BE DIFFERENTIATION BETWEEN THE DESIGN OF THE GROUND FLOOR FACADES AND FACADES ON THE UPPER STORIES IN ORDER TO CREATE A DESIRABLE PEDESTRIAN SCALE ALONG THE SIDEWALKS.

BUILDING MASSING AND FACADES SHALL BE DESIGNED TO INCLUDE A BASE, MIDDLE AND TOP.

ARCHITECTURAL STRUCTURES SHALL BE DESIGNED TO PROVIDE HUMAN SCALE, INTEREST AND VARIETY BY UTILIZING THE FOLLOWING TECHNIQUES:

VARIATION IN THE BUILDING FORM SUCH AS RECESSED OR PROJECTING BAYS.

DEVELOP CREATIVE ENTRY TREATMENTS AND OTHER FOCAL POINTS OR DETAILS SUCH AS CANOPIES, AWNINGS, CORNICE TREATMENTS, PLAZAS OR ATRIUMS.

USE A VARIETY OF COLORS THAT ARE COMPLIMENTARY AND AVOID USING A SINGLE COLOR.

EXPRESSION OF ARCHITECTURAL OR STRUCTURAL MODULES AND DETAIL.

WINDOW SIZE, SHAPES AND PATTERNS WITH DIFFERENT DETAILS SHALL BE UTILIZED TO REINFORCE THE ARCHITECTURAL STYLE OF THE BUILDING. A DIVERSITY OR CONSISTENT WINDOW PATTERN AND DETAIL MAY BE UTILIZED TO REINFORCE THE ARCHITECTURAL VERNACULAR ESTABLISHED FOR THE RESPECTIVE BUILDING.

EMPHASIZE BUILDING ENTRIES THROUGH PROJECTING OR RECESSED FORMS, DETAIL, COLOR OR MATERIALS.

VARIATIONS OF MATERIALS, EXPRESSED JOINTS AND DETAILS, SURFACE RELIEF, COLOR AND TEXTURE TO BREAK UP LARGE BUILDING FORMS AND WALL SURFACES.

EXPRESS FACADE COMPONENTS THAT WILL HELP ESTABLISH BUILDING SCALE. COMPOSITIONS THAT EMPHASIZE FLOOR LINES OR THAT EXPRESS RHYTHMS AND PATTERNS OF WINDOWS, COLUMNS, AND OTHER ARCHITECTURAL FEATURES.

MULTI-FAMILY RESIDENTIAL BUILDINGS SHALL HAVE VARIATION IN THE BUILDING FORM RELATED TO SCALE OF INDIVIDUAL DWELLING UNITS OR ROOMS SUCH AS RECESSED OR PROJECTING BAYS, SHIFTS IN MASSING OR DISTINCT ROOF SHAPES.

MULTI-FAMILY RESIDENTIAL GARAGES AND CARPORTS SHALL CONTAIN MASSING MATERIALS AND DETAILS THAT WILL BE COMPLIMENTARY TO THE PRIMARY BUILDINGS.

MULTI-FAMILY RESIDENTIAL BUILDINGS SHALL BE DESIGNED TO PROVIDE COMPLEX MASSING CONFIGURATIONS WITH A VARIETY OF DIFFERENT WALL AND ROOF PLANES. PLAIN MONOLITHIC STRUCTURES WITH LONG, MONOTONOUS, UNBROKEN WALL AND ROOF SURFACES SHALL NOT BE ALLOWED.

MULTI-FAMILY RESIDENTIAL BUILDINGS SHALL BE HORIZONTALLY ARTICULATED AT EVERY TWO FLOORS THROUGH THE USE OF DECORATIVE BANDING, A CHANGE OF MATERIAL AND/OR COLOR, OR SLOPING ROOF PLANES. BUILDINGS OF FIVE OR MORE FLOORS SHALL EMPLOY SIMILAR DESIGN DEVICES, EXCEPT THAT THE OCCURRENCE OF HORIZONTAL ARTICULATION ABOVE THE THIRD FLOOR MAY BE MORE WIDELY SPACED.

#### 2.4.3 GLAZING

##### STANDARDS:

LIMIT REFLECTIVE GLASS TO AN OUTSIDE DAYLIGHT FACTOR OF THIRTY (30) PERCENT OR LESS. MIRROR GLASS IS NOT ALLOWED EXCEPT IN VERY LIMITED APPLICATIONS.

REFLECTIVE GLASS WHEN ALLOWED, SHALL BE LIMITED TO NO MORE THAN FIFTEEN (15) PERCENT OF THE TOTAL BUILDING SURFACE AREA.

#### 2.4.4 MATERIAL QUALITY AND DETAIL

##### STANDARDS:

EXTERIOR MATERIALS SHALL BE HIGH QUALITY AND COMPATIBLE WITH MATERIALS OF ADJOINING STRUCTURES IN TERMS OF CHARACTER, COLOR, SCALE AND TEXTURE. MATERIALS SHALL BE AUTHENTIC TO THEIR REPRESENTATION.

A VARIETY OF COLORS, MATERIALS AND DETAILING SHALL BE USED ON ALL BUILDING ELEVATIONS.

GROUND FLOOR STREET FACING FACADES SHOULD CONSIDER UTILIZING MASONRY OR SIMULATED MASONRY MATERIALS.

PROHIBITED AND PREFERRED MATERIALS INCLUDE:

NATURAL WOOD OR WOOD PANELING SHALL NOT BE USED AS A PRINCIPAL EXTERIOR WALL CLADDING SYSTEM. DURABLE SYNTHETIC MATERIALS WITH THE APPEARANCE OF WOOD MAY BE ACCEPTABLE AS ACCENTS.

SYNTHETIC STUCCO OR EIFS (EXTERIOR INSULATING FINISH SYSTEMS) SHALL BE PROVIDED WITH ALL NECESSARY SUBSURFACE VENTILATION AND DRAINAGE TO PREVENT DETERIORATION OF THE FINISH OR STRUCTURE.

#### 2.4.5 SERVICE AND EQUIPMENT AREAS

SERVICE AREAS AT A MINIMUM SHALL COMPLY WITH SECTION 15-102.07 OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE.

##### STANDARDS:

SERVICE AREAS SHALL BE LOCATED SO THAT THEIR FUNCTION IS NOT READILY VISIBLE FROM OR DISRUPTIVE TO ADJOINING PUBLIC/PRIVATE STREETS, PEDESTRIAN WALKS, OPEN SPACE AND/OR ADJOINING DEVELOPMENT.

SCREENING ENCLOSURES SHALL BE INCORPORATED INTO BUILDING ARCHITECTURE AND UTILIZE THE SAME MATERIALS AS THE PRINCIPAL BUILDING TO THE GREATEST DEGREE PRACTICABLE. SCREENING SHALL INCLUDE WALLS OF ADEQUATE HEIGHT TO PROVIDE COMPLETE SCREENING FROM NORMAL EYE LEVEL. A METAL GATE SHALL BE INCLUDED WHERE NECESSARY TO COMPLETE SCREENING FROM ADJACENT PROPERTIES, STREETS OR OPEN SPACE. SCREENING SHOULD BE ENHANCED THROUGH LANDSCAPING OF ADEQUATE HEIGHT AND DENSITY.

ROOFTOP MECHANICAL EQUIPMENT, INCLUDING SATELLITE DISHES AND ANTENNAS, SHALL BE SCREENED FROM VIEW OF PUBLIC/PRIVATE STREETS AND OPEN SPACE. SCREENING SHALL BE OF A MATERIAL SIMILAR IN QUALITY AND APPEARANCE TO OTHER AREAS OF THE BUILDING FACADE AND SHALL BE INCORPORATED INTO THE BUILDING ARCHITECTURE TO THE GREATEST EXTENT POSSIBLE.

## DESIGN STANDARDS

Scale: N/A

Date: NOVEMBER 10, 2015

Revision Date:



CASE NO. Z12-100

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**PROSPER**  
**PRELIMINARY DEVELOPMENT PLAN**  
 PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
 AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
 COUNTY OF ARAPAHOE, STATE OF COLORADO  
**SHEET 28 OF 42**

PARKS AND OPEN SPACE AREAS SHALL BE LANDSCAPED TO INCLUDE FLEXIBLE HARDSCAPE AND SOFTSCAPE AREAS THAT CAN ACCOMMODATE A VARIETY OF COMMUNITY FUNCTIONS AND GATHERINGS

REINFORCE THE PROJECT CHARACTER WITH COORDINATED LANDSCAPING ALONG PUBLIC/PRIVATE STREETS.

STREETSCAPE AREAS ADJACENT TO PUBLIC/PRIVATE STREETS SHALL PROVIDE A VISUALLY COHESIVE LANDSCAPED APPEARANCE.

SHADE AND ORNAMENTAL TREES CAN BE UTILIZED TO DEFINE PLAZAS AND REINFORCE BUILDING ENTRIES

LANDSCAPED PARKING LOT ISLANDS SHALL BE AT LEAST 100 SQUARE FEET IN AREA.

LANDSCAPING SHOULD VISUALLY FRAME BUILDINGS, AND BUFFER PARKING, GARAGE AND SERVICE AREAS.

PROVIDE SHIFTS IN BUILDING MASSING, VARIATIONS IN HEIGHT, PROFILE AND ROOF FORM, WHILE MAINTAINING FORMAL RELATIONSHIPS OF BUILDING

SERVICE AREAS SHALL BE LOCATED SO THAT THEIR FUNCTION IS NOT READILY VISIBLE FROM OR DISRUPTIVE TO ADJOINING PUBLIC/PRIVATE STREETS, PEDESTRIAN WALKS, OPEN SPACE AND ADJOINING DEVELOPMENT.

MITIGATE THE VISUAL IMPACT OF LARGE BUILDING AND EXPANSIVE PARKING LOTS.

ESTABLISH EMPLOYMENT CENTERS THAT CAN ACCOMMODATE LARGE AND SMALL SCALE COMMERCIAL USERS.

CREATE WALKABLE EMPLOYMENT CENTERS.

TO REINFORCE A WALKABLE EMPLOYMENT CENTER WITH CONVENIENT ACCESS TO NEIGHBORHOODS, MIXED USE CENTERS, SCHOOLS AND TRANSIT STATIONS.

PROVIDE SAFE AND CONVENIENT AUTOMOBILE AND PEDESTRIAN CIRCULATION WITH QUALITY SITE PLANNING OF BUILDINGS, PARKING FACILITIES, PEDESTRIAN WALKS AND PLAZAS.

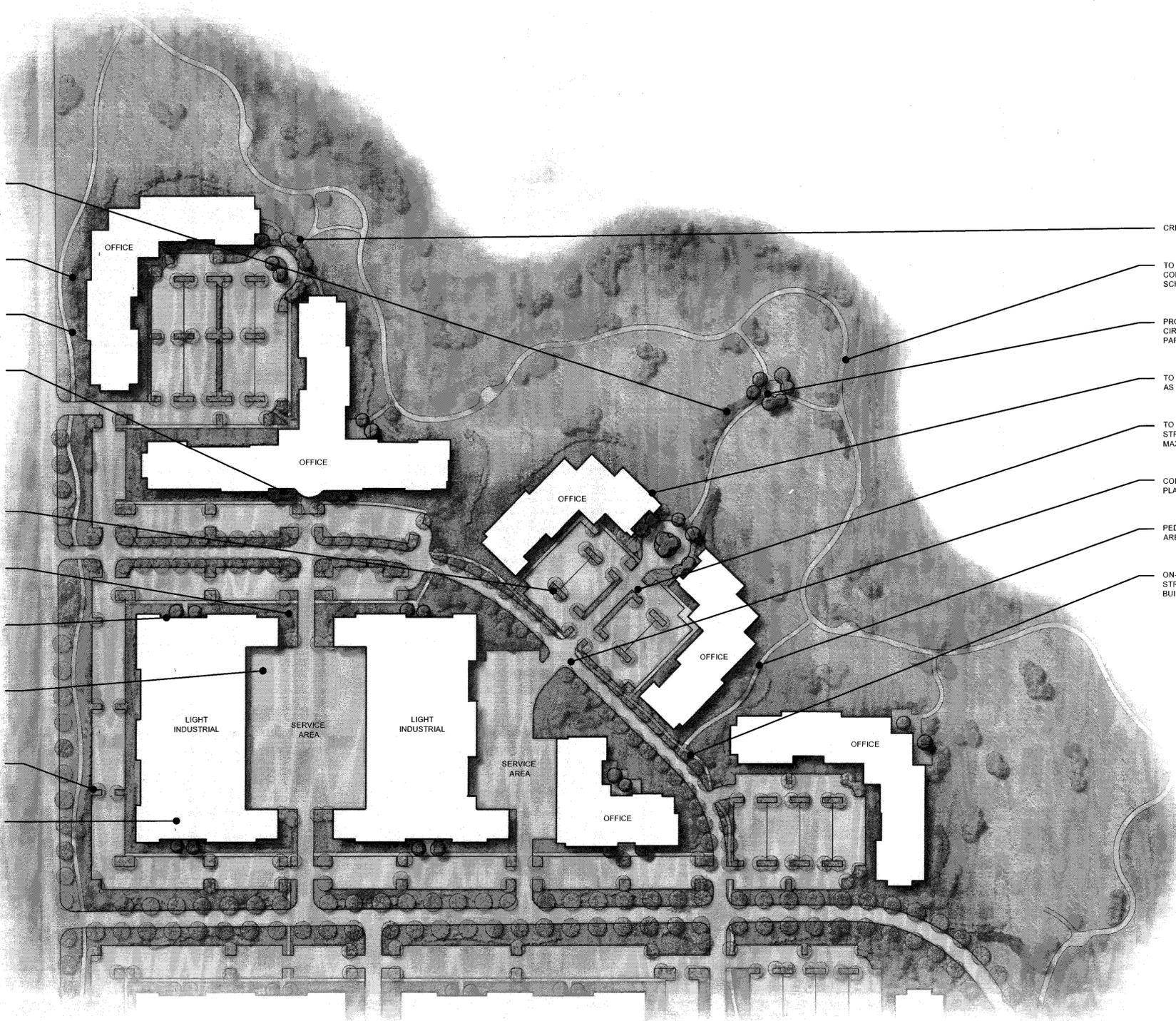
TO TREAT I-70, WATKINS ROAD, E. 6TH AVENUE AND OPEN SPACE AS DEVELOPMENT FRONTAGE.

TO DEVELOP COMPREHENSIVE, MULTI-SITE PARKING AND SERVICE STRATEGIES THAT MINIMIZE REDUNDANT ACCESS AND THAT MAXIMIZE OPEN SPACE AND LANDSCAPING.

CONTIGUOUS DEVELOPMENTS SHALL COORDINATE CIRCULATION PLANS TO MINIMIZE CURB CUTS.

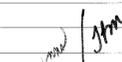
PEDESTRIAN LINKS SHALL BE PROVIDED TO COMMON OPEN SPACE AREAS AND FOCAL POINTS.

ON-SITE PEDESTRIAN WALKS SHALL BE PROVIDED TO CONNECT STREET SIDEWALKS TO PRIMARY COMMERCIAL AND RESIDENTIAL BUILDING ENTRIES BY THE MOST DIRECT ROUTE PRACTICABLE.



**EMPLOYMENT CENTER**

**DESIGN STANDARDS**

Scale: N/A	
Date: NOVEMBER 10, 2015	
Revision Date:	
	

# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 29 OF 42

### 3.0 EMPLOYMENT CENTERS STANDARDS AND GUIDELINES

#### 3.1.1 SITE PLANNING

**INTENT:**  
TO REINFORCE A WALKABLE EMPLOYMENT CENTER WITH CONVENIENT ACCESS TO NEIGHBORHOODS, MIXED USE CENTERS, SCHOOLS AND FUTURE TRANSIT STATIONS.

PROVIDE SAFE AND CONVENIENT AUTOMOBILE AND PEDESTRIAN CIRCULATION WITH QUALITY SITE PLANNING OF BUILDINGS, PARKING FACILITIES, PEDESTRIAN WALKS AND PLAZAS.

TO TREAT I-70 AND OPEN SPACE AS DEVELOPMENT FRONTAGE.

TO DISCOURAGE ANY DEVELOPMENT FROM ORIENTING SERVICES TOWARD A PUBLIC STREET.

TO DEVELOP COMPREHENSIVE, MULTI-SITE PARKING AND SERVICE STRATEGIES THAT MINIMIZE REDUNDANT ACCESS AND THAT MAXIMIZE OPEN SPACE AND LANDSCAPING.

#### 3.1.2 DESIGN OF STREETS

**STANDARDS:**  
STREETS AND COMMON OWNERSHIP PRIVATE STREETS (EXCLUDING PARKING LOT DRIVE AISLES) SHALL BE LOCATED WITHIN RIGHT-OF-WAY OR PRIVATE ACCESS MAINTENANCE EASEMENTS, OR PRIVATE ACCESS TRACTS.

PUBLIC/PRIVATE STREETS AND PRIVATE STREETS WITHIN PROSPER SHALL:  
- PROVIDE A VARIETY OF ROUTE OPTIONS.  
- INTERCONNECT TO ALLOW TRAFFIC TO DISPERSE TO THE SURROUNDING STREETS IN AN EQUITABLE AND FUNCTIONAL MANNER.  
- SEPARATE TRUCK TRAFFIC FROM AUTOMOBILE TRAFFIC TO THE EXTENT PRACTICABLE.

#### 3.1.3 MASS TRANSIT FACILITIES

**STANDARDS:**  
BUS SHELTERS AND MASS TRANSIT FACILITIES SHALL BE LOCATED AND DESIGNED IN ACCORDANCE WITH THE STANDARDS OF THE REGIONAL TRANSPORTATION DISTRICT.

#### 3.1.4 BUILDING ENTRANCES AND ENTRY DRIVES

**STANDARDS:**  
BUILDING FACADES ADJACENT TO CONNECTOR STREETS SHALL EITHER BE THE PRIMARY ENTRY FACADE OR SHALL BE OF COMPATIBLE QUALITY IN TERMS OF ARCHITECTURE, DETAILING AND MATERIALS.

PROVIDE CLEAR PEDESTRIAN CROSSINGS AT THE INTERSECTION OF ENTRY DRIVES BY UTILIZING ACCENT PAVING OR PAINT STRIPING.

ENTRY ROAD DRIVES SHALL PROVIDE UNOBSTRUCTED SIGHT LINES FOR SAFE ENTERING AND EXITING MOVEMENTS.

#### 3.1.5 BUILDING ORIENTATION

**STANDARDS:**  
UTILITY BOXES, METERS AND SERVICE AREAS SUCH AS TRASH ENCLOSURES SHOULD NOT BE LOCATED FACING THE PUBLIC/PRIVATE STREET. IF SUCH PLACEMENT IS REQUIRED, SCREENING SHALL BE PROVIDED PER SECTION 2.4.5 OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE.

POSITION BUILDING ENTRIES SO THEY ARE IMMEDIATELY IDENTIFIABLE FROM THE INTERIOR DRIVEWAYS.

CONSIDERATION SHOULD BE GIVEN TO THE OPPORTUNITY FOR ADJOINING SITES AND BUILDINGS TO SHARE ACCESS, AMENITIES AND RELATIONSHIPS OF FORM THAT WILL CREATE A STRONGER PROJECT IDENTITY.

#### 3.1.6 PARKING ACCESS AND CIRCULATION

**STANDARDS:**  
CONTIGUOUS DEVELOPMENTS SHALL COORDINATE CIRCULATION PLANS TO MINIMIZE CURB CUTS:

ACCESS DRIVE LOCATIONS FOR EACH PROJECT SHALL COORDINATE WITH THE LOCATIONS OF OTHER SUCH ACCESS DRIVES.

VEHICULAR CIRCULATION ON-SITE SHALL BE CLEARLY ORGANIZED TO FACILITATE MOVEMENT INTO AND THROUGHOUT PARKING AREAS. PARKING DRIVE LANES AND INTERSECTIONS SHALL ALIGN WHEREVER PRACTICABLE. ON-SITE INTERSECTIONS SHALL BE LOCATED TO PRECLUDE STACKING OF VEHICLES ACROSS INTERSECTIONS AND/OR ONTO PUBLIC AND PRIVATE STREETS.

THE MINIMUM THROAT LENGTH FOR AN ACCESS DRIVES SHALL MEET THE REQUIREMENTS FOR THE FOLLOWING CONDITIONS:

- FOR PARKING AREAS WITH UNSIGNALIZED ACCESS - 75- FEET.
- FOR DISTANCE TO MINOR INTERSECTION WITH UNSIGNALIZED MAJOR INTERSECTION - 50- FEET.
- FOR DISTANCE FROM ANY SIGNALIZED MAJOR INTERSECTION - 200- FEET.

THE DISTANCE SHOWN ABOVE IS MEASURED FROM THE EDGE OF THE MAJOR ROADWAY'S RIGHT-OF-WAY TO THE NEAREST EDGE OF THE PARKING SPACE OR ACCESS AISLE.

PEDESTRIAN CROSSINGS OF DRIVE AISLES SHALL BE CLEARLY MARKED WITH SIGNAGE, SPECIAL PAVING, SPECIAL LANDSCAPING OR OTHER ACCEPTABLE METHODS.

ALL DEVELOPMENTS SHALL BE EQUALLY ACCESSIBLE TO BOTH ABLE AND DISABLED PERSONS. ALL DEVELOPMENTS ARE REQUIRED TO MEET OR EXCEED ALL REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA), AND ALL AMENDMENTS THERETO.

#### 3.1.7 BICYCLE PARKING

**STANDARDS:**  
TO ENCOURAGE THE USE OF ALTERNATIVE TRANSPORTATION MODES, FUNCTIONAL AND ATTRACTIVE BIKE PARKING SHALL BE PROVIDED IN CONVENIENT LOCATIONS AND BE ADEQUATE FOR BOTH CUSTOMERS, RESIDENTS AND EMPLOYEES.

#### 3.1.8 PARKING STRUCTURES

**STANDARDS:**  
PARKING STRUCTURES SHALL CONCEAL VIEWS OF AUTOMOBILES. A BRICK, MASONRY, PRECAST OR SIMILAR WALL AT LEAST 42 INCHES HIGH SHALL BE PROVIDED ON LEVELS WHERE A GARAGE IS WITHIN 40 FEET OF A PUBLIC STREET, PRIVATE STREET OR OPEN SPACE. ARCHITECTURAL MATERIALS SHALL MATCH OR REPLICATE MATERIALS USED ON PRINCIPAL BUILDINGS LOCATED ON THE SITE. THE GROUND FLOOR OF THE PARKING STRUCTURE SHOULD BE SCREENED.

#### 3.1.9 PEDESTRIAN AND BICYCLE CIRCULATION

**INTENT:**  
TO PROVIDE A SAFE, CONVENIENT AND AN INTERCONNECTED ENVIRONMENT FOR PEDESTRIANS.

TO MINIMIZE CONFLICTS BETWEEN AUTOMOBILES, BICYCLISTS AND PEDESTRIANS.

TO PROVIDE PEDESTRIAN CONNECTIONS TO COMMUNITY OPEN SPACE AREAS AND PLAZAS.

#### 3.1.10 SIDEWALKS

**STANDARDS:**  
SIDEWALKS ALONG STREETS SHALL BE CONSISTENT WITH THE STREET SECTIONS AS DETERMINED BY THE FINAL DEVELOPMENT PLAN.

UNLESS SPECIFIED OTHERWISE, SIDEWALKS SHALL BE CONCRETE AND NO LESS THAN FIVE (5) FEET IN WIDTH, NOT INCLUDING CURB.

PEDESTRIAN LINKS SHALL BE PROVIDED TO COMMON OPEN SPACE AREAS AND FOCAL POINTS.

ON-SITE PEDESTRIAN WALKS SHALL BE PROVIDED TO CONNECT STREET SIDEWALKS TO PRIMARY COMMERCIAL AND RESIDENTIAL BUILDING ENTRIES BY THE MOST DIRECT ROUTE PRACTICABLE.

