



**REGULAR MEETING OF THE
ARAPAHOE COUNTY PLANNING COMMISSION
TUESDAY, AUGUST 16, 2016 @ 6:30 P.M.**

GENERAL BUSINESS ITEMS

APPROVAL OF THE MINUTES FROM AUGUST 2, 2016 <i>(Click here to view the draft minutes.)</i>	VOTE:
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REGULAR ITEMS

ITEM 1: <i>(Click here to view the packet.)</i>	CASE NO. P16-010, SKY MARK APARTMENTS / FINAL DEVELOPMENT PLAN (FDP) – Continued from August 2, 2016	
LOCATION:	Northwest of Intersection of Parker Road and Ulster	VOTE:
ACREAGE:	2.14 Acres	<input type="checkbox"/> IN FAVOR
EXISTING ZONING:	R-PH	<input type="checkbox"/> OPPOSED
PROPOSED USE:	Multi-Family Residential	<input type="checkbox"/> ABSENT
APPLICANT:	Sky Mark Apartments LLC	<input type="checkbox"/> ABSTAIN
CASE MANAGERS:	Planner: Sherman Feher; Engineer: Sarah White	
REQUEST:	Approval of a Final Development Plan for multi-family residential homes.	<input type="checkbox"/> CONTINUED TO:
MOTION SUMMARY:		Date: _____
ITEM 2: <i>(Click here to view the packet.)</i>	CASE NO. L16-003, SO. HARVEST MILE / LOCATION AND EXTENT PLAN (L&E)	
LOCATION:	Approximately ¼ m SE of Alameda and Grandbay St	VOTE:
ACREAGE:	7,000 sq. ft. site area	<input type="checkbox"/> IN FAVOR
EXISTING ZONING:	A-2	<input type="checkbox"/> OPPOSED
PROPOSED USE:	Gas Regulator Station	<input type="checkbox"/> ABSENT
APPLICANT:	Xcel Energy / Public Service Co.	<input type="checkbox"/> ABSTAIN
CASE MANAGERS:	Planner: Sherman Feher; Engineer: Sarah L. White	
REQUEST:	Approval of a Location and Extent Plan for a gas regulator station.	<input type="checkbox"/> CONTINUED TO:
MOTION SUMMARY:		Date: _____
ITEM 3: <i>(Click here to view the packet.)</i>	P15-002, CENTENNIAL CORP CTR #03 / L8 B1 / [JASKO ENTERPRISES TRUCKING FACILITY] / FINAL DEVELOPMENT PLAN (FDP)	
LOCATION:	7154 S Dillon Ct	VOTE:
ACREAGE:	1.27	<input type="checkbox"/> IN FAVOR
EXISTING ZONING:	MU	<input type="checkbox"/> OPPOSED
PROPOSED USE:	Company Headquarters Office Building	<input type="checkbox"/> ABSENT
APPLICANT:	Nick Kuntz from Ethos Construction	<input type="checkbox"/> ABSTAIN
CASE MANAGERS:	Planner: Bill Skinner; Engineer: Spencer M. Smith	
REQUEST:	Approval of a Final Development Plan for storage an office building.	<input type="checkbox"/> CONTINUED TO:
MOTION SUMMARY:		Date: _____

ANNOUNCEMENTS:

- The next regular Planning Commission meeting is scheduled for September 6, 2016.
- Planning Commission agendas, Board of County Commissioner agendas, and other important Arapahoe County information may be viewed online at www.arapahoegov.com or you may contact the Planning Division at 720-874-6650.

PLANNING COMMISSION MEMBERS:

Mark Brummel -	Richard Rader -	Paul Rosenberg, Chair -
Diane Chaffin -	Jane Rieck -	Richard Sall -
Brian Weiss, Chair Pro-Tem -		

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**MINUTES OF THE REGULAR MEETING OF THE
ARAPAHOE COUNTY PLANNING COMMISSION
TUESDAY, AUGUST 2, 2016**

ATTENDANCE	<p>A regular meeting of the Arapahoe County Planning Commission was called and held in accordance with the statutes of the State of Colorado and the Arapahoe County Land Development Code. The following Planning Commission members confirmed their continued qualification to serve:</p> <p>Paul Rosenberg, Chair; Brian Weiss, Chair Pro-Tem; Richard Rader; Jane Rieck; and Richard Sall.</p> <p>Also present were: Robert Hill, Senior Assistant County Attorney; Jason Reynolds, Current Planning Program Manager; Molly Orkild-Larson, Senior Planner; Chuck Haskins, Engineering Services Division Manager; Spencer Smith, Engineer; Bill Skinner, Senior Planner; Caitlyn Cahill, Animal Control Supervisor; Jan Yeckes, Planning Division Manager; Jeff Strauss, Audio/Visual, and members of the public.</p>
CALL TO ORDER	<p>Chair Rosenberg called the meeting to order at 6:35 p.m. and noted a quorum of the Board was present.</p>
DISCLOSURE MATTERS	<p>There were no Planning Commission member conflicts with the matters before them.</p>
GENERAL BUSINESS ITEMS:	
APPROVAL OF THE MINUTES	<p>The motion was made by Mr. Weiss and duly seconded by Ms. Rieck to accept the minutes from the <u>June 14, 2016</u> Planning Commission meeting, as presented.</p> <p>The motion passed unanimously.</p> <p>The motion was then made by Ms. Rieck and duly seconded by Mr. Sall to accept the minutes from the <u>June 21, 2016</u> Planning Commission meeting, as amended, to revise Study Session Item “Ms. Yeckes and Mr. Hill spoke individually with each Planning Commission member to discover whether there was confusion, as some neighbors had asserted.” to add “It was concluded there was no confusion.”</p> <p>The motion passed.</p>

	<p>The motion was then made by Ms. Rieck and duly seconded by Mr. Sall to accept the minutes from the <u>July 5, 2016</u> Planning Commission meeting, as presented.</p> <p>The motion passed.</p> <p>The motion was then made by Ms. Rieck and duly seconded by Mr. Rader to accept the minutes from the <u>July 19, 2016</u> Planning Commission meeting, as presented.</p> <p>The motion passed.</p>
<p>REGULAR ITEMS:</p>	
<p>Item 2:</p>	<p>Case No. P16-010, Sky Mark Apartments / Final Development Plan (FDP) – Sherman Feher, Senior Planner, Public Works and Development Department (PWD)</p> <p>Mr. Rosenberg announced agenda items would be taken out of order. He explained the applicant for Case No. P16-010 requested a continuance of today’s hearing, to a date certain of August 16, 2016, because of the anticipated length of the hearing for Littleton Valley Villas case.</p> <p>It was moved by Ms. Rieck and duly seconded by Mr. Sall to continue Case No. P16-010, Sky Mark Apartments / Final Development Plan, to the next regularly scheduled meeting of the Planning Commission, which would be held on Tuesday, August 16, 2016 @ 6:30 p.m., in the Arapahoe Room at Lima Plaza, 6954 S Lima St., Centennial, CO 80112.</p> <p>The vote was:</p> <p>Mr. Weiss, Yes; Mr. Rosenberg, Yes; Ms. Rieck, Yes; Mr. Sall, Yes; Mr. Rader, Yes.</p>
<p>Item 1:</p>	<p>Case No. Z16-001, Littleton Valley Villas / Preliminary Development Plan (PDP), Molly Orkild-Larson, Senior Planner, Public Works and Development (PWD)</p> <p>Mr. Rosenberg provided an overview of the meeting process for the 80+ people in attendance.</p> <p>Ms. Orkild-Larson established jurisdiction and provided a summary of the case. She stated staff had received dozens of comments from</p>

the public in the form of calls, letters, and emails, copies of which were included in the Planning Commissioner's (PC) packets. She said the majority opposed the proposal. As requested, Ms. Orkild-Larson read the concerns contained in the Littleton School District referral letter and provided answers to those questions. She stated staff was recommending denial of the application, based on findings in the staff report.

Rick Holpp, Site Dynamics, Inc. and KB Home Colorado, presented a PowerPoint, a copy of which was retained for the record. He introduced the design team who provided an overview of the proposed project. Paired home lot detail was shown. The comprehensive plan goals were outlined in detail. A map of land uses, along South Platte Canyon Road, were shown and color-coded to demonstrate the compatibility and transition. Mr. Holpp reviewed project benefits and responded to staff findings, specifically their opposition of said findings.