MULTI-BUILDING DEVELOPMENTS SHALL MINIMIZE AUTO/PEDESTRIAN CONFLICTS AND MAXIMIZE CONVENIENT PEDESTRIAN ACCESS BETWEEN BUILDINGS.

#### 3.2.0 LANDSCAPING STANDARDS

LANDSCAPE STANDARDS SHALL, AT A MINIMUM, COMPLY WITH THE REQUIREMENTS OF ARAPAHOE COUNTY AS DEFINED IN SECTION 12-1400 OF THE LAND DEVELOPMENT CODE. ALL LANDSCAPING AND FENCING IMPROVEMENTS WITHIN THE COUNTY R.O.W. MUST BE REVIEWED AND APPROVED THROUGH THE ENGINEERING SERVICES DIVISION PRIOR TO ANY R.O.W. PERMITS BEING ISSUED.

**INTENT:**  
TO MITIGATE THE VISUAL IMPACT OF LARGE BUILDINGS AND EXPANSIVE PARKING LOTS.

TO PROVIDE TRANSITIONS BETWEEN DEVELOPED AREAS AND PUBLIC SPACES.

TO INTEGRATE AND UTILIZE LANDSCAPE DESIGN TO REINFORCE SITE DESIGN SUCH AS ENHANCING ARRIVAL, PEDESTRIAN CIRCULATION AND BUILDING PLACEMENT.

TO REINFORCE THE PROJECT CHARACTER WITH COORDINATED LANDSCAPING ALONG PUBLIC/PRIVATE STREETS.

TO PROVIDE SAFE AND CONVENIENT PEDESTRIAN STREETSCAPE ENVIRONMENTS.

#### AREAS TO BE LANDSCAPED

PROSPER SHALL INCLUDE LANDSCAPE AREAS AND DECORATIVE ELEMENTS WITHIN EACH PARCEL OR BUILDING SITE THAT WILL

- 1) CREATE A PEDESTRIAN FRIENDLY ENVIRONMENT
- 2) REINFORCE A CONSISTENT AND HARMONIOUS AESTHETIC FOR THE COMMUNITY
- 3) SOFTEN PROJECT ARCHITECTURE
- 4) PROVIDE SCREENING OF SERVICE AREAS
- 5) ENHANCE STREETSCAPES AND THE PEDESTRIAN ENVIRONMENT.

#### THE LANDSCAPE DESIGN STANDARDS ADDRESS THE FOLLOWING ZONES.

- STREETSCAPE
- PARKS, PLAZAS AND OPEN SPACE AREAS
- PARKING LOT LANDSCAPING
- BUILDING SITE LANDSCAPING
- DETENTION PONDS

#### 3.2.1 STREETSCAPE

STREETSCAPE AT A MINIMUM SHALL COMPLY WITH SECTIONS 12-1409 AND 18-100 OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE, AS AMENDED.

#### PUBLIC/PRIVATE STREETS

**STANDARDS:**  
STREETSCAPE AREAS ADJACENT TO PUBLIC/PRIVATE STREETS SHALL PROVIDE A VISUALLY COHESIVE LANDSCAPED APPEARANCE.

WATKINS ROAD SHALL CONTAIN A DOUBLE ROW STREET TREES. THE DETACHED SIDEWALK SHALL BE LOCATED WITHIN THE TWO TRIANGULAR SPACED ROWS OF TREES.

STREET TREES SHALL BE INSTALLED BY THE OWNER, METROPOLITAN DISTRICT OR OWNER OF THE ADJACENT PARCEL.

PROVIDE ADEQUATE SIGHT LINES FOR AN EFFECTIVE SIGHT TRIANGLE AT STREET INTERSECTIONS AND ENTRIES/ACCESS POINTS. SIGHT TRIANGLES AND SIGHT LINES SHALL COMPLY WITH SECTION 18-101.02 OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE.

PLANT TREES A MINIMUM OF 4 FEET FROM THE BACK OF CURB AND SELECT SHRUBS THAT WILL NOT CONFLICT WITH SIGHT TRIANGLES OR SIGHT LINES.

STREET TREES SELECTED FOR STREETSCAPES SHALL BE STRONG WOODED AND ABLE TO ENDURE POLLUTION, COMPACTED SOILS, MINIMAL WATER AND LOW MAINTENANCE.

TREES AND IRRIGATION TECHNIQUES THAT REQUIRE MINIMAL WATER SHALL BE REQUIRED. IRRIGATION SHALL BE INSTALLED FOR LANDSCAPING AND DESIGNED TO DELIVER THE APPROPRIATE AMOUNT OF WATER WITH MINIMAL WATER WASTE

#### PRIVATE DRIVES

**STANDARDS:**  
PROVIDE A MINIMUM 8' WIDE BUFFER STRIP ALONG BOTH SIDES OF A SHARED ACCESS DRIVE (EXCLUDING PARKING LOT DRIVE AISLES) WHEN NO SIDEWALKS ARE INCLUDED. PROVIDE A MINIMUM 10' WIDE BUFFER STRIP ALONG BOTH SIDES OF A SHARED PRIVATE DRIVE WHERE A SIDEWALK IS INCLUDED. THE SIDEWALK IS INCLUDED IN THE 10' BUFFER.

#### 3.2.2 PARKS, PLAZAS AND OPEN SPACE AREAS

PARKS AND OPEN SPACE AREAS SHALL BE LANDSCAPED TO INCLUDE FLEXIBLE HARDSCAPE AND SOFTSCAPE AREAS THAT CAN ACCOMMODATE A VARIETY OF COMMUNITY FUNCTIONS AND GATHERINGS.

**STANDARDS:**  
TURF AREAS SHALL BE LOCATED IN HIGH PEDESTRIAN TRAFFIC AND RECREATIONAL ZONES TO MAXIMIZE USE AND MINIMIZE WATER CONSUMPTION.

TURF AREAS SHALL BE LOCATED AND CONFIGURED TO PROVIDE FLEXIBILITY IN ACCOMMODATING A VARIETY OF USER GROUPS AND ACTIVITIES.

DROUGHT TOLERANT SHRUBS, GRASS AND GROUND COVER BEDS SHALL BE LOCATED IN LOW-PEDESTRIAN ACTIVITY ZONES AND USED TO REINFORCE EDGES AND DEFINE FORMAL AND INFORMAL SPACES.

DECIDUOUS AND EVERGREEN TREES SHALL BE UTILIZED TO DEFINE SPACES AND ORIENT PEDESTRIANS AND USERS.

SHADE TREES SHALL BE PLANTED IN FORMAL OR INFORMAL MASSINGS TO PROVIDE SHADE TO PEDESTRIANS AND USERS. ORNAMENTAL TREES MAY BE USED AS ACCENTS AND SHALL NOT CONFLICT WITH HIGH TRAFFIC PEDESTRIAN ZONES.

LANDSCAPE PLANTERS, SEAT WALLS, ARBORS AND TRELIS STRUCTURES CAN BE USED TO DEFINE SPACES AND ACCOMMODATE FUNCTIONS FOR A VARIETY OF USER GROUPS.

IMPERVIOUS AND PERVIOUS HARDSCAPE MATERIALS SHALL BE UTILIZED TO PROVIDE SAFE AND CONVENIENT PEDESTRIAN CIRCULATION.

BENCHES, TABLES, PET WASTE AND TRASH RECEPTACLES SHALL BE LOCATED ALONG PEDESTRIAN CORRIDORS AND OPEN SPACE AREAS.

LOCATE AND CONFIGURE PRIVATE OPEN SPACE AREAS AND PLAZAS TO MAXIMIZE OPTIMAL SOLAR ORIENTATION.

SHADE AND ORNAMENTAL TREES CAN BE UTILIZED TO DEFINE PLAZAS AND REINFORCE BUILDING ENTRIES.



CASE NO. Z12-100

## DESIGN STANDARDS

Scale: N/A
Date: NOVEMBER 10, 2015
Revision Date:
<i>[Signature]</i>

# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 30 OF 42

#### 3.2.3 PARKING LOTS

PARKING LOTS AT A MINIMUM SHALL COMPLY WITH SECTION 12-1204.03 OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE.

##### STANDARDS:

SURFACE PARKING LOTS SHALL CONTAIN 1 LANDSCAPE ISLAND PER EVERY 15 CONTIGUOUS PARKING SPACES UNLESS APPROVED OTHERWISE AS PART OF A FINAL DEVELOPMENT PLAN.

LANDSCAPED PARKING LOT ISLANDS SHALL BE AT LEAST 100 SQUARE FEET IN AREA.

ANY LANDSCAPING AROUND A FIRE HYDRANT SHALL BE PLACED SUCH THAT A THREE-FOOT CLEAR SPACE IS MAINTAINED AT ALL TIMES.

#### 3.2.4 BUILDING SITE LANDSCAPING

THE PROSPER EMPLOYMENT ZONE IS PLANNED TO REINFORCE WALKABILITY AND SAFETY FOR PEDESTRIANS. THE BUILDING SITE LANDSCAPE CONCEPT INCLUDES REINFORCING CONNECTIONS TO BUILDING ENTRANCES, COMMUNITY AMENITIES AND OPEN SPACE AREAS.

##### STANDARDS:

LANDSCAPING SHOULD VISUALLY FRAME BUILDINGS, AND BUFFER PARKING, GARAGE AND SERVICE AREAS.

LANDSCAPE CHARACTER OF ADJACENT LOTS SHOULD BE COORDINATED WITH THE OVERALL PROJECT CHARACTER AND THEME.

USE LANDSCAPING THAT IS OF APPROPRIATE SCALE AND EMPHASIZE LANDSCAPING AT BUILDING ENTRANCES TO ORIENT PEDESTRIANS.

PROVIDE LANDSCAPING AT THE BASE OF BUILDINGS TO MINIMIZE THE EDGE BETWEEN SIDEWALKS, PARKING LOTS AND STRUCTURES.

#### 3.2.5 REQUIREMENTS IN DETENTION AREAS.

DETENTION AREAS AT A MINIMUM SHALL COMPLY WITH SECTION 12.1410, 12.1411 OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE AND THE STORMWATER MANAGEMENT MANUAL.

##### STANDARDS:

DETENTION AREAS AND DRAINAGE CHANNELS, SHALL BE DESIGNED TO INCLUDE VEGETATION THAT UTILIZES PLANT SPECIES THAT ARE TOLERANT OF WET SOILS AND CONDITIONS. VEGETATION SHALL BE APPROVED BY THE ENGINEERING DIVISION.

LANDSCAPE DETENTION AREAS TO INTEGRATE WITH THE ADJACENT STREETScape AND ON-SITE LANDSCAPE PLAN.

DETENTION AREAS OR DRAINAGE CHANNELS SHALL BE GRADED TO BLEND WITH ADJACENT AREAS.

#### 3.2.6 LANDSCAPE IRRIGATION/ WATER CONSERVATION

##### STANDARDS:

LANDSCAPE PLANS SHALL BE CREATED WITH THE INTENT TO CONSERVE WATER BY UTILIZING ALTERNATIVE METHODS (I.E. SOIL AMENDMENTS) FOR MAINTAINING A SUITABLE LANDSCAPE ENVIRONMENT.

LANDSCAPE PLANS SHALL INCORPORATE A "ZONED PLANTING PLAN" TO REDUCE WATER CONSUMPTION BY MASSING PLANT VARIETIES AND SPECIES THAT HAVE SIMILAR LOW WATER REQUIREMENTS.

LANDSCAPE PLANS SHALL PROVIDE SOIL AMENDMENTS FOR POOR-SOILS TO INCREASE EFFICIENT PLANT GROWTH AND REDUCE WATER CONSUMPTION.

#### 3.2.7 FENCES AND SCREENING

##### STANDARDS:

FENCE AND SCREENING STANDARDS SHALL, AT A MINIMUM, COMPLY WITH SECTION 12-800 OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE.

THE DESIGN OF MATERIALS FOR WALLS AND FENCES WITHIN A DEVELOPMENT SHALL BE COORDINATED WITH THE DESIGN OF THE PRINCIPAL BUILDING IN TERMS OF COLOR, QUALITY, SCALE AND DETAIL.

VINYL COATED CHAIN LINK MAY BE USED FOR SECURITY OR RECREATIONAL PURPOSES AND WILL BE REVIEWED ON A CASE BY CASE BASIS.

PARKING AND STORAGE AREAS SHALL BE SCREENED BY MEANS OF PLANT MATERIALS, EARTH MOUNDING, ARCHITECTURAL SCREENS OR SITING SO AS TO PROVIDE VISUAL SEPARATION BETWEEN SUCH USES AND ADJACENT AREAS.

MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY ARCHITECTURAL FEATURES OR LANDSCAPE MATERIALS.

#### 3.3.0 ARCHITECTURAL STANDARDS

##### INTENT:

TO ENCOURAGE RICHNESS AND DIVERSITY IN BUILDING ARCHITECTURE THAT IS WELL ARTICULATED TO PROVIDE HUMAN SCALE, INTEREST AND ORIENTATION AS WELL AS REINFORCE THE SPATIAL DEFINITIONS TO PUBLIC SPACES, INCLUDING STREETS.

TO ENCOURAGE VARIED BUILDING FORM AND PROFILE WITHIN LARGE STRUCTURES AND BUILDING GROUPS.

TO PROVIDE HUMAN SCALE AND VISIBLE ORIENTATION TO PRIMARY BUILDING ENTRIES.

TO MINIMIZE NEGATIVE VISUAL IMPACTS OF SERVICE AREAS ON ADJOINING STREETS, PUBLIC SPACES AND ADJACENT PROPERTY.

TO ESTABLISH COMPLIMENTARY LEVELS OF MATERIAL QUALITY AND DETAIL.

TO ESTABLISH LEVELS OF MATERIAL, DETAIL AND QUALITY THAT WILL BE COMPATIBLE AND EMPHASIZE PROJECT CHARACTER.

TO PROVIDE DURABILITY, PERMANENCY, AND QUALITY THROUGHOUT PROSPER.

#### 3.3.1 MASSING, FORM AND SCALE

##### STANDARDS:

BUILDINGS SHALL BE DESIGNED TO INTEGRATE COMFORTABLY INTO THE CONTEXT OF THE PROSPER COMMUNITY WHILE REINFORCING THE CONSISTENT CIVIC CHARACTER OF STREETS AND DEVELOPED OPEN SPACE AREAS. BUILDINGS ELEMENTS SHALL BE ARCHITECTURALLY PROPORTIONATE AND BE COMPLIMENTARY WITH ONE ANOTHER. THE FOLLOWING DESIGN TECHNIQUES SHALL BE USED TO MEET THIS OBJECTIVE:

PROVIDE SHIFTS IN BUILDING MASSING, VARIATIONS IN HEIGHT, PROFILE AND ROOF FORM, WHILE MAINTAINING FORMAL RELATIONSHIPS OF BUILDING PLACEMENT TO PUBLIC STREET FRONTAGE.

MINIMIZE LONG EXPANSES OF WALLS AT A SINGLE HEIGHT OR IN A SINGLE PLANE. BUILDINGS WITH LONG STREET FACING FACADES SHALL BE DESIGNED WITH VERTICAL BREAKS TO CREATE DIFFERENTIATION ALONG THE STREET FACADE.

VARYING FLOOR HEIGHTS TO FOLLOW NATURAL GRADE CONTOURS IF SIGNIFICANT VARIATION IS PRESENT.

BUILDINGS SHALL BE ORIENTED SO AS NOT TO OBSCURE DESIRED VIEWS FROM EXISTING OR PROPOSED BUILDINGS NEARBY.

THERE SHALL BE DIFFERENTIATION BETWEEN THE DESIGN OF THE GROUND FLOOR FACADES AND FACADES ON THE UPPER STORIES IN ORDER TO CREATE A DESIRABLE PEDESTRIAN SCALE ALONG THE SIDEWALKS.

ARCHITECTURAL STRUCTURES SHALL BE DESIGNED TO PROVIDE HUMAN SCALE, INTEREST AND VARIETY BY UTILIZING THE FOLLOWING TECHNIQUES:

VARIATION IN THE BUILDING FORM SUCH AS RECESSED OR PROJECTING BAYS.

DEVELOP CREATIVE ENTRY TREATMENTS AND OTHER FOCAL POINTS OR DETAILS SUCH AS CANOPIES, AWNINGS, CORNICE TREATMENTS, PLAZAS OR ATRIUMS.

EXPRESSION OF ARCHITECTURAL OR STRUCTURAL MODULES AND DETAIL.

WINDOW SIZES, SHAPES AND PATTERNS WITH DIFFERENT DETAILS SHALL BE UTILIZED TO REINFORCE THE ARCHITECTURAL STYLE OF THE BUILDING. A DIVERSITY OR CONSISTENT WINDOW PATTERNS AND DETAIL MAY BE UTILIZED TO REINFORCE THE ARCHITECTURAL VERNACULAR ESTABLISHED FOR THE RESPECTIVE BUILDING.

EMPHASIZE BUILDING ENTRIES THROUGH PROJECTING OR RECESSED FORMS, DETAIL, COLOR OR MATERIALS.

VARIATIONS OF MATERIALS, EXPRESSED JOINTS AND DETAILS, SURFACE RELIEF, COLOR AND TEXTURE TO BREAK UP LARGE BUILDING FORMS AND WALL SURFACES.

EXPRESS FACADE COMPONENTS THAT WILL HELP ESTABLISH BUILDING SCALE. COMPOSITIONS THAT EMPHASIZE FLOOR LINES OR THAT EXPRESS RHYTHMS AND PATTERNS OF WINDOWS, COLUMNS, AND OTHER ARCHITECTURAL FEATURES.

#### 3.3.2 GLAZING

##### STANDARDS:

LIMIT REFLECTIVE GLASS TO AN OUTSIDE DAYLIGHT FACTOR OF THIRTY (30) PERCENT OR LESS. MIRROR GLASS IS NOT ALLOWED EXCEPT IN VERY LIMITED APPLICATIONS.

REFLECTIVE GLASS WHEN ALLOWED, SHALL BE LIMITED TO NO MORE THAN FIFTEEN (15) PERCENT OF THE TOTAL BUILDING SURFACE AREA.

#### 3.3.3 MATERIAL QUALITY AND DETAIL

##### STANDARDS:

EXTERIOR MATERIALS SHALL BE HIGH QUALITY AND COMPATIBLE WITH MATERIALS OF ADJOINING STRUCTURES IN TERMS OF CHARACTER, COLOR, SCALE AND TEXTURE. MATERIALS SHALL BE AUTHENTIC TO THEIR REPRESENTATION.

A VARIETY OF COLORS, MATERIALS AND DETAILING SHALL BE USED ON ALL ELEVATIONS.

PROHIBITED AND PREFERRED MATERIALS INCLUDE:

NATURAL WOOD OR WOOD PANELING SHALL NOT BE USED AS A PRINCIPAL EXTERIOR WALL CLADDING SYSTEM. DURABLE SYNTHETIC MATERIALS WITH THE APPEARANCE OF WOOD MAY BE ACCEPTABLE AS ACCENTS.

SYNTHETIC STUCCO OR EIFS (EXTERIOR INSULATING FINISH SYSTEMS) SHALL BE PROVIDED WITH ALL NECESSARY SUBSURFACE VENTILATION AND DRAINAGE TO PREVENT DETERIORATION OF THE FINISH OR STRUCTURE.

#### 3.3.4 SERVICE AND EQUIPMENT AREAS

SERVICE AREA SCREENING STANDARDS SHALL, AT A MINIMUM, COMPLY WITH THE REQUIREMENTS OF ARAPAHOE COUNTY AS DEFINED IN SECTION 15-102.07 OF THE LAND DEVELOPMENT CODE.

##### STANDARDS:

SERVICE AREAS SHALL BE LOCATED SO THAT THEIR FUNCTION IS NOT READILY VISIBLE FROM OR DISRUPTIVE TO ADJOINING PUBLIC/PRIVATE STREETS, PEDESTRIAN WALKS, OPEN SPACE AND/OR ADJOINING DEVELOPMENT.

SCREENING ENCLOSURES SHALL BE INCORPORATED INTO BUILDING ARCHITECTURE AND UTILIZE THE SAME MATERIALS AS THE PRINCIPAL BUILDING TO THE GREATEST DEGREE PRACTICABLE. SCREENING SHALL INCLUDE WALLS OF ADEQUATE HEIGHT TO PROVIDE COMPLETE SCREENING FROM NORMAL EYE LEVEL. A METAL GATE SHALL BE INCLUDED WHERE NECESSARY TO COMPLETE SCREENING FROM ADJACENT PROPERTIES, STREETS OR OPEN SPACE. SCREENING SHOULD BE ENHANCED THROUGH LANDSCAPING OF ADEQUATE HEIGHT AND DENSITY.

ROOFTOP MECHANICAL EQUIPMENT, INCLUDING SATELLITE DISHES AND ANTENNAS, SHALL BE SCREENED FROM VIEW OF PUBLIC/PRIVATE STREETS AND OPEN SPACE. SCREENING SHALL BE OF A MATERIAL SIMILAR IN QUALITY AND APPEARANCE TO OTHER AREAS OF THE BUILDING FACADE AND SHALL BE INCORPORATED INTO THE BUILDING ARCHITECTURE TO THE GREATEST EXTENT POSSIBLE.

#### 4.0 RESIDENTIAL DESIGN STANDARDS AND GUIDELINES

PROSPER IS MASTER PLANNED TO INCLUDE A SERIES OF INTEGRATED AND PEDESTRIAN-ORIENTED RESIDENTIAL PLANNING AREAS.

##### RESIDENTIAL DEFINITIONS:

4.0.1 - ALTERNATELY LOADED GARAGE  
RECESSED GARAGE DOORS, SIDE LOAD GARAGES, REAR ENTRY GARAGES, RECESSED DETACHED GARAGES, AND/OR SIMILAR TYPES OF GARAGE ORIENTATION WHERE THE GARAGE DOORS ARE LOCATED A MINIMUM OF FOUR FEET BEHIND THE FRONT FACADE. SIDE LOADED AND REAR ENTRY GARAGE DOORS NEED NOT BE RECESSED TO QUALIFY AS AN ALTERNATELY LOADED GARAGE. FRONT PORCHES SHALL NOT BE CONSIDERED PART OF THE FRONT BUILDING FACADE.

4.0.2 - CARRIAGE UNIT  
A UNIT LOCATED ABOVE A DETACHED GARAGE THAT CAN BE IDEAL FOR A GRANDPARENT, NANNY, HOME OFFICE, RENTAL, ETC.

4.0.3 - FRONT PORCH  
A COVERED OR UNCOVERED FRONT PORCH WITH A MINIMUM DIMENSION OF FOUR FEET IN DEPTH AND EIGHT FEET IN WIDTH. IF SMALLER, THEN IT WILL BE CONSIDERED A STOOP.

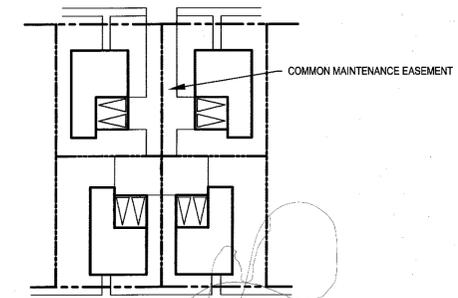
4.0.4 - FULL LENGTH DRIVEWAY  
AN EIGHTEEN FOOT DRIVEWAY MEASURED FROM THE FACE OF THE GARAGE DOOR TO THE BACK OF WALK, OR IF NO WALK, PROPERTY LINE/R.O.W. LINE

4.0.5 - GARAGE CONFIGURATIONS  
MAY BE ATTACHED, DETACHED, REAR-LOADED OR ALLEY LOADED TO A HOUSE.

4.0.6 - LAY-BY PARKING  
EQUIVALENT OF SMALL GROUPS OF PARALLEL PARKING SPACES DELINEATED AT EACH END BY A NECKED DOWN FLOWLINE (CURB RETURN) REFER TO THE MEDIUM DENSITY RESIDENTIAL TYPICAL ON SHEET 21 OF THIS PDP.

4.0.7 - PINWHEEL LOTS  
A LOT PATTERN IN WHICH CLUSTERS OF USUALLY, BUT ARE NOT LIMITED TO, FOUR LOTS ARE ARRANGED IN A PINWHEEL PATTERN WITH STREETS OR DRIVES BORDERING TWO SIDES OF THE PINWHEEL. COMMON MAINTENANCE EASEMENT RESPONSIBILITIES WILL BE DETERMINED AT THE TIME OF FINAL DEVELOPMENT PLAN AND PLAT.

#### 4.0.7 PINWHEEL LOTS



## DESIGN STANDARDS

Scale: N/A
Date: NOVEMBER 10, 2015
Revision Date:



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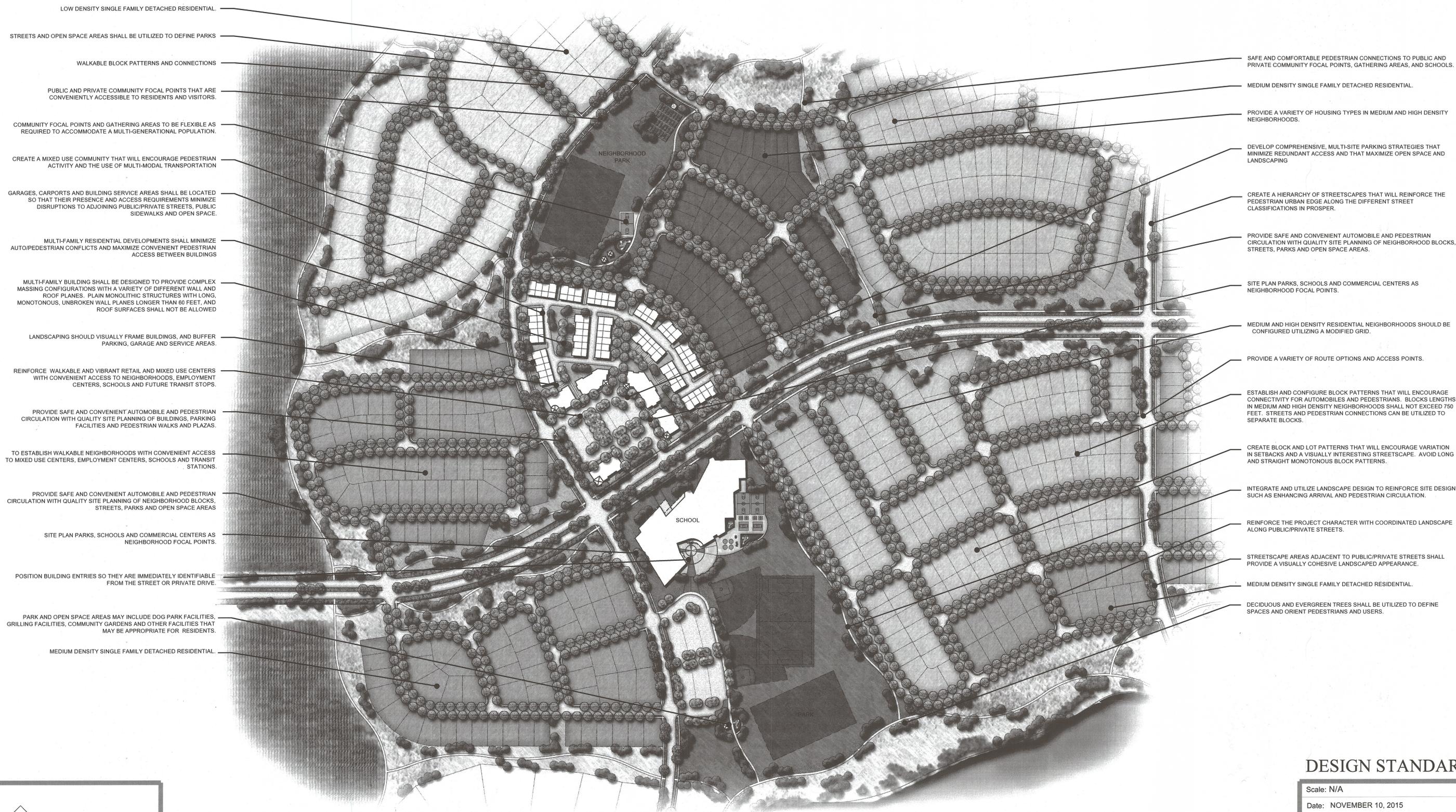
CASE NO. Z12-100

# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 31 OF 42



LOW DENSITY SINGLE FAMILY DETACHED RESIDENTIAL.

STREETS AND OPEN SPACE AREAS SHALL BE UTILIZED TO DEFINE PARKS

WALKABLE BLOCK PATTERNS AND CONNECTIONS

PUBLIC AND PRIVATE COMMUNITY FOCAL POINTS THAT ARE CONVENIENTLY ACCESSIBLE TO RESIDENTS AND VISITORS.

COMMUNITY FOCAL POINTS AND GATHERING AREAS TO BE FLEXIBLE AS REQUIRED TO ACCOMMODATE A MULTI-GENERATIONAL POPULATION.

CREATE A MIXED USE COMMUNITY THAT WILL ENCOURAGE PEDESTRIAN ACTIVITY AND THE USE OF MULTI-MODAL TRANSPORTATION

GARAGES, CARPORTS AND BUILDING SERVICE AREAS SHALL BE LOCATED SO THAT THEIR PRESENCE AND ACCESS REQUIREMENTS MINIMIZE DISRUPTIONS TO ADJOINING PUBLIC/PRIVATE STREETS, PUBLIC SIDEWALKS AND OPEN SPACE.

MULTI-FAMILY RESIDENTIAL DEVELOPMENTS SHALL MINIMIZE AUTO/PEDESTRIAN CONFLICTS AND MAXIMIZE CONVENIENT PEDESTRIAN ACCESS BETWEEN BUILDINGS

MULTI-FAMILY BUILDING SHALL BE DESIGNED TO PROVIDE COMPLEX MASSING CONFIGURATIONS WITH A VARIETY OF DIFFERENT WALL AND ROOF PLANES. PLAIN MONOLITHIC STRUCTURES WITH LONG, MONOTONOUS, UNBROKEN WALL PLANES LONGER THAN 60 FEET, AND ROOF SURFACES SHALL NOT BE ALLOWED

LANDSCAPING SHOULD VISUALLY FRAME BUILDINGS, AND BUFFER PARKING, GARAGE AND SERVICE AREAS.

REINFORCE WALKABLE AND VIBRANT RETAIL AND MIXED USE CENTERS WITH CONVENIENT ACCESS TO NEIGHBORHOODS, EMPLOYMENT CENTERS, SCHOOLS AND FUTURE TRANSIT STOPS.

PROVIDE SAFE AND CONVENIENT AUTOMOBILE AND PEDESTRIAN CIRCULATION WITH QUALITY SITE PLANNING OF BUILDINGS, PARKING FACILITIES AND PEDESTRIAN WALKS AND PLAZAS.

TO ESTABLISH WALKABLE NEIGHBORHOODS WITH CONVENIENT ACCESS TO MIXED USE CENTERS, EMPLOYMENT CENTERS, SCHOOLS AND TRANSIT STATIONS.

PROVIDE SAFE AND CONVENIENT AUTOMOBILE AND PEDESTRIAN CIRCULATION WITH QUALITY SITE PLANNING OF NEIGHBORHOOD BLOCKS, STREETS, PARKS AND OPEN SPACE AREAS

SITE PLAN PARKS, SCHOOLS AND COMMERCIAL CENTERS AS NEIGHBORHOOD FOCAL POINTS.

POSITION BUILDING ENTRIES SO THEY ARE IMMEDIATELY IDENTIFIABLE FROM THE STREET OR PRIVATE DRIVE.

PARK AND OPEN SPACE AREAS MAY INCLUDE DOG PARK FACILITIES, GRILLING FACILITIES, COMMUNITY GARDENS AND OTHER FACILITIES THAT MAY BE APPROPRIATE FOR RESIDENTS.

MEDIUM DENSITY SINGLE FAMILY DETACHED RESIDENTIAL.

SAFE AND COMFORTABLE PEDESTRIAN CONNECTIONS TO PUBLIC AND PRIVATE COMMUNITY FOCAL POINTS, GATHERING AREAS, AND SCHOOLS.

MEDIUM DENSITY SINGLE FAMILY DETACHED RESIDENTIAL.

PROVIDE A VARIETY OF HOUSING TYPES IN MEDIUM AND HIGH DENSITY NEIGHBORHOODS.

DEVELOP COMPREHENSIVE, MULTI-SITE PARKING STRATEGIES THAT MINIMIZE REDUNDANT ACCESS AND THAT MAXIMIZE OPEN SPACE AND LANDSCAPING

CREATE A HIERARCHY OF STREETSCAPES THAT WILL REINFORCE THE PEDESTRIAN URBAN EDGE ALONG THE DIFFERENT STREET CLASSIFICATIONS IN PROSPER.

PROVIDE SAFE AND CONVENIENT AUTOMOBILE AND PEDESTRIAN CIRCULATION WITH QUALITY SITE PLANNING OF NEIGHBORHOOD BLOCKS, STREETS, PARKS AND OPEN SPACE AREAS.

SITE PLAN PARKS, SCHOOLS AND COMMERCIAL CENTERS AS NEIGHBORHOOD FOCAL POINTS.

MEDIUM AND HIGH DENSITY RESIDENTIAL NEIGHBORHOODS SHOULD BE CONFIGURED UTILIZING A MODIFIED GRID.

PROVIDE A VARIETY OF ROUTE OPTIONS AND ACCESS POINTS.

ESTABLISH AND CONFIGURE BLOCK PATTERNS THAT WILL ENCOURAGE CONNECTIVITY FOR AUTOMOBILES AND PEDESTRIANS. BLOCKS LENGTHS IN MEDIUM AND HIGH DENSITY NEIGHBORHOODS SHALL NOT EXCEED 750 FEET. STREETS AND PEDESTRIAN CONNECTIONS CAN BE UTILIZED TO SEPARATE BLOCKS.

CREATE BLOCK AND LOT PATTERNS THAT WILL ENCOURAGE VARIATION IN SETBACKS AND A VISUALLY INTERESTING STREETSCAPE. AVOID LONG AND STRAIGHT MONOTONOUS BLOCK PATTERNS.

INTEGRATE AND UTILIZE LANDSCAPE DESIGN TO REINFORCE SITE DESIGN SUCH AS ENHANCING ARRIVAL AND PEDESTRIAN CIRCULATION.

REINFORCE THE PROJECT CHARACTER WITH COORDINATED LANDSCAPE ALONG PUBLIC/PRIVATE STREETS.

STREETSCAPE AREAS ADJACENT TO PUBLIC/PRIVATE STREETS SHALL PROVIDE A VISUALLY COHESIVE LANDSCAPED APPEARANCE.

MEDIUM DENSITY SINGLE FAMILY DETACHED RESIDENTIAL.

DECIDUOUS AND EVERGREEN TREES SHALL BE UTILIZED TO DEFINE SPACES AND ORIENT PEDESTRIANS AND USERS.



CASE NO. Z12-100

## RESIDENTIAL NEIGHBORHOOD

### DESIGN STANDARDS

Scale: N/A	
Date: NOVEMBER 10, 2015	
Revision Date:	
	<i>[Signature]</i>

# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 32 OF 42

**4.0.8 - STOOP**  
AN ENTRYWAY THAT DOESN'T MEET THE MINIMUM SIZE REQUIREMENTS FOR A PORCH, REGARDLESS OF WHETHER OR NOT IT IS COVERED, AND THEREFORE CAN NOT BE COUNTED TOWARDS MEETING THE MINIMUM NUMBER OF PORCHES REQUIRED, WHERE APPLICABLE.

**4.0.9 - TANDEM GARAGE**  
A TWO-CAR GARAGE IN DEPTH, NOT WIDTH, ALLOWING FOR TWO CARS TO PARK ONE BEHIND THE OTHER.

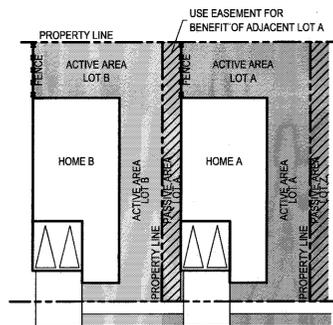
**4.0.10 - TWIN-OPTION GARAGE**  
TWO CAR GARAGE BUILT AS ONE BUILDING WITH THE COMMON PROPERTY LINE THROUGH THE CENTER WALL. GARAGES CAN BE SIDE BY SIDE OR BACK TO BACK.

**4.0.11 - USE EASEMENT LOTS**  
A LOT PATTERN THAT DESIGNATES EACH SIDE YARD AS EITHER ACTIVE OR PASSIVE. A SIDE YARD MAY BE THE PASSIVE SIDE OF A HOME (A) AND THE ACTIVE SIDE OF ANOTHER HOME (B). A USE EASEMENT ALLOWS HOME (B) THE USE AND ENJOYMENT OF THE SIDE YARD OF HOME (A) AS ESTABLISHED BY THE CC&R'S. A USE EASEMENT ALLOWS EACH HOMEOWNER THE USE OF ONE ENTIRE SIDE YARD BETWEEN THEIR HOUSE AND THE NEIGHBORS. FOR EXAMPLE, INSTEAD OF HAVING TWO FIVE FOOT SIDE YARDS A HOMEOWNER HAS ONE 10' SIDE YARD WHICH ALLOWS FOR GREATER USE AND IMPROVEMENTS, SUCH AS AT GRADE DECKS. MAINTENANCE EASEMENT RESPONSIBILITIES WILL BE DETERMINED AT THE TIME OF FINAL DEVELOPMENT PLAN AND PLAT.

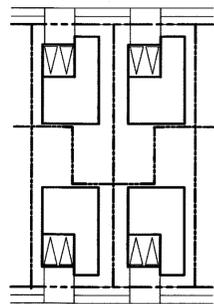
**4.0.12 - ZERO-LOT LINE LOTS**  
A LOT PATTERN THAT SHIFTS A BUILDING TO ONE SIDE OF THE LOT SO THAT IT IS ON THE LOT LINE, THEREBY CREATING LARGER USEABLE YARD SPACE ON THE OTHER SIDE. THE PURPOSE IS THE SAME AS THE USE EASEMENT, BUT SINCE THE LOCATION OF THE HOUSE HAS MOVED, THERE IS NO NEED FOR AN EASEMENT.

**4.0.13 - ZIPPER LOTS**  
A LOT PATTERN IN WHICH EITHER THE REAR OR SIDE LOT LINE JOGS TO VARY THE DEPTH OF THE YARD, THEREBY CONCENTRATING THE OPEN AREA SO IT IS MORE USEFUL.

**4.0.11 USE EASEMENTS LOTS**



**4.0.13 ZIPPER LOTS**



**4.1.0 SITE PLANNING**

- INTENT:**  
TO ESTABLISH WALKABLE NEIGHBORHOODS WITH CONVENIENT ACCESS TO MIXED USE CENTERS, EMPLOYMENT CENTERS, SCHOOLS AND TRANSIT STATIONS.
- PROVIDE SAFE AND CONVENIENT AUTOMOBILE AND PEDESTRIAN CIRCULATION WITH QUALITY SITE PLANNING OF NEIGHBORHOOD BLOCKS, STREETS, PARKS AND OPEN SPACE AREAS.
- TO TREAT PARKS AND OPEN SPACE AREAS AS DEVELOPMENT FRONTAGE.
- TO ENCOURAGE A DIVERSITY OF HOUSING TYPES WITHIN PROSPER.
- TO SITE PLAN PARKS, SCHOOLS AND COMMERCIAL CENTERS AS NEIGHBORHOOD FOCAL POINTS.
- ENCOURAGE HUMAN-SCALE ARCHITECTURE THAT WILL ENCOURAGE SOCIAL INTERACTION AND PEDESTRIAN ACTIVITY.

**STANDARDS:**

STREETS AND PRIVATE STREETS (EXCLUDING PARKING LOT DRIVE AISLES) SHALL BE LOCATED WITHIN RIGHT-OF-WAY, PRIVATE ACCESS EASEMENTS, PRIVATE TRACTS.

PUBLIC/PRIVATE STREETS AND PRIVATE STREETS WITHIN PROSPER RESIDENTIAL NEIGHBORHOODS SHALL:

- PROVIDE A VARIETY OF ROUTE OPTIONS AND ACCESS POINTS.
- MEDIUM AND HIGH DENSITY RESIDENTIAL NEIGHBORHOODS SHOULD BE CONFIGURED UTILIZING A MODIFIED GRID.
- INTERCONNECT TO ALLOW TRAFFIC TO DISPERSE TO THE SURROUNDING STREETS IN AN EQUITABLE AND FUNCTIONAL MANNER.

ESTABLISH AND CONFIGURE BLOCK PATTERNS THAT WILL ENCOURAGE CONNECTIVITY FOR AUTOMOBILES AND PEDESTRIANS. BLOCKS LENGTHS IN MEDIUM AND HIGH DENSITY NEIGHBORHOODS SHALL NOT EXCEED 750 FEET. STREETS AND PEDESTRIAN CONNECTIONS CAN BE UTILIZED TO SEPARATE BLOCKS.

CREATE BLOCK AND LOT PATTERNS THAT WILL ENCOURAGE VARIATION IN SETBACKS AND A VISUALLY INTERESTING STREETScape. AVOID LONG AND STRAIGHT MONOTONOUS BLOCK PATTERNS.

MAXIMUM LENGTH OF CUL-DE-SACS SHALL BE DETERMINED BY ARAPAHOE COUNTY ENGINEERING.

LOCATE SCHOOLS, PARKS AND NEIGHBORHOOD CENTERS TO SERVE AS COMMUNITY FOCAL POINTS.

**4.1.1 MODIFIED GRID**

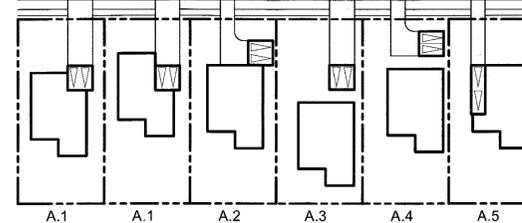


**4.1.2 SINGLE FAMILY DETACHED LOT CONFIGURATIONS**

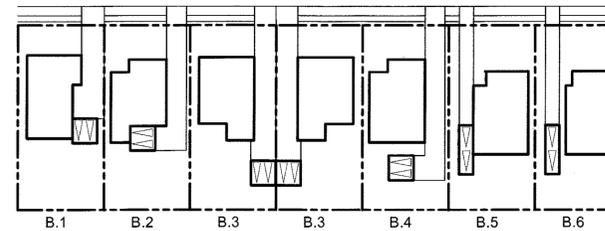
THE FOLLOWING LIST DESCRIBES MANY POSSIBLE LOT CONFIGURATIONS. NOT ALL OPTIONS DESCRIBED ARE REQUIRED TO BE BUILT. OTHER CONFIGURATIONS NOT SHOWN MAY BE ALLOWED IF THE LOT CONFIGURATION MEETS DENSITY AND LOT SIZE REQUIREMENTS. OTHER CONFIGURATIONS COULD BE, BUT ARE NOT LIMITED TO, ZIPPER LOTS, ZERO-LOT LINE LOTS, LOTS WITH USE EASEMENTS, ETC. MAINTENANCE EASEMENTS WILL BE REQUIRED FOR ZERO LOT LINE CONFIGURATIONS. THE FOLLOWING CONFIGURATIONS SHALL APPLY TO HOMES THAT INCLUDE THE REQUIRED MINIMUM ONE CAR GARAGE.

**4.1.2.1 - HOMES LOCATED ON PUBLIC / PRIVATE STREETS**

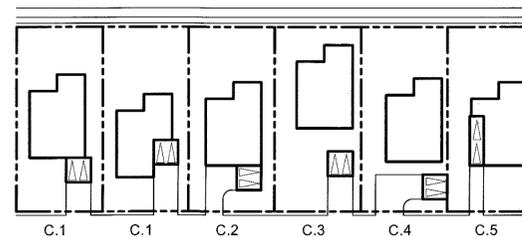
- A. STREET LOADED GARAGE AT FRONT OF LOT**
- A.1 ATTACHED, FRONT ENTRY
  - A.2 ATTACHED, SIDE ENTRY
  - A.3 DETACHED, FRONT ENTRY
  - A.4 DETACHED, SIDE ENTRY
  - A.5 ATTACHED, FRONT ENTRY TANDEM



- B. STREET LOADED GARAGE AT REAR OF LOT**
- B.1 ATTACHED, FRONT ENTRY
  - B.2 ATTACHED, SIDE ENTRY
  - B.3 DETACHED, FRONT ENTRY
  - B.4 DETACHED, SIDE ENTRY
  - B.5 ATTACHED, FRONT ENTRY TANDEM
  - B.6 DETACHED, FRONT ENTRY TANDEM



- C. ALLEY LOADED GARAGE AT REAR OF LOT**
- C.1 ATTACHED, REAR ENTRY
  - C.2 ATTACHED, SIDE ENTRY
  - C.3 DETACHED, REAR ENTRY
  - C.4 DETACHED, SIDE ENTRY
  - C.5 ATTACHED, REAR ENTRY TANDEM



**4.1.3 SINGLE FAMILY ATTACHED LOT CONFIGURATIONS**

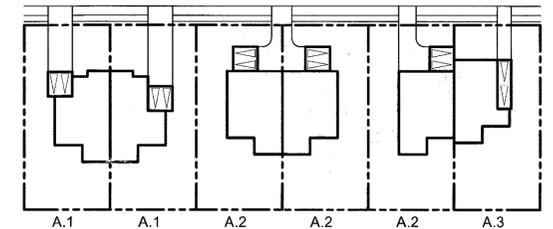
**STANDARDS:**

- DUPLEX**
- STREET-LOADED GARAGES AT FRONT OF LOT
  - STREET-LOADED GARAGES AT REAR OF LOT
  - ALLEY LOADED
- TOWNHOME**
- STREET-LOADED GARAGES AT FRONT OF LOT
  - STREET-LOADED GARAGES AT REAR OF LOT
  - ALLEY LOADED
  - A MINIMUM OF A TWO FOOT OFFSET MUST BE PROVIDED BETWEEN TWO DOUBLE GARAGE DOORS ON THE SAME FACADE
  - BUILDING SHALL NOT EXCEED 225 FEET ON ANY FACADE.

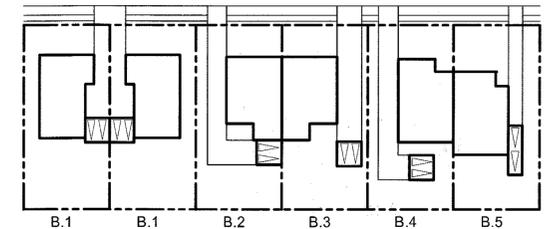
THE FOLLOWING LIST DESCRIBES MANY POSSIBLE LOT CONFIGURATIONS. NOT ALL OPTIONS DESCRIBED ARE REQUIRED TO BE BUILT. OTHER CONFIGURATIONS NOT SHOWN MAY BE ALLOWED IF THE LOT CONFIGURATION MEETS DENSITY AND LOT SIZE REQUIREMENTS.