There were discussions regarding density, other similarly designed sites in unincorporated Arapahoe County (AC), cross-sections with elevation changes and trees depicted graphically vs. actual size of trees for the first few years after planting (willing to negotiate with staff on larger trees), width of private streets and whether they would accommodate pedestrians walking through the neighborhood (pedestrian circulation is connected to front of units with sidewalks and trail and not along the private roads, which were the back garage entries), whether the trailhead would be redesigned from its current configuration (working with South Suburban Parks and Recreation District on a redesign and reasons for redesign).

Mr. Rosenberg explained the public comment process and opened the hearing for public comments.

Approximately 20 people spoke in opposition of the project, citing the following as obstacles:

1. Access from Bowles
2. Proximity of buildings to nearby properties
3. Height of buildings
4. Inadequate setbacks / buffers
5. Lack of neighborhood participation during summer meetings
6. Traffic congestion
7. Project does not provide any benefits for the neighborhood
8. Noise
9. Overcrowding of schools

10. Zoned for Single Family Residences to protect other neighborhoods.
11. Too high density
12. Safety/Security
13. Poor design and sight line at access points
14. Property should be annexed into Littleton and developed in a suitable manner
15. Lack of visitor parking

A handful of people spoke in favor of the project, stating the proposed changes would attract younger buyers to the neighborhood and give them much needed opportunities, such as great school districts. They felt it was an appropriate project type for the site. The property owner stated he had spoken with 1,000 people who agreed they would like to see these types of homes available to them in the Littleton area.

The applicant was given an opportunity to address public comments/concerns. It was reported all homes fronting S. Platte Canyon Road would be front doors. Also front doors facing all adjacent property owners; the rear elevations face inward to the project. It was stated the Comp Plan created a unique community by creating more housing diversity and a new price-point to the area. Access from W. Bowles Avenue would likely be retained for school buses. The applicant stated they could look at gating. The only other bus route would require backing up the bus in the neighborhood. It was noted a “successful project” was one that was approved and built; where people bought homes and enjoyed the community.

There were continued discussions regarding some of the case details, such as the number of expected students as a result of the project; access, emergency access, annexation, traffic, zoning, comp plan, density, buffering, the possibility of commercial vs. residential, home prices, and potential tax revenue.

It was moved by Ms. Rieck and duly seconded by Mr. Rader, in the case of Z16-001, Littleton Valley Villas / Preliminary Development Plan, that the Planning Commission had read the staff report and received testimony at the public and found themselves in agreement with staff findings 1 through 3, including all plans and attachments as set forth in the staff report dated July 25, 2016, and recommended the Board of County Commissioners deny the request for a Preliminary Development Plan to change from Residential District (R-2) to Residential PUD-Moderate Density (R-PM).

	The vote was: Mr. Weiss, No; Ms. Rieck, Yes; Mr. Rader, Yes; Mr. Sall, Yes; Mr. Rosenberg, No.
ADJOURNMENT	There being no further business to come before the Planning Commission, the meeting was adjourned.

ARAPAHOE COUNTY PLANNING COMMISSION
PUBLIC HEARING AGENDA
August 2, 2016
6:30 P.M.

CASE # P16-010 – SKY MARK APARTMENTS – FINAL DEVELOPMENT PLAN

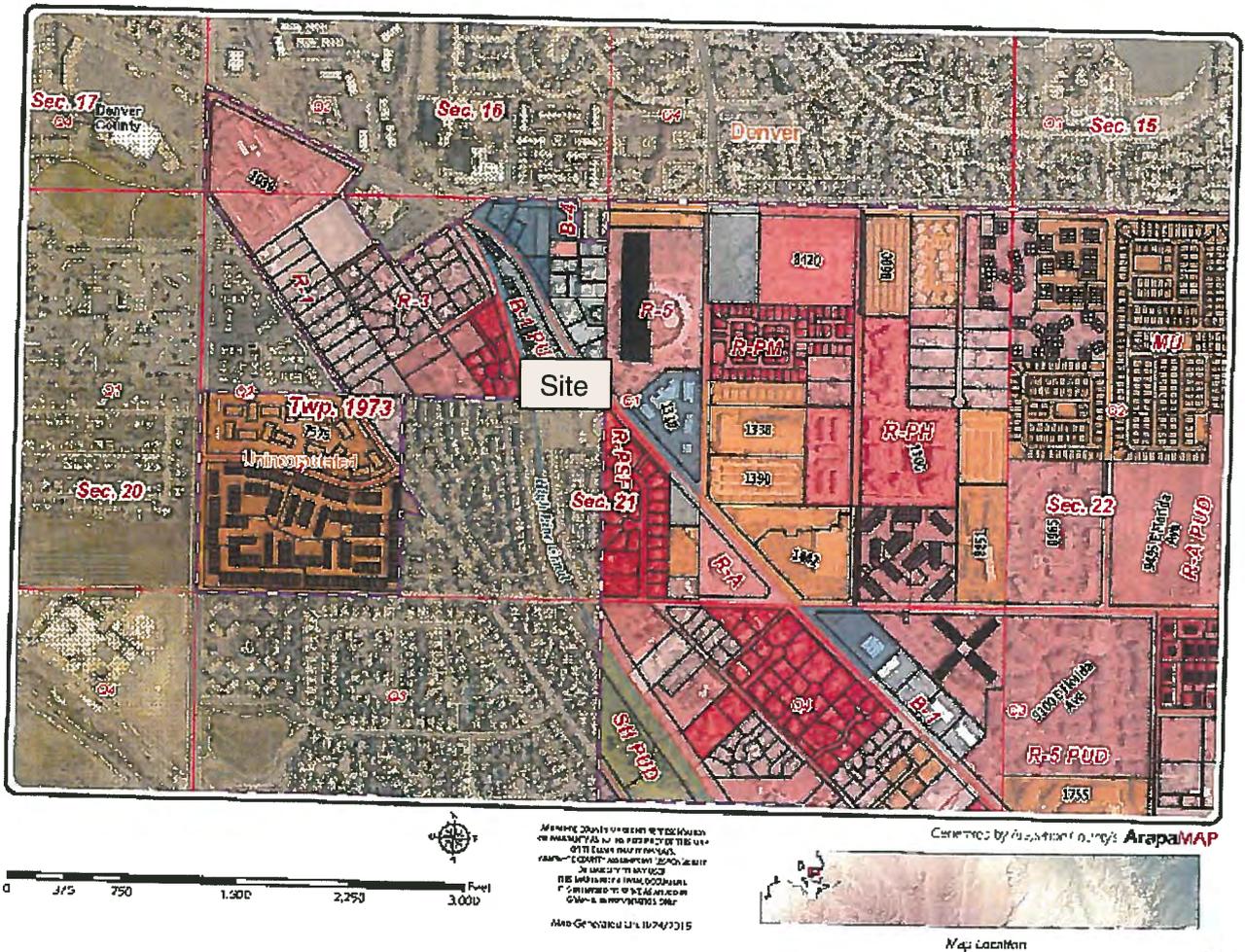
SHERMAN FEHER, SENIOR PLANNER

JULY 25, 2016

VICINITY MAP The site is located northwest of the intersection of South Ulster Street and Parker Road. This property is in Commissioner District 4.



VICINITY MAP



ZONING MAP

ADJACENT SUBDIVISIONS, ZONING, AND LAND USES:

North	Creekview Subdivision, B-1 PUD, Office Buildings.
East	Highline Centre Office Building Condos, B1-PUD; Offices and Club Valentia Condominium, R-5, Multi-family Residential.
South	Villas at Sky Mark Townhomes, Denver Zoning, Multi-family Residential.
West	Distinctive Addresses at Mountain View Subdivision, R-PSF, Single-family Residential; Hughes at Mountain View Subdivisions, R-1 and R-3, Single-family Residential and Unnamed Subdivision, RA, 3 single-family residential units. Note: Highline Canal is also to the west of the proposed development although it is not a subdivision.