**4.1.3.1 - DUPLEX HOMES LOCATED ON PUBLIC / PRIVATE STREETS**

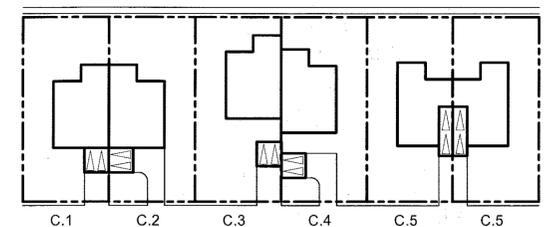
- A. STREET LOADED GARAGE AT FRONT OF LOT**
- A.1 ATTACHED, FRONT ENTRY
  - A.2 ATTACHED, SIDE ENTRY
  - A.3 ATTACHED, FRONT ENTRY TANDEM



- B. STREET LOADED GARAGE AT REAR OF LOT**
- B.1 ATTACHED, FRONT ENTRY
  - B.2 ATTACHED, SIDE ENTRY
  - B.3 DETACHED, FRONT ENTRY
  - B.4 DETACHED, SIDE ENTRY
  - B.5 ATTACHED, FRONT ENTRY TANDEM



- C. ALLEY LOADED GARAGE AT REAR OF LOT**
- C.1 ATTACHED, REAR ENTRY
  - C.2 ATTACHED, SIDE ENTRY
  - C.3 DETACHED, REAR ENTRY
  - C.4 DETACHED, SIDE ENTRY
  - C.5 ATTACHED, REAR ENTRY TANDEM



**4.1.4 MULTI-FAMILY**

**TYPES**  
CONDOMINIUMS  
APARTMENTS

**STANDARDS:**

BUILDINGS SHALL NOT EXCEED 225 FEET ON ANY FACADE.

**DESIGN STANDARDS**

Scale: N/A  
Date: NOVEMBER 10, 2015  
Revision Date:



**VOGEL & ASSOCIATES**  
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CASE NO. Z12-100

*[Handwritten signature]*

**PROSPER**  
**PRELIMINARY DEVELOPMENT PLAN**  
 PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
 AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
 COUNTY OF ARAPAHOE, STATE OF COLORADO  
**SHEET 33 OF 42**

**4.1.5 MASS TRANSIT FACILITIES**

**STANDARDS:**  
 BUS SHELTERS AND MASS TRANSIT FACILITIES SHALL BE LOCATED AND DESIGNED IN ACCORDANCE WITH THE REGIONAL TRANSPORTATION DISTRICT.

**4.1.6 BUILDING ORIENTATION**

**STANDARDS:**  
 HOMES ALONG CONNECTOR STREETS SHALL BE EITHER ALLEY-LOADED WITH THE FRONT OF THE HOME FACING THE STREET OR SHALL HAVE ENHANCED ARCHITECTURE ON THE SIDE OR REAR ELEVATION OF THE HOME FACING THE PUBLIC RIGHT-OF-WAY OR PRIVATE DRIVE.

UTILITY BOXES, METERS AND SERVICE AREAS SUCH AS TRASH ENCLOSURES SHOULD NOT BE LOCATED FACING THE PUBLIC/PRIVATE STREET. IF SUCH PLACEMENT IS REQUIRED, SCREENING SHALL BE PROVIDED TO THE EXTENT PRACTICABLE.

POSITION BUILDING ENTRIES SO THEY ARE IMMEDIATELY IDENTIFIABLE FROM THE STREET OR PRIVATE DRIVE.

MINIMIZE GARAGE VISIBILITY FROM THE STREET.

A MINIMUM OF A ONE CAR GARAGE IS REQUIRED FOR A SINGLE FAMILY ATTACHED HOUSE.

ALTERNATIVE LOCATIONS AND ORIENTATIONS OF GARAGES SHOULD BE CONSIDERED TO ENSURE THE ENTRANCE TO THE HOME IS THE DOMINANT ELEMENT.

GARAGES SHALL NOT OBSTRUCT THE FRONT ENTRANCE TO THE RESIDENCE.

CONSIDERATION SHOULD BE GIVEN TO THE OPPORTUNITY FOR ADJOINING NEIGHBORHOODS AND ENCLAVES TO SHARE ACCESS, PARKS AND AMENITIES.

**4.1.7 MULTI-FAMILY RESIDENTIAL PARKING LOCATION CRITERIA**

**STANDARDS:**  
 CONTIGUOUS AND PHASED DEVELOPMENTS SHALL COORDINATE CIRCULATION PLANS TO MINIMIZE CURB CUTS AND ENCOURAGE PEDESTRIAN CONNECTIVITY.

GARAGES, CARPORTS AND BUILDING SERVICE AREAS SHALL BE LOCATED SO THAT THEIR PRESENCE AND ACCESS REQUIREMENTS MINIMIZE DISRUPTIONS TO ADJOINING PUBLIC/PRIVATE STREETS, PUBLIC SIDEWALKS AND OPEN SPACE.

**4.1.8 OPEN SPACE AREAS, PEDESTRIAN AND BICYCLE CIRCULATION**

**INTENT:**  
 TO PROVIDE A SAFE, CONVENIENT AND INTERCONNECTED ENVIRONMENT FOR PEDESTRIANS.

TO MINIMIZE CONFLICTS BETWEEN AUTOMOBILES, BICYCLISTS AND PEDESTRIANS.

TO PROVIDE PEDESTRIAN CONNECTIONS TO COMMUNITY OPEN SPACE AREAS AND PLAZAS.

**4.1.9 SIDEWALKS**

**STANDARDS**

LOCAL STREET SECTIONS WILL REQUIRE A MINIMUM OF A 5' WALK ON BOTH SIDES OF THE STREET IN RESIDENTIAL DEVELOPMENTS WITH PLATTED LOTS AVERAGING LESS THAN 0.5 ACRES PER PLAT. RESIDENTIAL DEVELOPMENTS WITH PLATTED LOTS AVERAGING 0.5 ACRES OR GREATER PER PLAT WILL NOT REQUIRE A WALK FOR LOCAL STREET SECTIONS.

UNLESS SPECIFIED OTHERWISE, SIDEWALKS SHALL BE CONCRETE AND NO LESS THAN FIVE (5) FEET IN WIDTH, NOT INCLUDING CURB.

PEDESTRIAN LINKS SHALL BE PROVIDED TO COMMON OPEN SPACE AREAS, FOCAL POINTS AND GATHERING AREAS.

MULTI-FAMILY RESIDENTIAL DEVELOPMENTS SHALL MINIMIZE AUTO/PEDESTRIAN CONFLICTS AND MAXIMIZE CONVENIENT PEDESTRIAN ACCESS BETWEEN BUILDINGS.

**4.1.10 OPEN SPACE AREAS**

**STANDARDS:**

COMMUNITY AND NEIGHBORHOOD PARKS AND GREENS SHALL PROVIDE OPPORTUNITIES FOR PUBLIC GATHERINGS AND SHOULD INCLUDE SEATING AREAS, SHADE STRUCTURES AND FLEXIBLE HARDSCAPE/SOFTSCAPE AREAS THAT CAN BE UTILIZED TO ACCOMMODATE A VARIETY OF EVENTS AND ACTIVITIES.

PARK AREAS SHALL BE PROGRAMMED TO SERVE THE NEEDS OF A MULTI-GENERATIONAL POPULATION.

PARK AND OPEN SPACE AREAS MAY INCLUDE DOG PARK FACILITIES, GRILLING FACILITIES, AND OTHER FACILITIES THAT MAY BE APPROPRIATE FOR RESIDENTS.

**4.2.0 LANDSCAPING STANDARDS**

LANDSCAPE AT A MINIMUM SHALL COMPLY WITH SECTION 12-1400 OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE. ALL LANDSCAPING AND FENCING IMPROVEMENTS WITHIN THE COUNTY R.O.W. MUST BE REVIEWED AND APPROVED THROUGH THE ENGINEERING SERVICES DIVISION PRIOR TO ANY R.O.W. PERMITS BEING ISSUED.

**INTENT:**

TO REINFORCE AND ENHANCE PROSPER'S WALKABLE NEIGHBORHOOD CHARACTER.

TO PROVIDE TRANSITIONS BETWEEN DEVELOPED AREAS AND PUBLIC SPACES.

TO INTEGRATE AND UTILIZE LANDSCAPE DESIGN TO REINFORCE SITE DESIGN SUCH AS ENHANCING ARRIVAL AND PEDESTRIAN CIRCULATION.

TO REINFORCE THE PROJECT CHARACTER WITH COORDINATED LANDSCAPING ALONG PUBLIC/PRIVATE STREETS.

TO PROVIDE SAFE AND CONVENIENT PEDESTRIAN STREETSCAPE ENVIRONMENTS.

PROSPER SHALL INCLUDE LANDSCAPE AREAS AND DECORATIVE ELEMENTS WITHIN EACH NEIGHBORHOOD THAT WILL

- 1) CREATE A PEDESTRIAN FRIENDLY ENVIRONMENT
- 2) REINFORCE A CONSISTENT AND HARMONIOUS AESTHETIC FOR THE COMMUNITY
- 3) SOFTEN PROJECT ARCHITECTURE
- 4) PROVIDE SCREENING OF SERVICE AREAS
- 5) ENHANCE STREETSCAPES AND THE PEDESTRIAN ENVIRONMENT.

**4.2.1 STREETSCAPE**

STREETSCAPE AT A MINIMUM SHALL COMPLY WITH SECTIONS 12-1409 AND 18-100 OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE, AS AMENDED. SIGHT DISTANCE LINES TO COMPLY WITH THE ARAPAHOE COUNTY ENGINEERING STANDARDS, AS AMENDED.

**PUBLIC/PRIVATE STREETS**

**STANDARDS:**

STREETSCAPE AREAS ADJACENT TO PUBLIC/PRIVATE STREETS SHALL PROVIDE A VISUALLY COHESIVE LANDSCAPED APPEARANCE.

WATKINS ROAD SHALL CONTAIN A DOUBLE ROW STREET TREES. THE DETACHED SIDEWALK SHALL BE LOCATED WITHIN THE TWO TRIANGULAR SPACED ROWS OF TREES.

STREET TREES SHALL BE INSTALLED BY THE OWNER, METROPOLITAN DISTRICT OR OWNER OF THE ADJACENT PARCEL.

PROVIDE ADEQUATE SIGHT LINES FOR AN EFFECTIVE SIGHT TRIANGLE AT STREET INTERSECTIONS AND ENTRIES/ACCESS POINTS. SIGHT LINES TO COMPLY WITH THE ARAPAHOE COUNTY ENGINEERING STANDARDS, AS AMENDED.

PLANT TREES A MINIMUM OF 4 FEET FROM THE BACK OF CURB AND SELECT SHRUBS THAT WILL NOT CONFLICT WITH SIGHT TRIANGLES AND SIGHT LINES.

STREET TREES SELECTED FOR STREETSCAPES SHALL BE STRONG WOODED AND ABLE TO ENDURE POLLUTION, COMPACTED SOILS, MINIMAL WATER AND LOW MAINTENANCE.

TREES AND IRRIGATION TECHNIQUES THAT REQUIRE MINIMAL WATER SHALL BE REQUIRED. IRRIGATION SHALL BE INSTALLED FOR LANDSCAPING AND DESIGNED TO DELIVER THE APPROPRIATE AMOUNT OF WATER WITH MINIMAL WATER WASTE

**4.2.2 PARKS, PLAZAS AND OPEN SPACE AREAS**

PARKS AND OPEN SPACE AREAS SHALL BE LANDSCAPED TO INCLUDE FLEXIBLE HARDSCAPE AND SOFTSCAPE AREAS THAT CAN ACCOMMODATE OF A VARIETY OF COMMUNITY FUNCTIONS AND GATHERINGS.

**STANDARDS:**

TURF AREAS SHALL BE LOCATED AND UTILIZED IN HIGH PEDESTRIAN TRAFFIC ZONES TO MINIMIZE WATER CONSUMPTION.

TURF AREAS SHALL BE LOCATED AND CONFIGURED TO PROVIDE FLEXIBILITY IN ACCOMMODATING A VARIETY OF USER GROUPS AND ACTIVITIES.

DROUGHT TOLERANT SHRUBS, GRASS AND GROUND COVER BEDS SHALL BE LOCATED IN LOW-PEDESTRIAN ACTIVITY ZONES AND USED TO REINFORCE EDGES AND DEFINE FORMAL AND INFORMAL SPACES.

DECIDUOUS AND EVERGREEN TREES SHALL BE UTILIZED TO DEFINE SPACES AND ORIENT PEDESTRIANS AND USERS.

SHADE TREES SHALL BE PLANTED IN FORMAL OR INFORMAL MASSING TO PROVIDE SHADE TO PEDESTRIANS AND USERS. ORNAMENTAL TREES MAY BE USED AS ACCENTS AND SHALL NOT CONFLICT WITH PEDESTRIAN ZONES.

LANDSCAPE PLANTERS, SEAT WALLS, ARBORS AND TRELIS STRUCTURES CAN BE USED TO DEFINE SPACES AND ACCOMMODATE FUNCTIONS FOR A VARIETY OF USER GROUPS.

IMPERVIOUS AND PERVIOUS HARDSCAPE MATERIALS SHALL BE UTILIZED TO PROVIDE SAFE AND CONVENIENT PEDESTRIAN CIRCULATION.

BENCHES, TABLES, PET WASTE AND TRASH RECEPTACLES SHALL BE LOCATED ALONG PEDESTRIAN CORRIDORS AND WITHIN PARKS.

LOCATE AND CONFIGURE PARKS AND OPEN SPACE AREAS TO MAXIMIZE OPTIMAL SOLAR ORIENTATION.

LOCATE COMMUNITY AMENITIES SUCH AS BARBEQUE KIOSKS AND DOG PARKS SO THEY ARE CONVENIENTLY ACCESSIBLE AND VISIBLE FOR SAFETY.

**4.2.3 MULTI-FAMILY RESIDENTIAL LANDSCAPING**

PROSPER IS A COMMUNITY THAT IS PLANNED TO REINFORCE WALKABILITY AND SAFETY FOR PEDESTRIANS. THE MULTI-FAMILY RESIDENTIAL LANDSCAPE CONCEPT INCLUDES REINFORCING CONNECTIONS TO BUILDING ENTRANCES, COMMUNITY AMENITIES AND PUBLIC OPEN SPACE AREAS.

**STANDARDS:**

LANDSCAPING SHOULD VISUALLY FRAME BUILDINGS, AND BUFFER PARKING, GARAGE AND SERVICE AREAS.

LANDSCAPE CHARACTER OF ADJACENT LOTS SHOULD BE COORDINATED WITH THE OVERALL PROJECT CHARACTER.

USE LANDSCAPING THAT IS OF APPROPRIATE SCALE AND EMPHASIZE LANDSCAPING AT BUILDING ENTRANCES TO ORIENT PEDESTRIANS AND ACCENT.

PROVIDE LANDSCAPING AT THE BASE OF BUILDINGS TO MINIMIZE THE EDGE BETWEEN SIDEWALKS, PARKING LOTS AND STRUCTURES.

**4.2.4 LANDSCAPE IRRIGATION/ WATER CONSERVATION**

**STANDARDS:**

LANDSCAPE PLANS SHALL BE CREATED WITH THE INTENT TO CONSERVE WATER BY UTILIZING ALTERNATIVE METHODS (I.E. SOIL AMENDMENTS) FOR MAINTAINING A SUITABLE LANDSCAPE ENVIRONMENT.

INCORPORATE A "ZONED PLANTING PLAN" TO REDUCE WATER CONSUMPTION BY MASSING PLANT VARIETIES AND SPECIES THAT HAVE SIMILAR LOW WATER REQUIREMENTS.

PROVIDE SOIL AMENDMENTS FOR POOR-SOILS TO INCREASE EFFICIENT PLANT GROWTH AND REDUCE WATER CONSUMPTION.

**4.2.5 DETENTION AREAS.**

DETENTION AREAS AT A MINIMUM SHALL COMPLY WITH SECTION 12.1410, 12.1411 OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE AND THE STORMWATER MANAGEMENT MANUAL.

**STANDARDS:**

DETENTION AREAS AND DRAINAGE CHANNELS, SHALL BE DESIGNED TO INCLUDE VEGETATION APPROVED BY ARAPAHOE COUNTY ENGINEERING. UTILIZE PLANT SPECIES THAT ARE TOLERANT OF WET SOILS AND CONDITIONS.

LANDSCAPE DETENTION AREAS TO INTEGRATE WITH THE ADJACENT STREETSCAPE AND ON-SITE LANDSCAPE PLAN.

DETENTION AREAS OR DRAINAGE CHANNELS SHALL BE GRADED TO BLEND WITH ADJACENT AREAS.

**DESIGN STANDARDS**

Scale: N/A
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CASE NO. Z12-100

**PROSPER**  
**PRELIMINARY DEVELOPMENT PLAN**  
 PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
 AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
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**4.2.6 FENCES AND SCREENING**

**STANDARDS:**  
 FENCE AND SCREENING STANDARDS SHALL, AT A MINIMUM, COMPLY WITH THE REQUIREMENTS OF SECTION 12-800 OF THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE.

THE DESIGN OF MATERIALS FOR WALLS AND FENCES WITHIN A DEVELOPMENT SHALL BE COORDINATED WITH THE DESIGN OF THE PRIMARY HOME OR MULTI-FAMILY RESIDENTIAL STRUCTURE IN TERMS OF COLOR, QUALITY, SCALE AND DETAIL.

PARKING AND STORAGE AREAS SHALL BE SCREENED BY MEANS OF PLANT MATERIALS, EARTH MOUNDING, ARCHITECTURAL SCREENS OR SITING SO AS TO PROVIDE VISUAL SEPARATION BETWEEN SUCH USES AND ADJACENT AREAS.

MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY ARCHITECTURAL FEATURES OR LANDSCAPE MATERIALS.

**4.3.0 RESIDENTIAL ARCHITECTURAL STANDARDS**

IN KEEPING WITH GOALS AND DIRECTIVES OF PROSPER, AN ARCHITECTURAL STYLE HAS BEEN ESTABLISHED FOR THE COMMUNITY THAT WILL REINFORCE THE RURAL AND SMALL TOWN CHARACTER OF THIS UNIQUE PLACE. THIS ARCHITECTURAL STYLE IS TIMELESS IN APPEARANCE.

THE PROSPER ARCHITECTURAL CHARACTER INCORPORATES STYLES THAT ARE REMINISCENT OF BUILDINGS AND HOMES THAT HAVE BEEN CONSTRUCTED ON THE EASTERN COLORADO HIGH PLAINS PRAIRIE AND THE FRONT RANGE. THESE STYLES REINFORCE THE SMALL RURAL TOWN CHARACTER THAT HAS EVOLVED OVER THE YEARS TO BE FUNCTIONAL AND ADAPTABLE TO THE DYNAMIC COLORADO HIGH PLAINS CLIMATE.

PROSPER IS PROPOSED TO INCLUDE TWO ARCHITECTURAL STYLES WITH THE FIRST BEING "HIGH PLAINS TRADITIONAL". THE SECOND ARCHITECTURAL STYLE IS "HIGH PLAINS MODERN". THESE STYLES WILL PROVIDE VARIATION AND DIVERSITY WITHIN THE COMMUNITY WHILE MAINTAINING THE QUALITY, SOPHISTICATED AND COHESIVE CONSISTENCY OF PROSPER.

**HIGH PLAINS TRADITIONAL**

THE HIGH PLAINS TRADITIONAL STYLE UTILIZES TRADITIONAL ARCHITECTURAL BUILDING FORMS, MASSING AND MATERIALS. THIS STYLE INCLUDES ARCHITECTURAL TRADITIONS SUCH AS PRAIRIE STYLE, ARTS AND CRAFTS, AMERICAN AGRARIAN, CLASSIC FARMHOUSE, AMERICAN COTTAGE AND AMERICAN MAIN STREET. ILLUSTRATED WITHIN THIS SECTION ON SHEET 34 ARE IMAGES AND EXAMPLES OF THIS STYLE.

**HIGH PLAINS MODERN**

THE "HIGH PLAINS MODERN" STYLE IS A PROGRESSIVE AND MODERN EXPRESSION OF TRADITIONAL, URBAN AND PRAIRIE STYLE ARCHITECTURE. THIS STYLE PERMITS DIVERSITY AND VARIATION IN THE USE OF BUILDING FORMS, MASSING AND MATERIALS.

WHILE FLEXIBILITY AND VARIATION IS PROVIDED WITHIN THIS STYLE, ARCHITECTURE WILL BE DESIGNED TO INTEGRATE WITHIN THE RESPECTIVE CONTEXT WITH REGARDS TO FORM, MASSING, SCALE AND HEIGHT. ARCHITECTURE WILL BE REQUIRED TO ADDRESS THE PUBLIC REALM WITH RESPECT TO STREETS, PARKS AND PLAZAS.

ILLUSTRATED WITHIN THIS PRELIMINARY DEVELOPMENT PLAN ON SHEET 36 ARE IMAGES AND EXAMPLES OF THESE STYLES.

**INTENT:**

TO ENCOURAGE RICHNESS AND DIVERSITY IN NEIGHBORHOOD ARCHITECTURE THAT IS WELL ARTICULATED TO PROVIDE HUMAN SCALE, INTEREST AND ORIENTATION AS WELL AS REINFORCE THE SPATIAL DEFINITIONS TO PUBLIC SPACES, INCLUDING STREETS.

TO PROVIDE HUMAN SCALE AND VISIBLE ORIENTATION TO ENTRIES.

TO MINIMIZE NEGATIVE VISUAL IMPACTS OF GARAGES.

TO ESTABLISH COMPLIMENTARY LEVELS OF MATERIAL QUALITY AND DETAIL.

TO ESTABLISH LEVELS OF MATERIAL, DETAIL AND QUALITY THAT WILL BE COMPATIBLE AND EMPHASIZE PROJECT CHARACTER.

TO PROVIDE DURABILITY, PERMANENCY, AND QUALITY THROUGHOUT PROSPER.

**4.3.1 MASSING, FORM AND SCALE**

**STANDARDS:**

RESIDENTIAL HOMES AND BUILDINGS SHALL BE DESIGNED TO INTEGRATE COMFORTABLY INTO THE CONTEXT OF EACH RESPECTIVE PLANNING AREA WHILE REINFORCING THE CONSISTENT CIVIC CHARACTER OF STREETS AND DEVELOPED OPEN SPACE AREAS. BUILDING ELEMENTS SHALL BE ARCHITECTURALLY PROPORTIONATE AND BE COMPLIMENTARY WITH ONE ANOTHER. THE FOLLOWING DESIGN TECHNIQUES SHALL BE USED TO MEET THIS OBJECTIVE:

PROVIDE HUMAN SCALE ENTRIES THAT MAY INCLUDE PORCHES OR COURTYARDS.

RECESS FRONT LOADED GARAGES SO THE FRONT ENTRANCE IS THE DOMINANT ELEMENT.

VARYING FLOOR HEIGHTS TO FOLLOW NATURAL GRADE CONTOURS IF SIGNIFICANT VARIATION IS PRESENT.

ARCHITECTURAL STRUCTURES SHALL BE DESIGNED TO PROVIDE HUMAN SCALE, INTEREST AND VARIETY BY UTILIZING THE FOLLOWING TECHNIQUES:

VARIATION IN THE ARCHITECTURAL FORM SUCH AS RECESSED OR PROJECTING BAYS.

DEVELOP CREATIVE ENTRY ELEMENTS THAT REINFORCE THE ORIENTATION TO THE STREET.

USE A VARIETY OF COLORS THAT ARE COMPLIMENTARY AND AVOID USING JUST ONE COLOR.

EXPRESSION OF ARCHITECTURAL OR STRUCTURAL MODULES AND DETAIL.

WINDOW SIZE, SHAPES AND PATTERNS WITH DIFFERENT DETAILS CAN BE UTILIZED TO REINFORCE THE ARCHITECTURAL STYLE OF THE HOME. A DIVERSITY OR CONSISTENT WINDOW PATTERN AND DETAIL MAY BE UTILIZED TO REINFORCE THE VERNACULAR ESTABLISHED FOR THE RESPECTIVE ARCHITECTURAL STYLE.