Looking south over western portion of site



Looking south over site along Parker Road



Looking west over site



Looking west over site along southern border



Adjacent business park to the north



Adjacent business park to the east, across Parker Road



Villas at Sky Mark development to the south of site in Denver



Residential development to the west of site



High line Canal Trail
to the west of site

PROPOSAL:

The applicant, Sky Mark Apartments, LLC, on behalf of Canamer Building Corp, owner, is requesting approval of a Final Development Plan (FDP). This FDP, if approved, provides a detailed site plan for 95 multi-family dwelling units to be located on 2.14 acres.

This proposal is part of a two-part development – one part in unincorporated Arapahoe County and the other on an adjacent property in the City and County of Denver; the applicant’s intent is to develop the two sites cohesively as a single project. The total site area within Arapahoe County and Denver is approximately 4.9 acres, and the applicant has indicated plans to construct a total of 190 dwelling units between both jurisdictions, which is 38.8 du/ac density for the total site area. The applicant has submitted an application to the City and County of Denver for 95 dwelling units which is currently undergoing review.

RECOMMENDATION:

Staff: Staff recommends that the Sky Mark Apartments Final Development Plan (FDP) be APPROVED with stipulated conditions of approval, based on the findings contained in the staff report.

I. BACKGROUND

The property was originally zoned RA in 1961. The property was rezoned B1-PUD for offices (Case No. Z80-026) on September 8, 1980. On September 1, 2015, the Planning Commission denied a Sub-Area Plan/Comprehensive Plan Amendment to allow high density, multi-family land use on this property. Following the denial of the Sub-Area Plan/Comprehensive Plan Amendment, the applicant submitted an application for a Preliminary Development Plan (PDP) for a maximum of 95 dwelling units at a density of 45 dwelling units/acre. On September 1, 2015, the Planning Commission recommended denial of the PDP because the PDP was not consistent with the Sub-Area Plan/Comprehensive Plan. Later, on November 16, 2015, the BOCC approved the PDP with stipulated conditions of approval, with findings that the PDP was in general conformity with and otherwise achieves the goals of the Arapahoe County Comprehensive Plan.

II. DISCUSSION

Staff’s review of this application included a comparison of the project to policies and goals outlined in the Comprehensive Plan, Land Development Code, and an analysis of referral comments.

1. The Comprehensive Plan

The Comprehensive Plan – Four Square Mile Sub-Area Plan designates this property as “Employment.”

“Employment” uses are defined for the purposes of the Comprehensive Plan as follows: “Primary uses are: Major service and office center complexes, warehousing and light industrial uses that can include outdoor storage, research and development offices and assembly of parts and components. Secondary uses are: Supporting uses that complement the primary employment uses such as restaurants, hotels, small office centers, convenience shopping, community shopping, and regional shopping centers, and **higher density residential uses in a planned development**. There should be minimal impacts from noise, light, dust, vapors, odors, refuse, smoke, and vibration. Employment center should have a direct access to at least one arterial street or highway” (emphasis added).

The Board of County Commissioners made the following findings when they approved the Preliminary Development Plan related to the Arapahoe County Comprehensive Plan (Four Square Mile Sub-Area Plan).

“WHEREAS, the Board of County Commissioners finds that the project as proposed across the Arapahoe County portion and the City and County of Denver portion is in general conformity with and otherwise achieves the goals of the Arapahoe County Comprehensive Plan in the following regards:

a). The density of the proposed development when considered with and spread across the Denver portion of the development is reduced from what the applicant is already entitled to build in Denver; and

b). Under the Four Square Mile Subarea Plan, secondary supporting uses in a an Employment Center designation include higher density residential uses in a planned development and this residential development could support the existing commercial uses in the area; and

c). The proposed re-zoning and Preliminary Development Plan promotes compact growth in urban service areas and development of undeveloped land at urban densities in an efficient and attractive manner; and

d). The proposed re-zoning and Preliminary Development Plan constitutes in-fill development that is generally compatible with existing land uses in Urban Service Areas and is in general conformity with and compatible in scale, use and character of the area, especially when the entire area across both jurisdictions neighboring the proposed development is considered; and

e). The proposed re-zoning and Preliminary Development Plan promote a diverse type of housing and at a density that is appropriate to meet the changing needs the Arapahoe County Urban Service Area; and

f). The Board of County Commissioners finds that the proposed re-zoning and Preliminary Development Plan achieve the Comprehensive Plan's intention to encourage new residential development within the Urban Service Area to develop at higher densities than what is currently typical to reduce the amount of land consumed and to ensure efficient infrastructure."

The proposed FDP develops the property as planned by the PDP. Like the PDP, the FDP is consistent with the Arapahoe County Comprehensive Plan.

2. Land Development Code Review and Additional Information

Chapter 13-100 of the Land Development Code states that the P.U.D. process is intended to prevent the creation of a monotonous urban landscape by allowing for the mixture of uses which might otherwise be considered non-compatible, through the establishment of flexible development standards, provided said standards:

- a. Recognize the limitations of existing and planned infrastructure, by thoroughly examining the availability and capability of water, sewer, drainage, and transportation systems to serve present and future land uses.

Water and sewer capability will be provided by Cherry Creek Valley Water and Sanitation District. An existing road system generally serves present and future uses.

The Traffic Impact Study analyzed the entire project, including the 95 proposed units located on the Denver County parcel. The analysis concluded that the 190 total units would generate an average daily traffic count of 1,264 vehicles, of which 97 vehicles would contribute to AM peak hour traffic and 118 vehicles would contribute to PM peak hour traffic on Parker Rd. Existing traffic flows can be heavy during peak hour traffic on Parker Road, however proposed site generated traffic meets the level of service (LOS) standards set forth in the Arapahoe County 2035 Transportation Plan. There may be some degradation to the level of service at the two stop controlled intersections; from a D/F LOS to an F/F at the north Creekside access and from a B/A to a B/B LOS at the South Ulster access.

Some drainage improvements will be required as part of the Final Development Plan.

- b. Assure compatibility between the proposed development, surrounding land uses, and the natural environment.

This proposed FDP is generally compatible with the surrounding land uses. The adjacent surrounding land uses to the west, northwest and south-southeast are generally single-family residential. The western setback and the Highline Canal provide a 150-ft. buffer between the site and existing single family homes. The submittal materials include photo simulation demonstrating how the transition to 90-ft. tall structures is generally compatible with the single-family residential neighborhood of one and two story homes. The applicant is also proposing to provide landscaping bushes along the western property line of this development. There are also some existing trees west of the property line which will help buffer the proposed development from neighboring subdivisions.

- c. Allow for the efficient and adequate provision of public services. Applicable public services include, but are not limited to, police, fire, school, park, and libraries.

The proposed FDP generally provides for adequate provision of public services. Public services appear to be adequately provided, as evidenced by the response or lack of response to referrals. The Cunningham Fire Protection District referral response letter stipulates certain requirements. It appears that these requirements should generally be able to be met, assuming that the applicant and fire district are able to resolve any differences. This will be a condition of approval.

- d. Enhance convenience for the present and future residents of Arapahoe County by ensuring that appropriate supporting activities, such as employment, housing, leisure-time, and retail centers are in close proximity to one another.

The proposed FDP may enhance convenience for a limited number of present and future residents of Arapahoe County by providing for multi-family housing in an area which has some retail centers and employment.

- e. Ensure that public health and safety is adequately protected against natural and man-made hazards which include, but are not limited to, traffic noise, water pollution, airport hazards, and flooding.

The proposed FDP needs to ensure that public health and safety are adequately protected against natural and man-made hazards. The development facilitated by the proposed FDP will be required to comply with certain engineering and building code standards, as well as drainage and water quality standards in order to ensure that public health and safety are adequately protected. Other than the increased noise and traffic which might slightly increase the risk to public health and safety, the proposed FDP will likely ensure that public health and safety is adequately protected against natural and man-made hazards.

- f. Provide for accessibility within the proposed development, and between the development and existing adjacent uses. Adequate on-site interior traffic circulation, public transit, pedestrian avenues, parking and thoroughfare connections are all factors to be examined when determining the accessibility of a site.

Public accessibility will be provided by the existing roads (Parker Road and S. Ulster Street) and a pedestrian circulation system. In addition to public sidewalks along public street corridors, the applicant has proposed a public pedestrian connection to the Highline Canal trail system which is shown on the FDP. Signage is proposed to warn vehicles and pedestrians of potential conflicts near the garage entrance on the northern part of the property.