VARIATIONS OF MATERIALS, EXPRESSED JOINTS AND DETAILS, SURFACE RELIEF, COLOR AND TEXTURE TO BREAK UP FACADES.

MULTI-FAMILY BUILDINGS SHALL HAVE VARIATION IN THE BUILDING FORM RELATED TO SCALE OF INDIVIDUAL DWELLING UNITS OR ROOMS SUCH AS RECESSED OR PROJECTING BAYS, SHIFTS IN MASSING OR DISTINCT ROOF SHAPES.

MULTI-FAMILY GARAGES AND CARPORTS SHALL CONTAIN MASSING MATERIALS AND DETAILS THAT WILL BE COMPLIMENTARY TO THE PRIMARY BUILDINGS.

MULTI-FAMILY BUILDINGS SHALL BE DESIGNED TO PROVIDE COMPLEX MASSING CONFIGURATIONS WITH A VARIETY OF DIFFERENT WALL AND ROOF PLANES. PLAIN MONOLITHIC STRUCTURES WITH LONG, MONOTONOUS, UNBROKEN WALL AND ROOF SURFACES SHALL NOT BE ALLOWED.

MULTI-FAMILY BUILDINGS OF FIVE STORIES OR LESS SHALL BE HORIZONTALLY ARTICULATED AT EVERY TWO FLOORS THROUGH THE USE OF DECORATIVE BANDING, A CHANGE OF MATERIAL AND/OR COLOR, OR SLOPING ROOF PLANES. BUILDINGS OF FIVE OR MORE FLOORS SHALL EMPLOY SIMILAR DESIGN DEVICES, EXCEPT THAT THE OCCURRENCE OF HORIZONTAL ARTICULATION ABOVE THE THIRD FLOOR MAY BE MORE WIDELY SPACED.

**4.3.2 GLAZING**

**STANDARDS:**  
 LIMIT REFLECTIVE GLASS TO AN OUTSIDE DAYLIGHT FACTOR OF THIRTY (30) PERCENT OR LESS. MIRROR GLASS IS NOT ALLOWED EXCEPT IN VERY LIMITED APPLICATIONS.

REFLECTIVE GLASS WHEN ALLOWED, SHALL BE LIMITED TO NO MORE THAN FIFTEEN (15) PERCENT OF THE TOTAL BUILDING SURFACE AREA.

**4.3.3 MATERIAL QUALITY AND DETAIL**

**STANDARDS:**

EXTERIOR MATERIALS SHALL BE HIGH QUALITY AND COMPATIBLE WITH MATERIALS OF ADJOINING STRUCTURES IN TERMS OF CHARACTER, COLOR, SCALE AND TEXTURE. MATERIALS SHALL BE AUTHENTIC TO THEIR REPRESENTATION.

A VARIETY OF COLORS, MATERIALS AND DETAILING SHALL BE USE THROUGHOUT STREET FACING ELEVATIONS.

MULTI-FAMILY GROUND FLOOR STREET FACING FACADES SHOULD CONSIDER UTILIZING MASONRY OR SIMULATED MASONRY MATERIALS.

**5.0 SENIOR HOUSING DESIGN STANDARDS**

SENIOR HOUSING SINGLE FAMILY DETACHED – SENIOR HOUSING SINGLE FAMILY DETACHED HOUSING SHALL COMPLY WITH THE SINGLE FAMILY DETACHED DEVELOPMENT STANDARDS AND DESIGN GUIDELINES OUTLINED IN THIS PRELIMINARY DEVELOPMENT PLAN. ADDITIONAL DEVELOPMENT STANDARDS AND DESIGN GUIDELINES MAY BE PROVIDED AS PART OF A FINAL DEVELOPMENT PLAN.

SENIOR HOUSING MULTI-FAMILY AND SINGLE FAMILY ATTACHED – SENIOR HOUSING MULTI-FAMILY AND SINGLE FAMILY ATTACHED HOUSING SHALL COMPLY WITH THE MULTI-FAMILY AND SINGLE FAMILY ATTACHED DEVELOPMENT STANDARDS AND DESIGN GUIDELINES OUTLINED IN THIS PRELIMINARY DEVELOPMENT PLAN. ADDITIONAL DEVELOPMENT STANDARDS AND DESIGN GUIDELINES MAY BE PROVIDED AS PART OF A FINAL DEVELOPMENT PLAN.

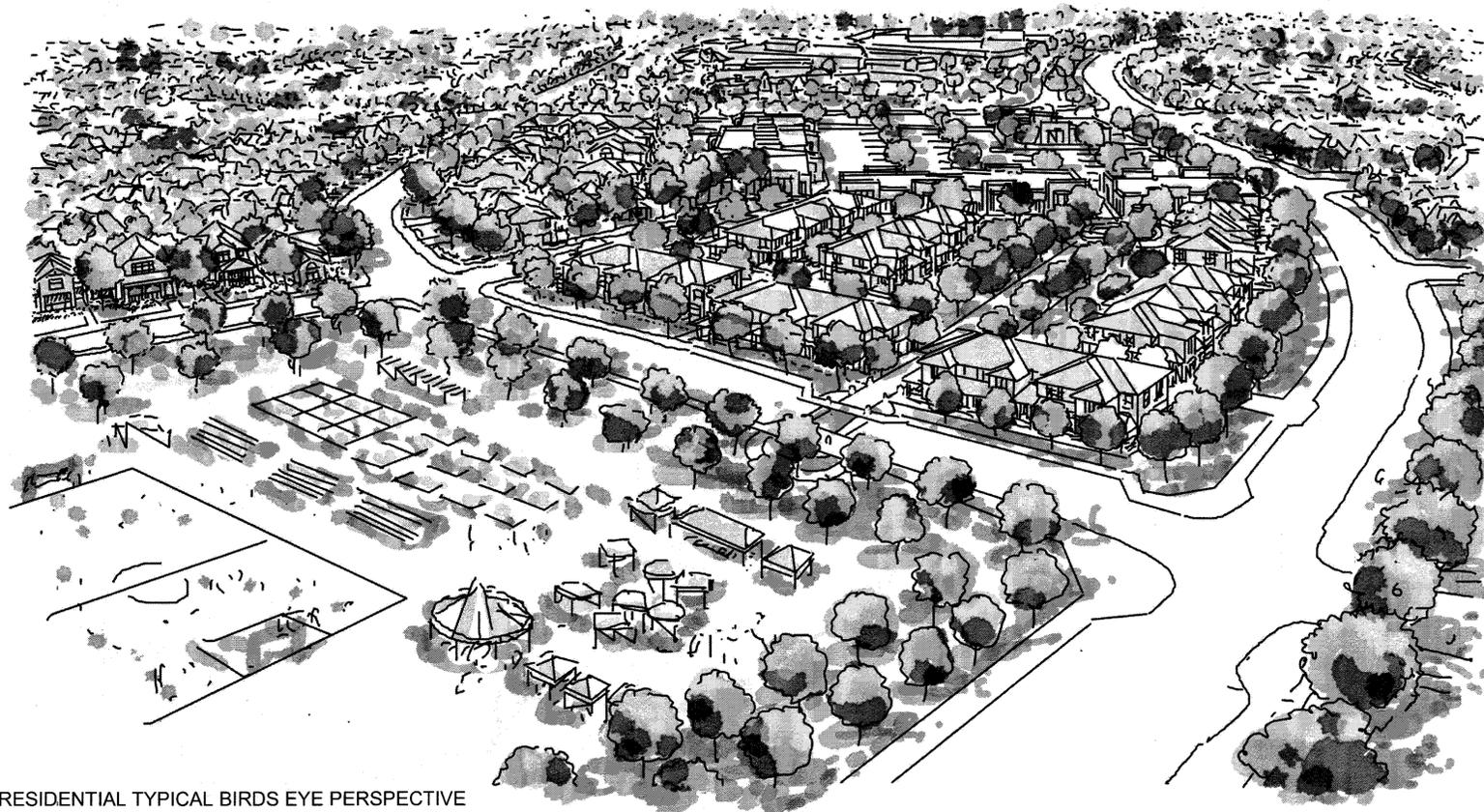


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**PROSPER**  
**PRELIMINARY DEVELOPMENT PLAN**  
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RESIDENTIAL TYPICAL BIRDS EYE PERSPECTIVE



RESIDENTIAL TYPICAL STREET PERSPECTIVE

**RESIDENTIAL TYPICALS**

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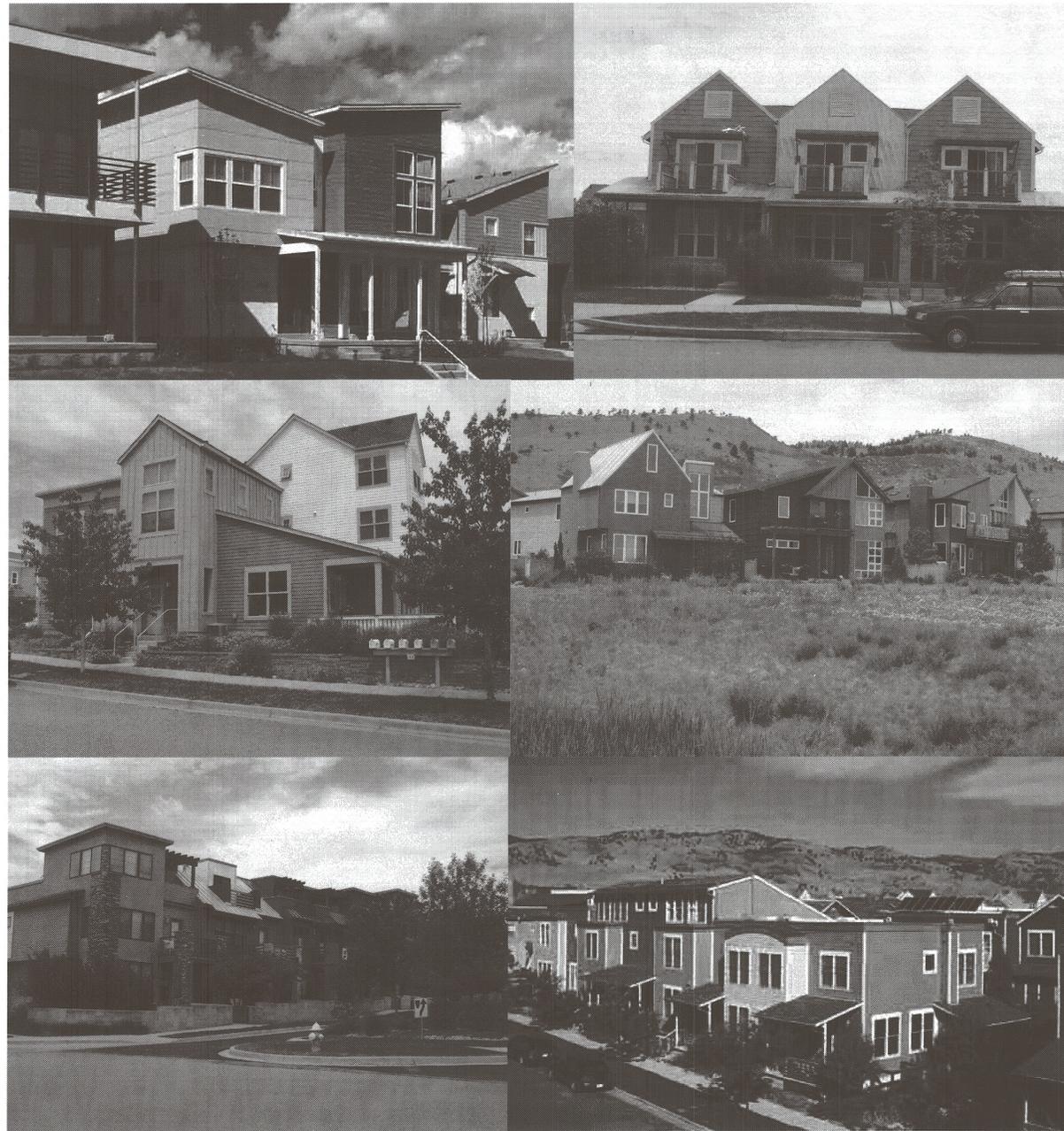
# PROSPER

PRELIMINARY DEVELOPMENT PLAN  
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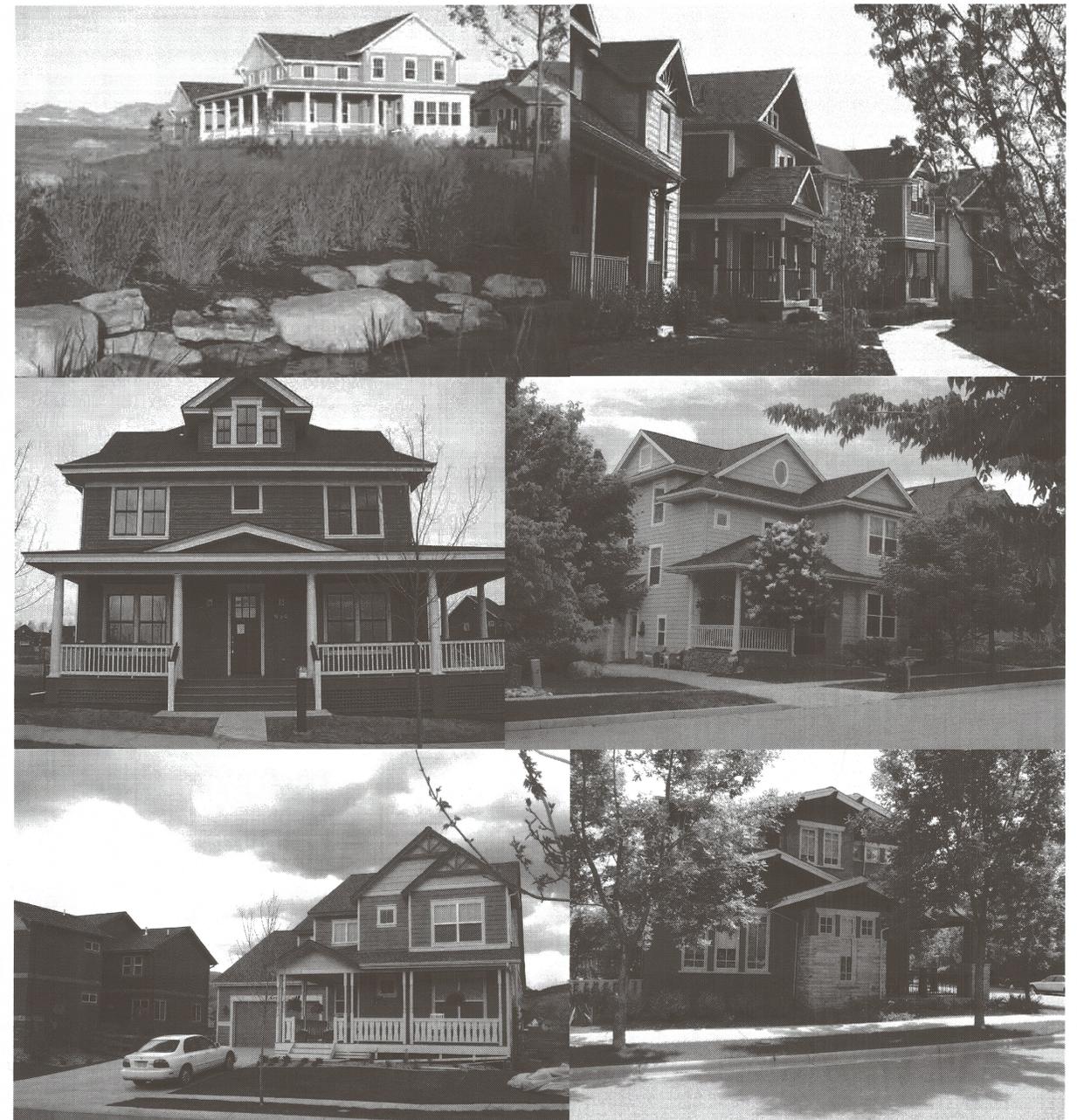
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RESIDENTIAL TYPICAL  
 ARCHITECTURAL IMAGERY

HIGH PLAINS MODERN



HIGH PLAINS TRADITIONAL



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## DESIGN STANDARDS

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**PROSPER**  
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**SINGLE FAMILY DETACHED REQUIREMENTS:**

STANDARDS AND ARCHITECTURAL FEATURES HAVE BEEN ESTABLISHED THAT WILL REINFORCE THE HIGH PLAINS COUNTRY AND TRADITIONAL AND HIGH PLAINS URBAN MODERN ARCHITECTURAL STYLES THAT ARE TO BE INCORPORATED IN PROSPER. THE FOLLOWING FEATURES WILL REINFORCE PROJECT CHARACTER WHILE ALLOWING VARIATION WITH EACH ARCHITECTURAL STYLE.

ALL SINGLE FAMILY HOMES IN PROSPER SHALL INCORPORATE THREE OF THE FOLLOWING FEATURES AND STANDARDS.

1. FRONT SETBACKS SHALL BE VARIED A MINIMUM OF 4' FROM THE LOTS LOCATED ON EITHER SIDE.
2. A MINIMUM OF 50% OF THE HOMES ON THE SAME BLOCK SHALL HAVE ALTERNATIVELY LOADED GARAGES SUCH AS SIDE LOADED OR RECESSED GARAGES.
3. ROOFS SHALL BE HIGH PROFILE COMPOSITION SUCH AS CONCRETE TILE, SLATE OR DIMENSIONAL ASPHALT SHINGLES. FLAT, PITCHED AND SHED ROOFS MAY ALSO BE COMPRISED OF ARCHITECTURAL METAL OR MATERIALS THAT ARE COMPATIBLE WITH THE PRIMARY FAÇADE. ROOF WATER RESISTANT MEMBRANES SHALL BE SCREENED BY A FASCIA OR PARAPET.
4. HOMES SHALL HAVE MORE THAN ONE TREATMENT FOR THE PRIMARY SIDING.
5. HOMES SHALL HAVE THREE DIFFERENT COLORS INCLUDING TRIM, FRONT DOOR ACCENT, SHUTTERS OR OTHER ARCHITECTURAL ACCENTS.

ALL HOMES IN PROSPER SHALL INCORPORATE EIGHT OF THE FOLLOWING FEATURES AND STANDARDS.

1. AT LEAST TWO DIFFERENT MATERIALS ARE REQUIRED ON ALL FOUR ELEVATIONS. OPTIONS INCLUDE SIMULATED STONE, BRICK, NATURAL STONE OR OTHER APPROPRIATE MATERIAL. FRONT ELEVATIONS MAY EXCLUSIVELY USE MASONRY, BUT THE THREE OTHER ELEVATIONS MUST USE TWO TYPES OF MATERIALS.
2. VARYING LOCATIONS AND PROPORTIONS OF FRONT PORCHES AND COURTYARDS IN A SERIES OF FOUR HOUSES IN THE SAME BLOCK AND SAME SIDE OF THE STREET.
3. VARYING LOCATIONS, PROPORTIONS AND CONFIGURATIONS OF GARAGE DOORS IN A SERIES OF FOUR HOUSES ON THE SAME BLOCK AND SIDE OF THE STREET.
4. THE FRONT FAÇADE SHALL VARY MORE THAN 4' IN A SERIES OF FOUR HOUSES ON THE SAME BLOCK AND SIDE OF THE STREET.
5. VARIATION IN FRONT PLANE AND ROOFLINE
6. USE OF DORMERS AND CANTILEVERS.
7. FAÇADES THAT INCORPORATE DIFFERENT WINDOW PATTERNS AND CONFIGURATIONS.
8. FOUR FAÇADES WITH SIGNIFICANT DIFFERENCES IN WINDOW STYLES AND TREATMENTS.
9. HOMES WITH ELEVATIONS THAT INCLUDE A MINIMUM OF 2 CLERESTORY WINDOWS, OR WINDOWS WITH TRANSOM WINDOW, OR DOUBLE DOOR CONFIGURATIONS.
10. GARAGE DOOR WITH A MINIMUM OF 3 WINDOWS OR DOORS.
11. CLAY, SLATE OR CONCRETE ROOFS.
12. DECORATIVE SHUTTERS OR CLERESTORIES ON STREET FACING FAÇADE.
13. MAIN ROOF WITH A MINIMUM 6:12 PITCH.
14. A MINIMUM 16" ROOF OVERHANG ON THE FRONT ELEVATION WITH DECORATIVE BRACKETS, TIMBERS, BEAMS OR EXPOSED RAFTER ENDS.
15. SECOND STORY PORCH WITH A MINIMUM DEPTH OF 5' AND A MINIMUM FLOOR AREA OF 25 SF.
16. REAR OR SIDE PORCH WITH A MINIMUM OF 25 SF.
17. FRONT OR SIDE PORCH WITH AT LEAST 2 COLUMNS OR POSTS WITH A MINIMUM CROSS SECTION OF 8" EACH.
18. EXPANDED FRONT OR SIDE YARD PORCH OR COURTYARD WITH A MINIMUM OF 125 SF.
19. MINIMUM OF TWO PLANES ON THE REAR ELEVATION WITH A MINIMUM 1' DEPTH VARIATION.
20. A MINIMUM OF 50% OF THE HOMES SHALL HAVE AN ENTRY WALK FROM PORCH/FRONT DOOR TO STREET.
21. REAL OR SIMULATED FIRE PLACES.
22. FRONT FAÇADES WITH A MINIMUM GLAZING OF 30%

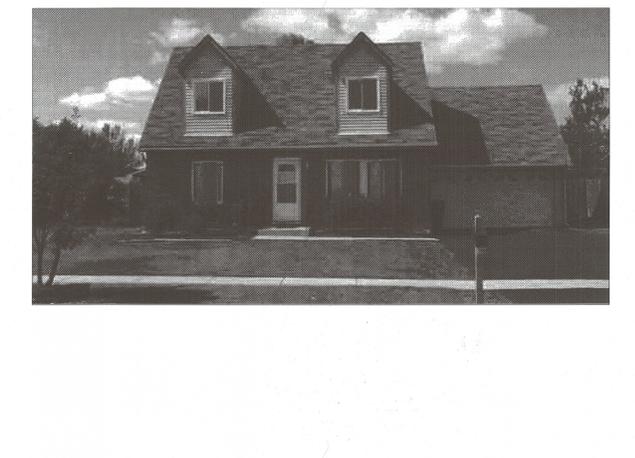
**SINGLE FAMILY DETACHED REQUIREMENTS (CON'T):**

HOMES THAT FRONT (FRONT ELEVATION WITH FRONT DOOR) AND BACK TO ARTERIALS, COLLECTORS, OPEN SPACE CORRIDORS AND ENTRYWAYS INTO NEIGHBORHOODS SHALL INCORPORATE FOUR OF THE FOLLOWING FEATURES.

1. AT LEAST TWO DIFFERENT MATERIALS ARE REQUIRED ON ALL FOUR ELEVATIONS. OPTIONS INCLUDE SIMULATED STONE, BRICK, NATURAL STONE OR OTHER APPROPRIATE MATERIAL. FRONT ELEVATIONS MAY EXCLUSIVELY USE MASONRY, BUT THE THREE OTHER ELEVATIONS MUST USE TWO TYPES OF MATERIALS.
2. FAÇADES THAT INCORPORATE DIFFERENT WINDOW PATTERNS AND CONFIGURATIONS.
3. DECORATIVE SHUTTERS OR CLERESTORIES ON THE REAR OR SIDE FAÇADE FACING THE STREET OR OPEN SPACE ELEMENT OUTLINED ABOVE.
4. SECOND STORY PORCH WITH A MINIMUM DEPTH OF 5' AND A MINIMUM FLOOR AREA OF 25 SF.
5. MINIMUM OF TWO PLANES ON THE REAR ELEVATION WITH A MINIMUM 1' DEPTH VARIATION FOR HOMES BACKING TO ARTERIALS, CONNECTOR STREETS, OR OPEN SPACE.
6. REAR OR SIDE PORCH WITH A MINIMUM OF 25 SF.
7. FAÇADES THAT INCORPORATE DIFFERENT WINDOW PATTERNS AND CONFIGURATIONS.
8. FOUR FAÇADES WITH SIGNIFICANT DIFFERENCES IN WINDOW STYLES AND TREATMENTS.
9. HOMES WITH ELEVATIONS THAT INCLUDE A MINIMUM OF 2 CLERESTORY WINDOWS, OR WINDOWS WITH TRANSOM WINDOW, OR DOUBLE DOOR CONFIGURATIONS.
10. GARAGE DOOR WITH A MINIMUM OF 3 WINDOWS OR DOORS.
11. CLAY, SLATE OR CONCRETE ROOFS.
12. DECORATIVE SHUTTERS OR CLERESTORIES ON FRONT YARD STREET FACING FAÇADE.
13. MAIN ROOF WITH A MINIMUM 6:12 PITCH.
14. A MINIMUM 16" ROOF OVERHANG ON THE FRONT ELEVATION WITH DECORATIVE BRACKETS, TIMBERS, BEAMS OR EXPOSED RAFTER ENDS.
15. FRONT OR SIDE PORCH WITH AT LEAST 2 COLUMNS OR POSTS WITH A MINIMUM CROSS SECTION OF 8" EACH.
16. EXPANDED FRONT OR SIDE YARD PORCH OR COURTYARD WITH A MINIMUM OF 125 SF.
17. A MINIMUM OF 25% OF PATTERNED CONCRETE.
18. A MINIMUM OF 50% OF THE HOMES SHALL HAVE AN ENTRY WALK FROM PORCH/FRONT DOOR TO STREET.
19. REAL OR SIMULATED FIRE PLACES.
20. NON-REPETITIVE FRONT ELEVATIONS FOR ADJACENT UNITS WITHIN A BLOCK.

SINGLE FAMILY ATTACHED HOMES THAT FRONT AND BACK ARTERIALS, COLLECTORS, POCKET PARKS, OPEN SPACE CORRIDORS AND ENTRYWAYS INTO NEIGHBORHOODS SHALL INCORPORATE FOUR OF THE FOLLOWING FEATURES.

1. AT LEAST TWO DIFFERENT MATERIALS ARE REQUIRED ON ALL ELEVATIONS. OPTIONS INCLUDE SIMULATED STONE, BRICK, NATURAL STONE, VINYL SIDING OR OTHER APPROPRIATE MATERIAL. FRONT ELEVATIONS MAY EXCLUSIVELY USE MASONRY, BUT THE THREE OTHER ELEVATIONS MUST USE TWO TYPES OF MATERIALS.
2. FAÇADES THAT INCORPORATE DIFFERENT WINDOW PATTERNS AND CONFIGURATIONS.
3. DECORATIVE SHUTTERS OR CLERESTORIES ON THE REAR OR SIDE FAÇADE FACING THE STREET OR OPEN SPACE ELEMENT OUTLINED ABOVE.
4. SECOND STORY PORCH WITH A MINIMUM DEPTH OF 5' AND A MINIMUM FLOOR AREA OF 25 SF.
5. MINIMUM OF TWO PLANES ON THE REAR ELEVATION WITH A MINIMUM 1' DEPTH VARIATION. FOR HOMES BACKING TO ARTERIALS, CONNECTOR STREETS AND OPEN SPACE.
6. REAR OR SIDE PORCH A MINIMUM OF 25 SF.



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**RESIDENTIAL ARCHITECTURAL FEATURE REQUIREMENTS**

Scale: N/A	
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**SINGLE FAMILY ATTACHED REQUIREMENTS:**

ALL SINGLE FAMILY ATTACHED HOMES IN PROSPER SHALL INCORPORATE THE FOLLOWING FEATURES AND STANDARDS.

1. A MINIMUM OF TWO DIFFERENT MATERIALS ON FRONT ELEVATION AND ANY ELEVATION VISIBLE FROM A PUBLIC STREET, PRIVATE STREET OR OPEN SPACE.
2. ROOFS SHALL BE HIGH PROFILE COMPOSITION SUCH AS CONCRETE TILE, SLATE OR DIMENSIONAL ASPHALT SHINGLES. FLAT, PITCHED AND SHED ROOFS MAY ALSO BE COMPRISED OF ARCHITECTURAL METAL OR MATERIALS THAT ARE COMPATIBLE WITH THE PRIMARY FAÇADE. ROOF WATER RESISTANT MEMBRANES SHALL BE SCREENED BY A FASCIA OR PARAPET.
3. HOMES SHALL HAVE MORE THAN ONE TREATMENT FOR THE PRIMARY SIDING.
4. HOMES SHALL HAVE THREE DIFFERENT COLORS INCLUDING TRIM, FRONT DOOR ACCENT, SHUTTERS OR OTHER ARCHITECTURAL ACCENTS.

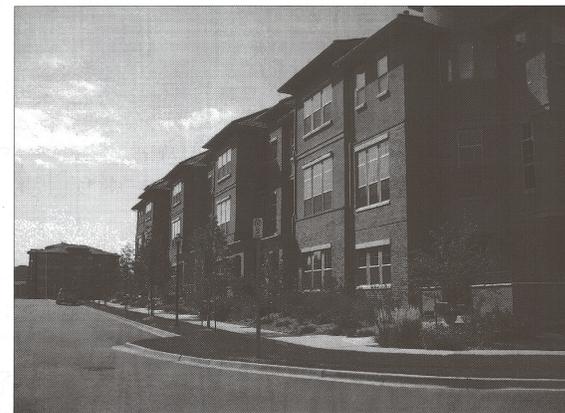
ALL SINGLE FAMILY ATTACHED HOMES IN PROSPER SHALL INCORPORATE EIGHT OF THE FOLLOWING FEATURES AND STANDARDS.

1. AT LEAST TWO DIFFERENT MATERIALS ARE REQUIRED ON ALL FOUR ELEVATIONS. OPTIONS INCLUDE SIMULATED STONE, BRICK, NATURAL STONE, OR OTHER APPROPRIATE MATERIAL. FRONT ELEVATIONS MAY EXCLUSIVELY USE MASONRY, BUT THE THREE OTHER ELEVATIONS MUST USE TWO TYPES OF MATERIALS.
2. VARYING LOCATIONS, PROPORTIONS AND CONFIGURATIONS OF GARAGE DOORS.
3. THE FRONT FAÇADE SHALL VARY MORE THAN 2' IN A SERIES OF FOUR ATTACHED UNITS WITHIN THE SAME BUILDING.
4. VARIATION IN FRONT PLANE AND ROOFLINE.
5. USE OF DORMERS AND CANTILEVERS.
6. FAÇADES THAT INCORPORATE DIFFERENT WINDOW PATTERNS AND CONFIGURATIONS.
7. HOMES WITH ELEVATIONS THAT INCLUDE A MINIMUM OF 2 CLERESTORY WINDOWS, OR WINDOWS WITH TRANSOM WINDOW, OR DOUBLE DOOR CONFIGURATIONS.
8. GARAGE DOOR WITH A MINIMUM OF 3 WINDOWS OR DOORS.
9. CLAY, SLATE OR CONCRETE ROOFS.
10. DECORATIVE SHUTTERS OR CLERESTORIES ON STREET FACING FAÇADE.
11. MAIN ROOF WITH A MINIMUM 6:12 PITCH.
12. A MINIMUM 16" ROOF OVERHANG ON THE FRONT ELEVATION WITH DECORATIVE BRACKETS, TIMBERS, BEAMS OR EXPOSED RAFTER ENDS.
13. SECOND STORY PORCH WITH A MINIMUM DEPTH OF 5' AND A MINIMUM FLOOR AREA OF 25 SF.
14. REAR OR SIDE PORCH WITH A MINIMUM OF 25 SF.
15. FRONT OR SIDE PORCH WITH AT LEAST 2 COLUMNS OR POSTS WITH A MINIMUM CROSS SECTION OF 8" EACH.
16. EXPANDED FRONT OR SIDE YARD PORCH OR COURTYARD WITH A MINIMUM OF 100 SF.
17. MINIMUM OF TWO PLANES ON THE REAR ELEVATION WITH A MINIMUM 1' DEPTH VARIATION.
18. A MINIMUM OF 25% OF PATTERNED CONCRETE.
19. A MINIMUM OF 50% OF THE HOMES SHALL HAVE AN ENTRY WALK FROM PORCH/FRONT DOOR TO STREET.
20. REAL OR SIMULATED FIRE PLACES.
21. NON-REPETITIVE FRONT ELEVATIONS FOR ADJACENT UNITS WITHIN A BUILDING.



**PROSPER**

PRELIMINARY DEVELOPMENT PLAN  
 PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
 AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
 COUNTY OF ARAPAHOE, STATE OF COLORADO  
**SHEET 38 OF 42**



**MULTI-FAMILY REQUIREMENTS:**

ALL MULTI-FAMILY STRUCTURES IN PROSPER SHALL INCORPORATE THE FOLLOWING FEATURES AND STANDARDS.

1. EACH MULTI-FAMILY BUILDING SHALL HAVE A MINIMUM OF TWO PLANES FOR THE FRONT ELEVATION. BUILDINGS THAT HAVE A LENGTH GREATER THAN 160' FEET SHALL HAVE THREE PLANES.
2. EACH BUILDING SHALL UTILIZE MORE THAN ONE TYPE OF MATERIAL OR TREATMENT FOR THE PREDOMINANT SIDING.
3. THERE SHALL BE A MINIMUM OF TWO DIFFERENT MATERIALS ON THE FRONT FACING FAÇADE.
4. ROOFS SHALL BE HIGH PROFILE COMPOSITION SUCH AS CONCRETE TILE, SLATE OR DIMENSIONAL ASPHALT SHINGLES. FLAT, PITCHED AND SHED ROOFS MAY ALSO BE COMPRISED OF ARCHITECTURAL METAL OR MATERIALS THAT ARE COMPATIBLE WITH THE PRIMARY FAÇADE. ROOF WATER RESISTANT MEMBRANES SHALL BE SCREENED BY A FASCIA OR PARAPET.
5. A MINIMUM OF SIX COMPLIMENTARY COLORS SHALL BE USED WITHIN EACH PROJECT.

ALL MULTI-FAMILY STRUCTURES IN PROSPER SHALL INCORPORATE A MINIMUM OF EIGHT OF FEATURES AND STANDARDS OUTLINED BELOW.

1. AT LEAST TWO DIFFERENT MATERIALS ARE REQUIRED ON ALL FOUR ELEVATIONS. OPTIONS INCLUDE SIMULATED STONE, BRICK, NATURAL STONE, OR OTHER APPROPRIATE MATERIAL. FRONT ELEVATIONS MAY EXCLUSIVELY USE MASONRY, BUT THE THREE OTHER ELEVATIONS MUST USE TWO TYPES OF MATERIALS.
2. VARIATION IN THE ROOFLINE. THIS INCLUDES GABLE AND FLAT ROOFS.
3. UTILIZING COVERED PARKING FOR A MINIMUM OF 50% OF THE PARKING.
4. USE OF ROOF DORMERS AND CLERESTORY.
5. USE OF PORCHES, COURTYARDS AND BALCONIES FOR A MINIMUM OF 50% OF THE UNITS.
6. USE OF ONE AND TWO STORY VARIATIONS IN THE BUILDING.
7. FAÇADES THAT INCORPORATE DIFFERENT WINDOW PATTERNS AND CONFIGURATIONS.
8. CLAY OR CONCRETE TILE ROOFS.
9. DECORATIVE SHUTTERS OR ARCHITECTURAL FEATURES SUCH AS WINDOW BOXES.
10. A MINIMUM OF TWO DISTINCT ROOFLINES.
11. A MASONRY BASE FOR THE FRONT FAÇADE FACING THE STREET OR PARK. NATURAL STONE, SIMULATED STONE AND BRICK ARE ACCEPTABLE MATERIALS.
12. REAL OR SIMULATED CHIMNEYS.
13. A MINIMUM OF A 16" OVERHANG ON THE FRONT ELEVATION WITH DECORATIVE BRACKETS, TIMBERS, EXPOSED RAFTER ENDS
14. A MINIMUM OF TWO PLANES ON REAR AND SIDE ELEVATIONS, EACH PLANE TO HAVE A MIN. 1' DEPTH VARIATION.



CASE NO.   Z12-100  

**RESIDENTIAL ARCHITECTURAL FEATURE REQUIREMENTS**

Scale: N/A	
Date: NOVEMBER 10, 2015	
Revision Date:	
	<i>[Signature]</i>

**NOTES:**

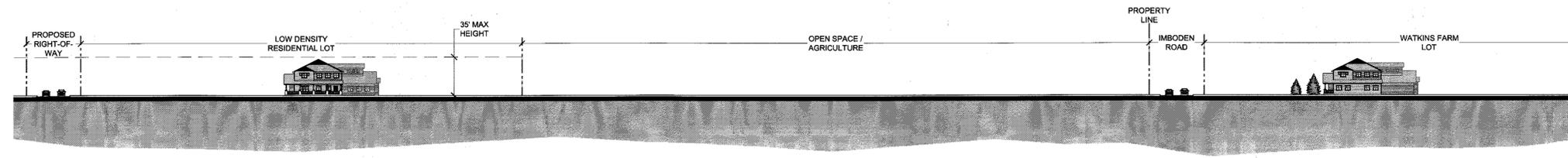
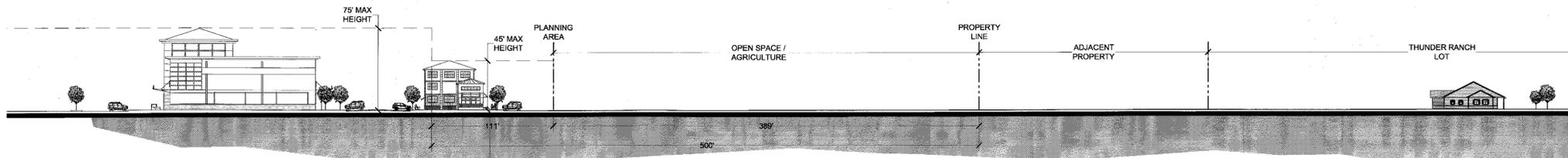
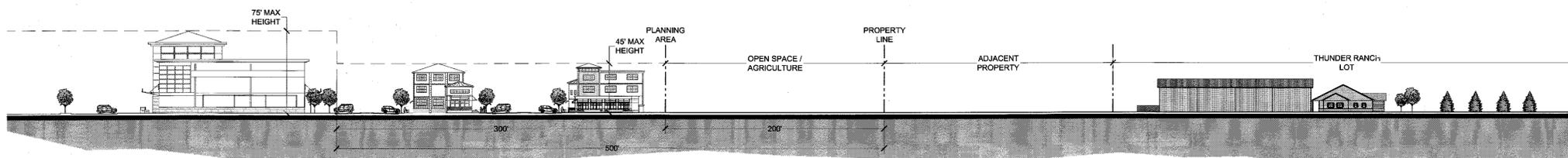
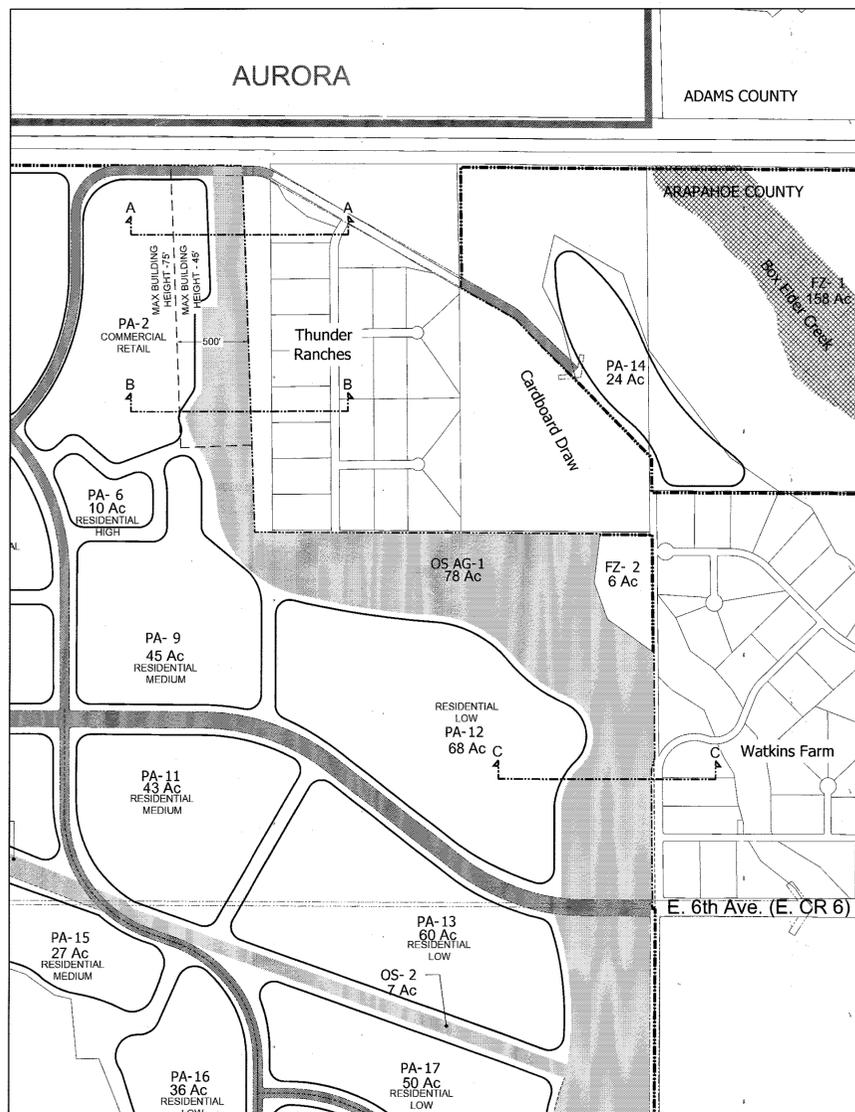
1. TO REDUCE THE VISUAL IMPACT TO THUNDER RANCHES AND WATKINS FARM, THE MAXIMUM BUILDING HEIGHT FOR PLANNING AREAS PA-2 & OS AG-1 HAS BEEN TERRACED, WITHIN 500' WEST OF THUNDER RANCHES. MEASURED FROM THE EASTERMOST PROSPER PROPERTY LINE, A MAXIMUM BUILDING HEIGHT OF 45' IS ALLOWED. ALL AREAS BEYOND 500' REFER TO THE DEVELOPMENT STANDARDS IN THIS DOCUMENT FOR MAXIMUM BUILDING HEIGHTS.

# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 39 OF 42



**VISUAL ANALYSIS**

Scale:	
Date:	NOVEMBER 10, 2015
Revision Date:	
	<i>[Signature]</i>



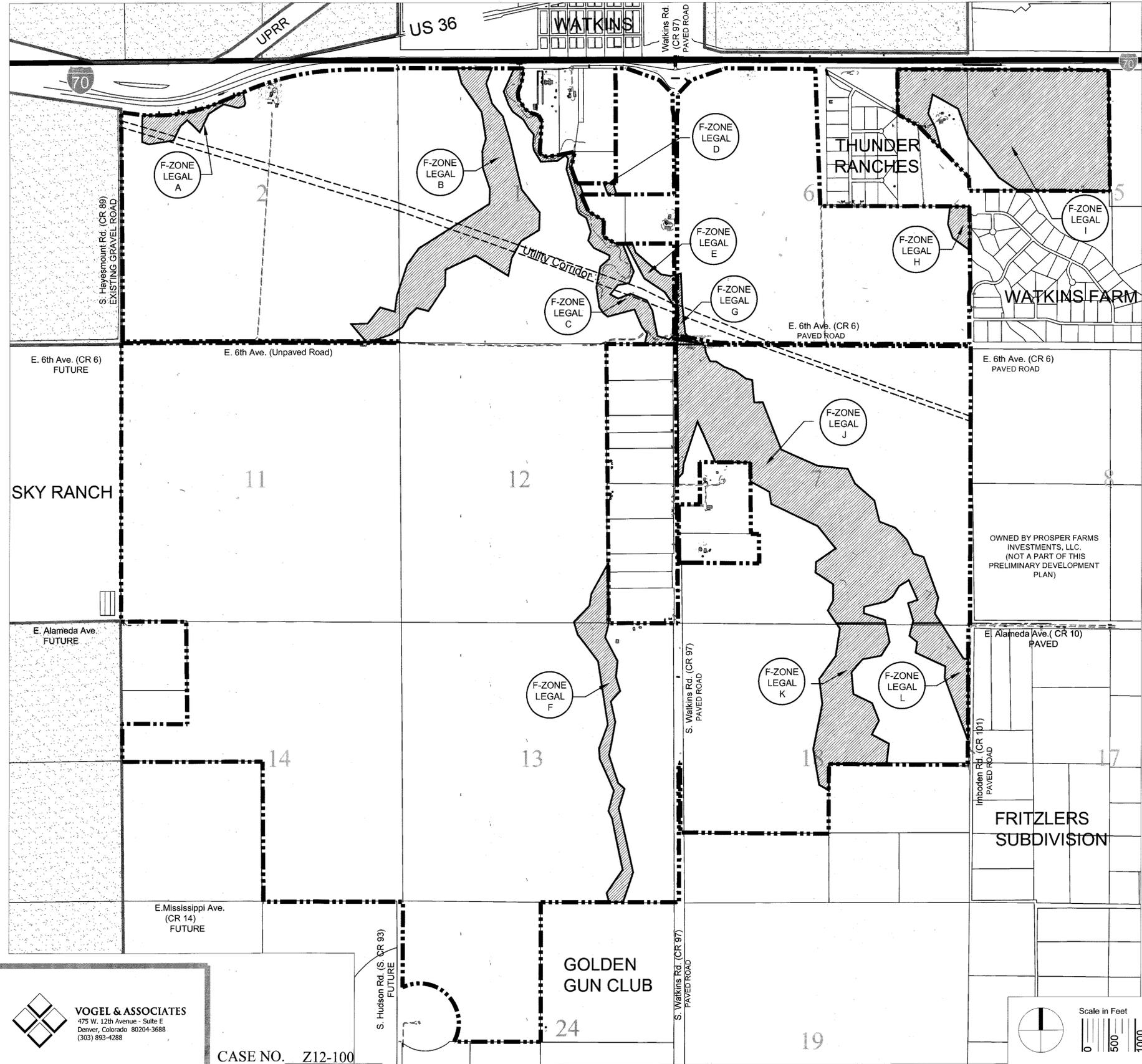
CASE NO. Z12-100

# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 40 OF 42



### LEGAL DESCRIPTION

#### F-ZONE LEGAL DESCRIPTION A

A PARCEL OF LAND BEING A PORTION OF THAT DEED RECORDED AT RECEPTION NO. D1106046 IN THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER, LYING WITHIN THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 4 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 2, BEING ASSUMED TO BEAR N 89°46'00" E, FROM THE NORTHWEST CORNER OF SAID SECTION 2, MONUMENTED BY A 2 1/2" ALUMINUM CAP STAMPED "P.L.S. 28656" TO THE NORTH QUARTER CORNER OF SAID SECTION 2, MONUMENTED BY A 3 1/4" ALUMINUM CAP, ILLEGIBLE, WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 2, THENCE S 26°20'40" E, A DISTANCE OF 978.05 FEET TO A POINT ON THE NORTH LINE OF SAID DEED, BEING A POINT OF NON-TANGENT CURVATURE AND THE POINT OF BEGINNING:

THENCE ALONG THE NORTH LINE OF SAID DEED AND THE SOUTH LINE OF THAT DEED RECORDED IN BOOK 1082 AT PAGE 229, SAID ARAPAHOE COUNTY RECORDS THE FOLLOWING THREE (3) COURSES:

1. ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT, HAVING A RADIUS OF 3075.00 FEET, A CENTRAL ANGLE OF 23°15'08" AND AN ARC LENGTH OF 1247.92 FEET, THE CHORD OF WHICH BEARS N 83°10'03" E, A DISTANCE OF 1239.37 FEET;
2. N 70°13'29" E, A DISTANCE OF 207.30 FEET;
3. N 66°47'59" E, A DISTANCE OF 526.55 FEET;

THENCE S 10°44'39" E, A DISTANCE OF 209.19 FEET;  
 THENCE S 21°48'41" W, A DISTANCE OF 59.51 FEET;  
 THENCE S 72°21'30" W, A DISTANCE OF 116.02 FEET;  
 THENCE N 76°04'03" W, A DISTANCE OF 287.88 FEET;  
 THENCE S 57°17'47" W, A DISTANCE OF 333.68 FEET;  
 THENCE S 25°34'28" W, A DISTANCE OF 387.12 FEET;  
 THENCE N 45°49'53" W, A DISTANCE OF 336.52 FEET;  
 THENCE S 46°58'00" W, A DISTANCE OF 175.51 FEET;  
 THENCE S 25°42'10" W, A DISTANCE OF 295.80 FEET;  
 THENCE S 80°55'35" W, A DISTANCE OF 473.73 FEET;  
 THENCE N 70°31'43" W, A DISTANCE OF 135.48 FEET;  
 THENCE N 00°32'39" E, A DISTANCE OF 512.47 FEET TO THE POINT OF BEGINNING.