- g. Minimize disruption to existing physiographic features, including vegetation, streams, lakes, soil types and other relevant topographical elements.

There may be limited disruption to existing physiographic features with this FDP. There are no streams or lakes on this property. Setbacks from the Highline Canal and any new access approved to the Highline Trail will be required to meet the standards already in place for protection of this canal corridor. At least 16 mature trees are located west of the proposed development and within the Highline Canal right-of-way which will also provide an additional buffer between the proposed development and adjacent subdivisions.

- h. Ensure that the amenities provided adequately enhance the quality of life in the area, by creating a comfortable and aesthetically enjoyable environment through conventions such as, the preservation of mountain views, the creation of landscaped open areas, and the establishment of recreational activities.

Landscaping will provide amenities for this property. The proposed development would provide a public connection to the High-line Canal if approved by the Denver Water Board or other regulating authority. If this FDP is approved, Staff is proposing a condition of approval that would allow a public access connection to the High-line Canal.

- i. Enhance the usable open spaces in Arapahoe County, and provide sufficient unobstructed open space and recreational area to accommodate a project's residents and employees.

The proposed FDP provides for 35.5% open space on this property, which is slightly above the required amount of landscaped-open space for high-density residential according to the Land Development Code. The applicant has provided additional amounts of open space related uses as follows: Plaza Space = 10.4% and Walks = 8.3%.

OTHER ISSUES:

1. **COMPANION DEVELOPMENT:** One issue related to this development in unincorporated Arapahoe County is an adjacent proposed development in the City and County of Denver to the south, which, as demonstrated in the application to Arapahoe County, is proposed to be part of a single, cohesive project across the two jurisdictions, with shared amenities including a club house located on the Arapahoe County portion of the project. Zoning approval has already been granted by the City and County of Denver for R-4 zoning to facilitate multifamily development with a very high density of approximately 90 du/ac. The zoning for the Denver development would allow 276 dwelling units and a building height of up to 300 feet or 22 stories. The applicant for the unincorporated Arapahoe County project is also the developer for the Denver project.

The applicant has submitted an application to the City and County of Denver that appears to complement the Arapahoe County proposed development in this area. The review and approval of this application is expected to be completed by the City and County of Denver within the next month or so.

If this FDP is approved, Staff would recommend that a Condition of Approval stipulate that the Denver development be similar in density, building scale, number of stories and building height as the project approved by Arapahoe County. This may necessitate that the applicant receive final site plan approval from the City and County of Denver prior to obtaining building permits for the Arapahoe County portion of the project.

2. **OTHER PLANNING ISSUES:** There are a number of other planning issues that need to be addressed by the applicant prior to the signing of mylars. These include clarification of measurements, elevation, location, and types of

signs; plus including a legend symbol for removed trees; and clarification of some lines etc. A condition of approval will be added to address these relatively minor issues.

3. REPLAT OF PROPERTY: The property for the proposed development will also be replatted as a separate case. This case will not be heard by the Planning Commission. Part of the Replat/Final Plat process is cash-in-lieu of dedicated land for schools, public parks and other public purposes. The replat case will be heard at the same time as this FDP by the BOCC.

III. REFERRAL COMMENTS

Comments received as a result of the referral process are as follows:

Engineering	Comments regarding multi-jurisdictional land development, SEMSWA, SIA, FDP Plan, Phase 3 Drainage Report, and Construction Plans. <i>The applicant has or will need to respond to all of these comments.</i>
Mapping	Mapping provided a number of comments. <i>The applicant has or will respond to Mapping comments.</i>
Arapahoe County Assessor	No response.
Arapahoe County Zoning	Comments regarding landscaping amounts. <i>The applicant has or will respond to these comments.</i>
Arapahoe County Open Spaces	Comments regarding the public trail to proposed Highline Canal pedestrian bridge. <i>The applicant has or will respond to these comments.</i>
Arapahoe County Sheriff	Having complex in two different jurisdictions pose significant issues for public safety response; need two separate and distinct addresses is needed. <i>Applicant provided address plat</i>
City/County of Denver	Okay with project.
Army Corps of Engineers	Comments regarding 404 Permit. <i>Comment noted.</i>
Arapahoe County Building Division	Comments regarding building and fire code requirements during PDP case. <i>The applicant will need to meet all Building Permit requirements.</i>
Urban Drainage	No response.
SEMSWA	Comments regarding construction plans, FDP; and the Phase III Drainage Report. <i>Applicant has or will respond to these comments. This will be a condition of approval.</i>
Cunningham FPD	Comments regarding fire suppression plan, fire