CONTAINING 598,728 SQUARE FEET OR 13.745 ACRES, MORE OR LESS.

#### F-ZONE LEGAL DESCRIPTION B

A PARCEL OF LAND BEING A PORTION OF THOSE DEEDS RECORDED AT RECEPTION NUMBERS D1106046 AND D1106064 IN THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER, LYING WITHIN THE NORTHWEST QUARTER AND THE SOUTH HALF OF SECTION 1 AND THE SOUTHEAST QUARTER OF SECTION 2, ALL IN TOWNSHIP 4 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 1, BEING ASSUMED TO BEAR N 89°49'24" E, FROM THE NORTHWEST CORNER OF SAID SECTION 1, MONUMENTED BY A 3 1/4" ALUMINUM CAP STAMPED "P.L.S. 25618" TO THE NORTH QUARTER CORNER OF SAID SECTION 1, MONUMENTED BY A 3 1/4" ALUMINUM CAP, STAMPED "P.L.S. 25618", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 1, THENCE S 89°05'19" E, A DISTANCE OF 1137.29 FEET TO A POINT ON THE NORTH LINE OF SAID DEED RECORDED AT RECEPTION NO. D1106064, SAID POINT ALSO BEING ON THE SOUTH LINE OF THAT DEED RECORDED IN BOOK 1078 AT PAGE 398, SAID ARAPAHOE COUNTY RECORDS, ALSO BEING THE POINT OF BEGINNING:

THENCE S 89°57'37" E, ALONG THE NORTH LINE OF SAID DEED RECORDED AT RECEPTION NO. D1106064, AND ALONG THE SOUTH LINE OF THAT DEED RECORDED IN BOOK 1078 AT PAGE 398, A DISTANCE OF 652.52 FEET;  
 THENCE S 21°40'28" W, A DISTANCE OF 306.61 FEET;  
 THENCE S 16°46'03" E, A DISTANCE OF 401.15 FEET;  
 THENCE S 40°15'48" E, A DISTANCE OF 317.16 FEET;  
 THENCE S 16°48'09" E, A DISTANCE OF 449.16 FEET;  
 THENCE S 13°18'48" E, A DISTANCE OF 984.43 FEET;  
 THENCE S 38°40'03" E, A DISTANCE OF 557.54 FEET;  
 THENCE S 01°55'44" W, A DISTANCE OF 334.45 FEET;  
 THENCE S 59°31'03" W, A DISTANCE OF 406.29 FEET;  
 THENCE S 28°22'05" W, A DISTANCE OF 369.72 FEET;  
 THENCE S 11°15'59" W, A DISTANCE OF 337.51 FEET;  
 THENCE N 58°38'45" W, A DISTANCE OF 733.09 FEET;  
 THENCE S 64°31'02" W, A DISTANCE OF 626.44 FEET;  
 THENCE S 02°01'08" W, A DISTANCE OF 306.17 FEET;  
 THENCE S 33°40'19" W, A DISTANCE OF 570.91 FEET;  
 THENCE N 74°51'57" W, A DISTANCE OF 222.25 FEET;  
 THENCE S 47°28'53" W, A DISTANCE OF 218.04 FEET;  
 THENCE S 28°42'47" W, A DISTANCE OF 240.02 FEET;  
 THENCE S 56°42'05" W, A DISTANCE OF 253.69 FEET;  
 THENCE S 69°53'34" W, A DISTANCE OF 378.25 FEET TO A POINT BEING 30.00 FEET NORTH OF THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 2, ALSO BEING A POINT ON THE NORTH LINE OF EAST 6TH AVENUE RIGHT-OF-WAY AS RECORDED AT RECEPTION NO. D1106046, SAID ARAPAHOE COUNTY RECORDS;  
 THENCE N 89°59'18" W, ALONG SAID NORTH RIGHT-OF-WAY LINE, AND ALONG A LINE 30.00 FEET NORTH OF AND PARALLEL TO THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 2, A DISTANCE OF 128.56 FEET;  
 THENCE N 40°55'02" W, A DISTANCE OF 429.49 FEET;  
 THENCE N 88°26'08" E, A DISTANCE OF 317.46 FEET;  
 THENCE N 37°46'52" E, A DISTANCE OF 385.83 FEET;  
 THENCE S 73°38'17" E, A DISTANCE OF 288.64 FEET;  
 THENCE N 07°26'58" E, A DISTANCE OF 310.56 FEET;  
 THENCE N 18°30'14" E, A DISTANCE OF 621.53 FEET;  
 THENCE N 36°24'08" E, A DISTANCE OF 380.25 FEET;  
 THENCE N 57°46'36" E, A DISTANCE OF 1575.95 FEET;  
 THENCE N 01°39'34" E, A DISTANCE OF 281.62 FEET;  
 THENCE N 18°38'31" W, A DISTANCE OF 424.94 FEET;  
 THENCE N 01°16'23" W, A DISTANCE OF 315.66 FEET;  
 THENCE N 15°49'37" E, A DISTANCE OF 245.58 FEET;  
 THENCE N 09°05'52" W, A DISTANCE OF 509.17 FEET;  
 THENCE N 34°57'36" W, A DISTANCE OF 659.64 FEET;  
 THENCE N 14°43'53" W, A DISTANCE OF 299.68 FEET TO THE POINT OF BEGINNING.

CONTAINING 4,242,581 SQUARE FEET OR 97.396 ACRES, MORE OR LESS.

### LEGEND

ZONING  
 F-ZONE

### F-ZONES

Scale: 1"=1000'
Date: NOVEMBER 10, 2015
Revision Date:

**VOGEL & ASSOCIATES**  
 475 W. 12th Avenue - Suite E  
 Denver, Colorado 80204-3688  
 (303) 853-4288

CASE NO. Z12-100

**PROSPER**  
**PRELIMINARY DEVELOPMENT PLAN**  
PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.  
COUNTY OF ARAPAHOE, STATE OF COLORADO  
**SHEET 41 OF 42**

**LEGAL DESCRIPTIONS**

**F-ZONE LEGAL DESCRIPTION C**

A PARCEL OF LAND BEING A PORTION OF PARCELS 1 AND 2 OF THAT DEED RECORDED AT RECEPTION NO. D1106064 IN THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER, LYING WITHIN THE NORTHWEST QUARTER AND THE EAST HALF OF SECTION 1, TOWNSHIP 4 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 1, BEING ASSUMED TO BEAR N 89°49'24" E, FROM THE NORTHWEST CORNER OF SAID SECTION 1, MONUMENTED BY A 3 1/4" ALUMINUM CAP STAMPED "P.L.S. 25618" TO THE NORTH QUARTER CORNER OF SAID SECTION 1, MONUMENTED BY A 3 1/4" ALUMINUM CAP, STAMPED "P.L.S. 25618", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 1, THENCE S 89°30'45" E, A DISTANCE OF 2213.44 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL 1, AND THE POINT OF BEGINNING:

THENCE S 89°57'37" E, ALONG THE NORTH LINE OF SAID PARCEL 1, A DISTANCE OF 172.09 FEET TO THE NORTHEAST CORNER OF SAID PARCEL 1, SAID POINT ALSO BEING THE NORTHWEST CORNER OF LINNEBUR SUBDIVISION FILING NO. 1, A SUBDIVISION PLAT RECORDED AT RECEPTION NO. 99127071, SAID ARAPAHOE COUNTY RECORDS;  
THENCE ALONG THE EAST LINE OF SAID PARCEL 1 AND ALONG THE WEST LINE OF SAID SUBDIVISION, THE FOLLOWING TWELVE (12) COURSES:

1. S 00°10'36" E, A DISTANCE OF 40.91 FEET;
2. S 07°23'05" W, A DISTANCE OF 207.09 FEET;
3. S 20°36'40" W, A DISTANCE OF 222.35 FEET;
4. S 04°17'39" E, A DISTANCE OF 119.11 FEET;
5. S 33°11'15" E, A DISTANCE OF 248.29 FEET;
6. S 60°24'00" E, A DISTANCE OF 141.58 FEET;
7. S 72°47'28" E, A DISTANCE OF 134.06 FEET;
8. S 31°04'43" E, A DISTANCE OF 127.54 FEET;
9. S 03°59'42" W, A DISTANCE OF 610.24 FEET;
10. S 60°40'03" E, A DISTANCE OF 136.03 FEET;
11. N 84°20'14" E, A DISTANCE OF 203.91 FEET;
12. N 78°52'53" E, A DISTANCE OF 354.30 FEET TO THE SOUTHEAST CORNER OF SAID SUBDIVISION, ALSO BEING A POINT ON THE WEST LINE OF THAT DEED RECORDED IN BOOK 3647 AT PAGE 387, SAID ARAPAHOE COUNTY RECORDS;

THENCE CONTINUING ALONG THE EAST LINE OF SAID PARCEL 1 AND ALONG THE WEST LINE OF SAID DEED THE FOLLOWING TWO (2) COURSES:

1. S 12°13'16" W, A DISTANCE OF 309.00 FEET;
2. S 19°47'49" E, A DISTANCE OF 310.97 FEET TO THE SOUTHWEST CORNER OF SAID DEED, ALSO BEING A POINT ON THE NORTH LINE OF SAID PARCEL 2;
- THENCE N 89°56'10" E, ALONG THE SOUTH LINE OF SAID DEED AND THE NORTH LINE OF SAID PARCEL 2, A DISTANCE OF 44.30 FEET;
- THENCE S 18°44'32" E, A DISTANCE OF 226.42 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL 2, SAID POINT ALSO BEING ON THE NORTH LINE OF THAT DEED RECORDED AT RECEPTION NO. B0041140, SAID ARAPAHOE COUNTY RECORDS;
- THENCE S 89°56'10" W, ALONG THE SOUTH LINE OF SAID PARCEL 2, AND THE NORTH LINE OF SAID DEED, A DISTANCE OF 39.87 FEET TO A POINT ON THE EAST LINE OF SAID PARCEL 1;

THENCE ALONG THE EAST LINE OF SAID PARCEL 1 AND THE WEST LINE OF SAID DEED, THE FOLLOWING FIVE (5) COURSES:

1. S 23°10'08" E, A DISTANCE OF 351.89 FEET;
2. S 60°06'50" E, A DISTANCE OF 342.08 FEET;
3. S 01°07'54" W, A DISTANCE OF 307.80 FEET;
4. S 61°27'28" E, A DISTANCE OF 274.02 FEET;
5. N 89°56'16" E, A DISTANCE OF 117.01 FEET;

THENCE S 22°21'05" E, A DISTANCE OF 568.20 FEET;  
THENCE S 22°34'01" W, A DISTANCE OF 239.28 FEET;  
THENCE S 79°54'46" W, A DISTANCE OF 212.46 FEET;  
THENCE S 39°23'06" W, A DISTANCE OF 226.05 FEET;  
THENCE S 61°36'11" E, A DISTANCE OF 170.99 FEET;  
THENCE N 68°06'15" E, A DISTANCE OF 244.49 FEET;  
THENCE S 67°49'58" E, A DISTANCE OF 346.14 FEET;  
THENCE S 28°35'52" E, A DISTANCE OF 220.59 FEET;  
THENCE S 11°08'44" E, A DISTANCE OF 487.15 FEET;  
THENCE S 73°08'03" E, A DISTANCE OF 230.47 FEET;  
THENCE N 49°25'02" E, A DISTANCE OF 123.37 FEET TO A POINT ON THE EAST LINE OF SAID PARCEL 1, BEING A POINT 30.00 FEET WEST OF THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 1, AND BEING A POINT ON THE WEST LINE OF WATKINS MILE ROAD RIGHT-OF-WAY, BOOK 6, PAGE 16, SAID ARAPAHOE COUNTY RECORDS;  
THENCE S 00°04'34" E, ALONG THE EAST LINE OF SAID PARCEL 1, AND ALONG THE WEST LINE OF WATKINS MILE ROAD RIGHT-OF-WAY, AND ALONG A LINE 30.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 1, A DISTANCE OF 171.29 FEET TO A POINT ON THE SOUTH LINE OF SOUTHEAST QUARTER OF SAID SECTION 1, ALSO BEING A POINT ON THE NORTH LINE OF THAT DEED RECORDED AT RECEPTION NO. A8075261, SAID ARAPAHOE COUNTY RECORDS;  
THENCE N 89°34'22" W, ALONG THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF SECTION 1, AND THE NORTH LINE OF SAID DEED, A DISTANCE OF 558.33 FEET;

**F-ZONE LEGAL DESCRIPTION C (CONTINUED)**

THENCE N 13°25'56" E, A DISTANCE OF 209.36 FEET;  
THENCE N 39°54'28" W, A DISTANCE OF 159.55 FEET;  
THENCE N 23°23'38" W, A DISTANCE OF 361.93 FEET;  
THENCE S 75°12'13" W, A DISTANCE OF 523.04 FEET;  
THENCE N 51°10'52" W, A DISTANCE OF 112.34 FEET;  
THENCE N 33°51'49" W, A DISTANCE OF 130.94 FEET;  
THENCE N 08°28'30" W, A DISTANCE OF 379.10 FEET;  
THENCE N 10°58'23" E, A DISTANCE OF 399.71 FEET;  
THENCE N 49°07'26" E, A DISTANCE OF 227.23 FEET;  
THENCE N 04°20'29" E, A DISTANCE OF 62.25 FEET;  
THENCE N 64°35'37" W, A DISTANCE OF 332.06 FEET;  
THENCE N 38°27'18" W, A DISTANCE OF 179.39 FEET;  
THENCE N 16°56'16" E, A DISTANCE OF 175.38 FEET;  
THENCE N 17°57'37" W, A DISTANCE OF 272.22 FEET;  
THENCE N 56°51'33" W, A DISTANCE OF 163.45 FEET;  
THENCE N 23°53'41" W, A DISTANCE OF 106.83 FEET;  
THENCE N 03°31'42" W, A DISTANCE OF 158.55 FEET;  
THENCE N 17°49'46" W, A DISTANCE OF 611.60 FEET;  
THENCE N 09°40'09" E, A DISTANCE OF 203.63 FEET;  
THENCE N 42°27'34" W, A DISTANCE OF 81.12 FEET;  
THENCE S 55°22'31" W, A DISTANCE OF 183.91 FEET;  
THENCE S 87°33'55" W, A DISTANCE OF 313.80 FEET;  
THENCE N 31°17'48" W, A DISTANCE OF 251.86 FEET;  
THENCE N 10°20'05" W, A DISTANCE OF 98.37 FEET;  
THENCE N 04°01'11" E, A DISTANCE OF 206.73 FEET;  
THENCE N 42°28'07" W, A DISTANCE OF 139.69 FEET;  
THENCE N 32°02'59" W, A DISTANCE OF 210.25 FEET;  
THENCE N 52°47'32" W, A DISTANCE OF 247.24 FEET;  
THENCE N 32°01'43" W, A DISTANCE OF 147.01 FEET;  
THENCE N 20°55'23" W, A DISTANCE OF 271.95 FEET;  
THENCE N 24°21'17" E, A DISTANCE OF 486.75 FEET TO THE POINT OF BEGINNING.

CONTAINING 1,723,335 SQUARE FEET OR 39.562 ACRES, MORE OR LESS.

**F-ZONE LEGAL DESCRIPTION D**

A PARCEL OF LAND BEING A PORTION OF PARCEL 2 OF THAT DEED RECORDED AT RECEPTION NO. D1106064 IN THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER, LYING WITHIN THE NORTHEAST QUARTER OF SECTION 1, TOWNSHIP 4 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 1, BEING ASSUMED TO BEAR S 89°27'33" E, FROM THE CENTER QUARTER CORNER OF SAID SECTION 1, MONUMENTED BY A 3 1/4" ALUMINUM CAP STAMPED "P.L.S. 27609" TO THE EAST QUARTER CORNER OF SAID SECTION 1, MONUMENTED BY A 2 1/2" ALUMINUM CAP, STAMPED "P.L.S. 28656", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 1, THENCE N 82°23'36" E, A DISTANCE OF 1365.13 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL 2, ALSO BEING ON THE NORTH LINE OF THAT DEED RECORDED AT RECEPTION NO. B0041140, SAID ARAPAHOE COUNTY RECORDS, SAID POINT ALSO BEING THE POINT OF BEGINNING;

THENCE N 20°29'33" W, A DISTANCE OF 228.89 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL 2, ALSO BEING A POINT ON THE SOUTH LINE OF THAT DEED RECORDED IN BOOK 3647 AT PAGE 387, SAID ARAPAHOE COUNTY RECORDS;  
THENCE N 89°56'10" E, ALONG THE NORTH LINE OF SAID PARCEL 2 AND THE SOUTH LINE OF SAID DEED, A DISTANCE OF 179.61 FEET;  
THENCE S 17°14'33" E, A DISTANCE OF 224.51 FEET TO A POINT ON THE SOUTH LINE OF SAID PARCEL 2, SAID POINT ALSO BEING ON THE NORTH LINE OF SAID DEED RECORDED AT RECEPTION NO. B0041140;  
THENCE S 89°56'10" W, ALONG SAID SOUTH LINE, A DISTANCE OF 166.03 FEET TO THE POINT OF BEGINNING.

CONTAINING 37,069 SQUARE FEET OR 0.851 ACRES, MORE OR LESS.

**F-ZONE LEGAL DESCRIPTION E**

A PARCEL OF LAND BEING A PORTION OF PARCEL 1 OF THAT DEED RECORDED AT RECEPTION NO. D1106064 IN THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 4 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 1, BEING ASSUMED TO BEAR S 89°27'33" E, FROM THE CENTER QUARTER CORNER OF SAID SECTION 1, MONUMENTED BY A 3 1/4" ALUMINUM CAP STAMPED "P.L.S. 27609" TO THE EAST QUARTER CORNER OF SAID SECTION 1, MONUMENTED BY A 2 1/2" ALUMINUM CAP, STAMPED "P.L.S. 28656", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 1, THENCE S 48°27'23" W, A DISTANCE OF 1096.63 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL 1, SAID POINT ALSO BEING ON THE SOUTH LINE OF THAT DEED RECORDED AT RECEPTION NO. B0041140, SAID ARAPAHOE COUNTY RECORDS, ALSO BEING THE POINT OF BEGINNING:

THENCE S 20°34'06" E, A DISTANCE OF 180.97 FEET;  
THENCE S 49°35'50" E, A DISTANCE OF 642.27 FEET;  
THENCE S 80°46'43" E, A DISTANCE OF 179.23 FEET;  
THENCE N 76°55'31" E, A DISTANCE OF 64.64 FEET TO A POINT ON THE EAST LINE OF SAID PARCEL 1, ALSO BEING A POINT 30.00 FEET WEST OF THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 1, SAID POINT ALSO BEING ON THE WEST LINE OF WATKINS MILE ROAD RIGHT-OF-WAY AS RECORDED IN BOOK 6, PAGE 16, SAID ARAPAHOE COUNTY RECORDS;  
THENCE S 00°04'34" E, ALONG THE EAST LINE OF SAID PARCEL 1, ALONG THE WEST LINE OF SAID WATKINS MILE ROAD RIGHT-OF-WAY, AND ALONG A LINE 30.00 FEET WEST OF AND PARALLEL TO THE EAST LINE THE OF THE SOUTHEAST QUARTER OF SAID SECTION 1, A DISTANCE OF 581.34 FEET;  
THENCE N 34°09'36" W, A DISTANCE OF 318.81 FEET;  
THENCE N 56°03'58" W, A DISTANCE OF 464.96 FEET;  
THENCE N 28°12'12" W, A DISTANCE OF 746.26 FEET TO A POINT ON THE NORTH LINE OF SAID PARCEL 1, SAID POINT ALSO BEING ON THE SOUTH LINE OF SAID DEED RECORDED AT RECEPTION NO. B0041140;  
THENCE N 89°56'16" E, ALONG THE NORTH LINE OF SAID PARCEL 1 AND THE SOUTH LINE OF SAID DEED, A DISTANCE OF 124.15 FEET TO THE POINT OF BEGINNING.

CONTAINING 272,532 SQUARE FEET OR 6.256 ACRES, MORE OR LESS.

**F-ZONE LEGAL DESCRIPTION F**

A PARCEL OF LAND BEING A PORTION OF PARCEL 1 OF THAT DEED RECORDED AT RECEPTION NO. D1106064 AND A PORTION OF PARCEL 2 OF THAT DEED RECORDED AT RECEPTION NO. D1106066, IN THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 12 AND THE EAST HALF OF SECTION 13, TOWNSHIP 4 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 13, BEING ASSUMED TO BEAR S 89°47'46" E, FROM THE SOUTH QUARTER CORNER OF SAID SECTION 13, MONUMENTED BY A 2 1/2" ALUMINUM CAP STAMPED "P.L.S. 6935" TO THE SOUTHEAST CORNER OF SAID SECTION 13, MONUMENTED BY A 3 1/4" ALUMINUM CAP, STAMPED "P.L.S. 17669", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 13, THENCE S 89°47'46" E, ALONG SAID SOUTH LINE, A DISTANCE OF 1300.94 FEET TO THE POINT OF BEGINNING:

THENCE N 15°34'13" W, A DISTANCE OF 179.76 FEET;  
THENCE N 34°15'44" E, A DISTANCE OF 533.49 FEET;  
THENCE N 11°34'54" W, A DISTANCE OF 992.60 FEET;  
THENCE N 26°16'55" W, A DISTANCE OF 156.72 FEET;  
THENCE N 15°04'53" E, A DISTANCE OF 397.74 FEET;  
THENCE N 24°21'02" W, A DISTANCE OF 657.73 FEET;  
THENCE N 04°16'28" W, A DISTANCE OF 203.15 FEET;  
THENCE N 20°08'38" E, A DISTANCE OF 479.15 FEET;  
THENCE N 08°45'11" W, A DISTANCE OF 1209.29 FEET;  
THENCE N 37°21'49" W, A DISTANCE OF 639.42 FEET;  
THENCE N 16°27'28" W, A DISTANCE OF 251.68 FEET;  
THENCE N 43°27'46" E, A DISTANCE OF 421.94 FEET;  
THENCE N 08°59'25" E, A DISTANCE OF 228.17 FEET;  
THENCE N 29°14'03" E, A DISTANCE OF 663.98 FEET TO A POINT ON THE WEST LINE OF THAT DEED RECORDED IN BOOK 7122 AT PAGE 486 OF SAID ARAPAHOE COUNTY RECORDS;  
THENCE S 00°34'22" E, ALONG THE WEST LINE OF SAID DEED, A DISTANCE OF 1133.82 FEET TO THE SOUTHWEST CORNER OF SAID DEED, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 12;  
THENCE S 14°16'38" W, A DISTANCE OF 278.17 FEET;  
THENCE S 27°47'56" E, A DISTANCE OF 506.56 FEET;  
THENCE S 05°44'10" W, A DISTANCE OF 299.60 FEET;  
THENCE S 16°09'02" E, A DISTANCE OF 282.03 FEET;  
THENCE S 42°09'46" W, A DISTANCE OF 262.51 FEET;  
THENCE S 12°26'54" E, A DISTANCE OF 395.93 FEET;  
THENCE S 09°52'24" W, A DISTANCE OF 407.92 FEET;  
THENCE S 11°50'44" W, A DISTANCE OF 232.10 FEET;  
THENCE S 18°11'03" E, A DISTANCE OF 558.96 FEET;  
THENCE S 46°58'37" E, A DISTANCE OF 161.08 FEET;  
THENCE S 16°23'08" W, A DISTANCE OF 377.51 FEET;  
THENCE S 12°40'21" E, A DISTANCE OF 1249.89 FEET;  
THENCE S 18°53'55" W, A DISTANCE OF 598.40 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 13;  
THENCE N 89°47'46" W, ALONG SAID SOUTH LINE, A DISTANCE OF 257.50 FEET TO THE POINT OF BEGINNING.

CONTAINING 1,662,453 SQUARE FEET OR 38.165 ACRES, MORE OR LESS.

**F-ZONE LEGAL DESCRIPTION G**

A PARCEL OF LAND BEING A PORTION OF PARCEL A OF THAT DEED RECORDED AT RECEPTION NO. D1106058 IN THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER, LYING WITHIN THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 4 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 6, BEING ASSUMED TO BEAR S 00°04'34" E, FROM THE WEST QUARTER CORNER OF SAID SECTION 6, MONUMENTED BY A 2 1/2" ALUMINUM CAP STAMPED "P.L.S. 28656" TO THE SOUTHWEST CORNER OF SAID SECTION 6, MONUMENTED BY A 2 1/2" ALUMINUM CAP, STAMPED "P.L.S. 28656", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE WEST QUARTER CORNER OF SAID SECTION 6, THENCE S 01°23'05" E, A DISTANCE OF 1313.54 FEET TO A POINT ON THE WEST LINE OF SAID PARCEL A, BEING A POINT 30.00 FEET EAST OF THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 6, ALSO BEING A POINT ON THE EAST LINE OF WATKINS MILE ROAD RIGHT-OF-WAY, RECORDED IN BOOK 6 AT PAGE 16, SAID ARAPAHOE COUNTY RECORDS, ALSO BEING THE POINT OF BEGINNING:

THENCE N 76°55'31" E, A DISTANCE OF 73.30 FEET;  
THENCE S 02°26'00" E, A DISTANCE OF 564.65 FEET;  
THENCE S 05°54'39" E, A DISTANCE OF 563.12 FEET;  
THENCE S 36°51'57" E, A DISTANCE OF 109.37 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF EAST 6TH AVENUE, RECORDED IN BOOK 104 AT PAGE 96, SAID ARAPAHOE COUNTY RECORDS;  
THENCE ALONG SAID NORTH RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES:

1. N 78°53'39" W, A DISTANCE OF 23.36 FEET TO A POINT OF CURVATURE;
2. ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 1079.50 FEET, A CENTRAL ANGLE OF 6°31'18" AND AN ARC LENGTH OF 122.87 FEET;
3. N 85°24'58" W, A DISTANCE OF 73.09 FEET TO A POINT ON WEST LINE OF SAID PARCEL A, BEING A POINT 30.00 FEET EAST OF THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 6, ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF SAID WATKINS MILE ROAD;

THENCE N 00°04'34" W, ALONG SAID WEST LINE, AND ALONG SAID EAST RIGHT-OF-WAY LINE, AND ALONG A LINE 30.00 FEET EAST OF AND PARALLEL TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 6, A DISTANCE OF 1168.09 FEET TO THE POINT OF BEGINNING.

CONTAINING 127,944 SQUARE FEET OR 2.937 ACRES, MORE OR LESS.

**F-ZONES**

Scale: 1"=1000'
Date: NOVEMBER 10, 2015
Revision Date:



CASE NO.   Z12-100

# PROSPER

## PRELIMINARY DEVELOPMENT PLAN

PARCELS OF LAND SITUATED IN SECTIONS 5, 6, 7 & 18, T.4S., R.64W.,  
AND SECTIONS 1, 2, 11, 12, 13, 14 & 24, T.4S., R.65W., OF THE 6TH P.M.,  
COUNTY OF ARAPAHOE, STATE OF COLORADO

### SHEET 42 OF 42

#### LEGAL DESCRIPTIONS

##### F-ZONE LEGAL DESCRIPTION H

A PARCEL OF LAND BEING A PORTION OF THAT DEED RECORDED AT RECEPTION NO. D1106060 IN THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER, LYING WITHIN THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 4 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 6, BEING ASSUMED TO BEAR S 00°33'40" E, FROM THE EAST QUARTER CORNER OF SAID SECTION 6, MONUMENTED BY A 2" ALUMINUM CAP STAMPED "P.L.S. 25937" TO THE SOUTHEAST CORNER OF SAID SECTION 6, MONUMENTED BY A 2" ALUMINUM CAP, STAMPED "P.L.S. 28656", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION 6, ALSO BEING A POINT ON THE WEST LINE OF WATKINS FARM SUBDIVISION FILING NO. 1;  
THENCE S 00°33'40" E, ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 6, AND ALONG THE WEST LINE OF SAID SUBDIVISION, A DISTANCE OF 830.88 FEET;  
THENCE N 54°07'04" W, A DISTANCE OF 396.63 FEET;  
THENCE N 20°07'54" W, A DISTANCE OF 278.95 FEET;  
THENCE N 07°01'16" E, A DISTANCE OF 340.99 FEET TO A POINT ON THE NORTH LINE OF SAID DEED, ALSO BEING A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 6;  
THENCE N 89°41'37" E, ALONG SAID NORTH LINE OF SAID DEED AND ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 6, A DISTANCE OF 367.55 FEET TO THE POINT OF BEGINNING.

CONTAINING 264,533 SQUARE FEET OR 6.073 ACRES, MORE OR LESS.

##### F-ZONE LEGAL DESCRIPTION I

A PARCEL OF LAND BEING A PORTION OF THAT DEED RECORDED AT RECEPTION NO. D1106054 IN THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER, LYING WITHIN THE NORTHEAST QUARTER OF SECTION 6 AND THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 4 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 5, BEING ASSUMED TO BEAR N 00°36'28" W, FROM THE CENTER QUARTER CORNER OF SAID SECTION 5, MONUMENTED BY A 2" ALUMINUM CAP STAMPED "P.L.S. 25937" TO THE NORTH QUARTER CORNER OF SAID SECTION 5, MONUMENTED BY A 2" ALUMINUM CAP, STAMPED "P.L.S. 32519", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE CENTER QUARTER CORNER OF SAID SECTION 5, THENCE N 00°36'28" W, ALONG THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 5, A DISTANCE OF 300.04 FEET TO A POINT ON THE SOUTH LINE OF SAID DEED, ALSO BEING A POINT ON THE SOUTH LINE OF WATKINS FARM SUBDIVISION FILING NO. 1, ALSO BEING THE POINT OF BEGINNING;

THENCE N 89°38'48" W, ALONG THE SOUTH LINE OF SAID DEED, AND ALONG THE NORTH LINE OF SAID SUBDIVISION, A DISTANCE OF 1735.92 FEET;  
THENCE N 55°15'42" W, A DISTANCE OF 443.45 FEET;  
THENCE N 37°10'35" W, A DISTANCE OF 950.57 FEET;  
THENCE N 19°12'21" W, A DISTANCE OF 576.60 FEET;  
THENCE N 60°24'42" W, A DISTANCE OF 556.25 FEET;  
THENCE S 12°41'39" W, A DISTANCE OF 371.63 FEET;  
THENCE S 26°29'48" E, A DISTANCE OF 306.67 FEET;  
THENCE S 14°21'19" E, A DISTANCE OF 406.37 FEET;  
THENCE N 44°15'37" W, A DISTANCE OF 605.70 FEET;  
THENCE N 60°30'48" W, A DISTANCE OF 449.30 FEET TO A POINT ON THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 6;  
THENCE N 00°28'53" W, ALONG THE WEST LINE OF THE EAST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 6, A DISTANCE OF 853.18 FEET TO A POINT ON THE SOUTH LINE OF THAT DEED RECORDED IN BOOK 1073 AT PAGE 356;  
THENCE S 89°39'41" E, ALONG SAID SOUTH LINE, A DISTANCE OF 1334.44 FEET;  
THENCE S 89°40'03" E, CONTINUING ALONG SAID SOUTH LINE, A DISTANCE OF 2654.47 FEET TO A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 5, ALSO BEING A POINT ON THE WEST LINE OF THAT DEED RECORDED AT RECEPTION NO. A6046391;  
THENCE S 00°36'28" E, ALONG THE WEST LINE OF SAID DEED, AND ALONG THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 5, A DISTANCE OF 2294.20 FEET TO THE POINT OF BEGINNING.

CONTAINING 6,900,489 SQUARE FEET OR 158.413 ACRES, MORE OR LESS.

##### F-ZONE LEGAL DESCRIPTION J

A PARCEL OF LAND BEING A PORTION OF THOSE DEEDS RECORDED AT RECEPTION NO. D1106058 AND D1106048 IN THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER, LYING WITHIN THE NORTHWEST QUARTER OF SECTION 6 AND PORTIONS OF SECTION 7, ALL IN TOWNSHIP 4 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 7, BEING ASSUMED TO BEAR N 00°33'38" W, FROM THE WEST QUARTER CORNER OF SAID SECTION 7, MONUMENTED BY A 2 1/2" ALUMINUM CAP STAMPED "L.S. 28656" TO THE NORTHWEST CORNER OF SAID SECTION 7, MONUMENTED BY A 2 1/2" ALUMINUM CAP, STAMPED "L.S. 28656", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 7, THENCE S 89°37'01" E, ALONG THE NORTH LINE OF SAID SECTION 7, A DISTANCE OF 30.00 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF WATKINS MILE ROAD AS RECORDED IN BOOK 6 AT PAGE 16, SAID ARAPAHOE COUNTY RECORDS, SAID POINT ALSO BEING THE POINT OF BEGINNING:

THENCE N 00°04'34" W, ALONG A LINE 30.00 FEET EAST OF AND PARALLEL TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 7, ALSO BEING A POINT ON THE EAST RIGHT-OF-WAY LINE OF WATKINS MILE ROAD AS RECORDED IN BOOK 104 AT PAGES 96-99, SAID ARAPAHOE COUNTY RECORDS;  
THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES:

1. S 85°24'58" E, A DISTANCE OF 68.20 FEET TO A POINT OF CURVATURE;
2. AN ARC CURVE TO THE RIGHT, HAVING A RADIUS OF 1019.50 FEET, A CENTRAL ANGLE OF 06°31'18" AND AN ARC LENGTH OF 116.04 FEET;
3. S 78°53'39" E, A DISTANCE OF 89.93 FEET;

THENCE S 36°51'57" E, A DISTANCE OF 11.53 FEET;  
THENCE S 78°28'15" E, A DISTANCE OF 196.92 FEET;  
THENCE S 53°43'56" E, A DISTANCE OF 73.68 FEET;  
THENCE S 06°57'20" E, A DISTANCE OF 124.95 FEET;  
THENCE S 26°10'03" E, A DISTANCE OF 182.65 FEET;  
THENCE S 87°51'16" E, A DISTANCE OF 120.45 FEET;  
THENCE S 55°30'28" E, A DISTANCE OF 182.24 FEET;  
THENCE S 71°43'15" E, A DISTANCE OF 216.08 FEET;  
THENCE S 53°51'46" E, A DISTANCE OF 252.74 FEET;  
THENCE S 77°26'33" E, A DISTANCE OF 123.63 FEET;  
THENCE S 05°19'24" E, A DISTANCE OF 425.47 FEET;  
THENCE N 89°21'57" E, A DISTANCE OF 159.91 FEET;  
THENCE S 21°29'17" E, A DISTANCE OF 963.22 FEET;  
THENCE S 66°08'37" E, A DISTANCE OF 756.84 FEET;  
THENCE S 83°53'21" E, A DISTANCE OF 578.46 FEET;  
THENCE S 26°08'56" E, A DISTANCE OF 308.13 FEET;  
THENCE S 48°34'52" E, A DISTANCE OF 484.71 FEET;  
THENCE S 13°50'20" E, A DISTANCE OF 411.89 FEET;  
THENCE S 68°31'40" E, A DISTANCE OF 321.04 FEET;  
THENCE S 43°44'44" E, A DISTANCE OF 319.33 FEET;  
THENCE S 24°26'44" E, A DISTANCE OF 287.86 FEET;  
THENCE S 72°16'16" E, A DISTANCE OF 207.01 FEET;  
THENCE S 19°39'07" E, A DISTANCE OF 816.70 FEET;  
THENCE S 11°40'34" W, A DISTANCE OF 307.22 FEET;  
THENCE S 32°24'50" E, A DISTANCE OF 221.48 FEET TO A POINT 30.00 FEET NORTH OF THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 7, SAID POINT ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF ALAMEDA AVENUE;  
THENCE N 89°34'37" W, ALONG A LINE 30.00 FEET NORTH OF AND PARALLEL TO SAID SOUTH LINE OF SECTION 7 AND THE NORTH LINE OF ALAMEDA AVENUE, A DISTANCE OF 538.94 FEET;  
THENCE N 14°23'43" E, A DISTANCE OF 48.16 FEET;  
THENCE N 16°28'30" W, A DISTANCE OF 349.07 FEET;  
THENCE N 70°55'58" E, A DISTANCE OF 190.83 FEET;  
THENCE N 24°06'42" W, A DISTANCE OF 408.31 FEET;  
THENCE S 58°21'40" W, A DISTANCE OF 211.85 FEET;  
THENCE S 31°15'37" W, A DISTANCE OF 237.81 FEET;  
THENCE S 56°11'43" W, A DISTANCE OF 163.20 FEET;  
THENCE S 76°38'56" W, A DISTANCE OF 417.29 FEET;  
THENCE S 02°31'07" W, A DISTANCE OF 122.83 FEET;  
THENCE S 72°09'29" E, A DISTANCE OF 425.68 FEET;  
THENCE S 12°13'06" E, A DISTANCE OF 59.30 FEET TO A POINT 30.00 FEET NORTH OF THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 7, SAID POINT ALSO BEING THE NORTH RIGHT-OF-WAY LINE OF ALAMEDA AVENUE;  
THENCE N 89°34'37" W, ALONG A LINE 30.00 FEET NORTH OF AND PARALLEL TO SAID SOUTH LINE OF SECTION 7 AND THE NORTH LINE OF ALAMEDA AVENUE, A DISTANCE OF 940.28 FEET;  
THENCE N 33°15'36" W, A DISTANCE OF 280.67 FEET;  
THENCE N 27°51'18" E, A DISTANCE OF 213.96 FEET;  
THENCE N 00°05'03" W, A DISTANCE OF 306.87 FEET;  
THENCE N 56°43'53" W, A DISTANCE OF 400.54 FEET;  
THENCE N 02°16'11" E, A DISTANCE OF 201.21 FEET;  
THENCE N 55°49'44" E, A DISTANCE OF 451.97 FEET;  
THENCE N 38°56'51" W, A DISTANCE OF 546.04 FEET;  
THENCE N 64°27'44" W, A DISTANCE OF 980.05 FEET;  
THENCE N 08°43'46" W, A DISTANCE OF 230.57 FEET;  
THENCE N 61°24'35" W, A DISTANCE OF 409.13 FEET TO A POINT ON THE EAST LINE OF THAT PARCEL OF LAND RECORDED AT RECEPTION NO. D3040260, SAID ARAPAHOE COUNTY RECORDS;  
THENCE ALONG THE EAST AND NORTH LINES OF SAID PARCEL OF LAND THE FOLLOWING TWO (2) COURSES:

1. N 00°33'38" W ALONG THE EAST LINE OF SAID PARCEL OF LAND, A DISTANCE OF 360.33 FEET TO THE NORTHEAST CORNER OF SAID PARCEL OF LAND;
2. N 89°36'15" W, ALONG THE NORTH LINE OF SAID PARCEL OF LAND, A DISTANCE OF 660.65 FEET;

THENCE N 24°05'45" W, A DISTANCE OF 843.76 FEET;  
THENCE S 18°10'28" W, A DISTANCE OF 843.23 FEET;  
THENCE S 05°56'08" W, A DISTANCE OF 176.48 FEET;  
THENCE S 42°48'58" W, A DISTANCE OF 119.83 FEET TO A POINT BEING 30.00 FEET EAST OF THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 7, ALSO BEING ON THE EAST RIGHT-OF-WAY OF SAID WATKINS MILE ROAD;  
THENCE N 00°33'38" W, ALONG A LINE 30.00 FEET EAST OF AND PARALLEL TO SAID WEST LINE AND ALONG THE EAST RIGHT-OF-WAY LINE OF SAID WATKINS MILE ROAD, A DISTANCE OF 2527.38 FEET TO THE POINT OF BEGINNING.

CONTAINING 8,181,126 SQUARE FEET OR 187.814 ACRES, MORE OR LESS.

##### F-ZONE LEGAL DESCRIPTION K

A PARCEL OF LAND BEING A PORTION OF THOSE DEEDS RECORDED AT RECEPTION NO. D1106048 AND D1106042 IN THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER, LYING WITHIN THE NORTH HALF AND THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 4 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 18, BEING ASSUMED TO BEAR S 89°34'37" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 18, MONUMENTED BY A 3 1/4" ALUMINUM CAP STAMPED "P.L.S. 9010" TO THE NORTHEAST CORNER OF SAID SECTION 18, MONUMENTED BY A 3 1/4" ALUMINUM CAP, STAMPED "P.L.S. 37051", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTH QUARTER CORNER OF SAID SECTION 18, THENCE S 79°14'20" E, A DISTANCE OF 167.17 FEET TO A POINT 30.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 18 ALSO BEING A POINT ON THE SOUTH LINE OF ALAMEDA AVENUE RIGHT-OF-WAY AND BEING THE POINT OF BEGINNING:

THENCE S 89°34'37" E, ALONG SAID SOUTH RIGHT-OF-WAY LINE, AND ALONG A LINE 30.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 18, A DISTANCE OF 913.75 FEET;

THENCE S 12°13'06" E, A DISTANCE OF 305.04 FEET;  
THENCE S 32°21'52" W, A DISTANCE OF 304.18 FEET;  
THENCE S 79°05'45" W, A DISTANCE OF 362.19 FEET;  
THENCE S 39°47'57" W, A DISTANCE OF 317.59 FEET;  
THENCE S 04°59'08" E, A DISTANCE OF 417.02 FEET;  
THENCE S 64°11'58" E, A DISTANCE OF 388.71 FEET;  
THENCE S 21°22'10" E, A DISTANCE OF 354.23 FEET;  
THENCE S 27°07'39" W, A DISTANCE OF 297.00 FEET;  
THENCE S 62°05'07" E, A DISTANCE OF 372.37 FEET;  
THENCE S 89°25'23" W, A DISTANCE OF 394.79 FEET TO A POINT ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 18;  
THENCE N 89°32'22" W, ALONG SAID SOUTH LINE, A DISTANCE OF 1090.28 FEET TO THE CENTER QUARTER CORNER OF SAID SECTION 18;  
THENCE S 00°06'43" W, ALONG THE EAST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 18, A DISTANCE OF 502.30 FEET;  
THENCE N 60°00'29" W, A DISTANCE OF 212.28 FEET;  
THENCE N 09°29'27" W, A DISTANCE OF 685.81 FEET;  
THENCE N 11°04'36" E, A DISTANCE OF 875.59 FEET;  
THENCE N 06°56'27" W, A DISTANCE OF 475.60 FEET;  
THENCE N 35°56'16" E, A DISTANCE OF 529.32 FEET;  
THENCE N 08°31'20" E, A DISTANCE OF 526.96 FEET;  
THENCE N 33°15'36" W, A DISTANCE OF 59.41 FEET TO THE POINT OF BEGINNING.

CONTAINING 2,558,070 SQUARE FEET OR 58.725 ACRES, MORE OR LESS.

##### F-ZONE LEGAL DESCRIPTION L

A PARCEL OF LAND BEING A PORTION OF THAT DEED RECORDED AT RECEPTION NO. D1106048 IN THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER, LYING WITHIN THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 4 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEARINGS FOR THIS DESCRIPTION ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 18, BEING ASSUMED TO BEAR S 89°34'37" E, FROM THE NORTH QUARTER CORNER OF SAID SECTION 18, MONUMENTED BY A 3 1/4" ALUMINUM CAP STAMPED "P.L.S. 9010" TO THE NORTHEAST CORNER OF SAID SECTION 18, MONUMENTED BY A 3 1/4" ALUMINUM CAP, STAMPED "P.L.S. 37051", WITH ALL BEARINGS CONTAINED HEREIN RELATIVE THERETO.

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 18, THENCE S 87°02'34" W, A DISTANCE OF 508.77 FEET TO A POINT 30.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION 18 ALSO BEING A POINT ON THE SOUTH LINE OF ALAMEDA AVENUE RIGHT-OF-WAY, ALSO BEING THE POINT OF BEGINNING;

THENCE S 32°24'50" E, A DISTANCE OF 718.62 FEET;  
THENCE S 81°33'28" E, A DISTANCE OF 91.59 FEET TO A POINT 30.00 WEST OF THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 18 ALSO BEING A POINT ON THE WEST LINE OF IMBODEN MILE ROAD RIGHT-OF-WAY, AS RECORDED AT RECEPTION NO. D0035316, SAID ARAPAHOE COUNTY RECORDS;  
THENCE S 00°11'55" W, ALONG SAID WEST RIGHT-OF-WAY LINE, AND ALONG A LINE 30.00 FEET WEST OF AND PARALLEL TO THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 18, A DISTANCE OF 1529.45 FEET;  
THENCE N 20°39'11" W, A DISTANCE OF 1261.14 FEET;  
THENCE N 04°10'53" E, A DISTANCE OF 216.95 FEET;  
THENCE N 64°59'25" W, A DISTANCE OF 617.82 FEET;  
THENCE N 07°45'10" E, A DISTANCE OF 202.56 FEET;  
THENCE N 50°15'56" W, A DISTANCE OF 190.10 FEET;  
THENCE N 14°23'43" E, A DISTANCE OF 179.68 FEET TO A POINT 30.00 FEET SOUTH OF THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 18 AND ALSO BEING A POINT ON THE SOUTH LINE OF SAID ALAMEDA AVENUE RIGHT-OF-WAY;  
THENCE S 89°34'37" E, ALONG SAID SOUTH RIGHT-OF-WAY LINE, AND ALONG A LINE 30.00 FEET SOUTH OF AND PARALLEL TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 18, A DISTANCE OF 592.59 FEET TO THE POINT OF BEGINNING.

CONTAINING 884,108 SQUARE FEET OR 20.296 ACRES, MORE OR LESS.

#### F-ZONES

Scale:	
Date:	NOVEMBER 10, 2015
Revision Date:	
	<i>JM</i>



CASE NO. Z12-100