	lanes and access, fire hydrants, and construction plans. <i>Applicant with meet fire district requirements. This will be a condition of approval.</i>
CDOT	No response.
Xcel Energy	They own natural gas distribution facilities and an easement. <i>Applicant provided easement.</i>
Four Square Mile Group	No response.
Arapahoe County Library District	Requests share of cash-in-lieu monies. <i>Applicant will provide cash-in-lieu monies.</i>
Cherry Creek School District	Comments regarding land dedication of .482 acres or cash-in-lieu using appraised value method. <i>Applicant noted comments and will need to use appraised value method for cash-in-lieu fees; cash-in-lieu fees will be further addressed with the Final Plat per the PDP condition of approval.</i>
Tri-County Health	No new comments; refer to January 14, 2015 comments on sun safety, detention pond, community garden, active living and mosquito control plan. <i>Applicant responded to these comments and will provide a mosquito control plan.</i>
Cherry Creek W&S District	Provided "Will Serve" Letter with PDP case.
Century Link	No response.
RTD	No response.
West Arapahoe SCD	No response.
Post Office	No response.

IV. STAFF FINDINGS:

Staff has visited the site and has reviewed the proposed Final Development Plan (PDP), supporting documentation and referral comments. Based upon review of applicable policies and goals in the Arapahoe County Comprehensive Plan, including the Four Square Mile Sub-Area Plan, and the criteria established by the Land Development Code for approval of a Preliminary Development Plan, and analysis of referral comments, our findings include:

1. Based on the BOCC findings approving the Preliminary Development Plan for Sky Mark Apartments (Case No. Z14-009), the proposed FDP generally conforms to and otherwise achieve the goals of the Arapahoe County Comprehensive Plan/Four Square Mile Sub-Area Plan.

2. The FDP appears to satisfy the Arapahoe County Zoning Regulations submittal requirements, including Chapter 13, Section 13-100, Planned Unit Development (P.U.D).
3. The proposed FDP is consistent with the R-PH zoning (multi-family residential of 45 du/ac) which was approved by the Board of County Commissioners on November 16, 2015.
4. There are some Planning and Engineering issues that need to be addressed with the FDP, prior to the signing of mylars.
5. There are some other issues that pertain to SEMSWA, Cunningham Fire Protection District, Cherry Creek School District, etc. that need to be addressed.

V. RECOMMENDATION:

Considering the findings and other information provided herein, staff recommends APPROVAL of the proposed Sky Mark Apartments Final Development Plan (P16-010) with the stipulated conditions of approval.

1. The applicant agrees to abide by all material representations as presented with the P16-010 application at the public hearing, including but not limited to:
 - a. Applicant's representation and portrayal of the overall project that the portion of the project on the adjacent property within the City and County of Denver will be of such configuration, scale and design to result in the appearance of a cohesively planned and designed project across the two jurisdictions, and that in order to achieve this cohesiveness, on the adjacent Denver portion of the project, applicant will restrict the number of dwelling units to 95, with no more than five floors of residential units above a two-floor garage and a maximum building height of 90 feet; and
 - b. Evidence of final site plan approval for the Denver portion of the project by the City and County of Denver must be made available to the Arapahoe County Planning Division prior to issuance of building permits by the Arapahoe County Building Division, subject to approval of a Final Development Plan for the unincorporated property by the Arapahoe County Board of County Commissioners.
2. The applicant will pay cash-in-lieu fees at the Final Plat stage to the Cherry Creek School District using the Appraised Value method of calculation established within the Land Development Code (Section 14-111.05.02).
3. The applicant will pay other cash-in-lieu fees at the Final Plat to the Arapahoe County Library District, as well as Parks using the Appraised Value method. (Land Development Code, Section 14-111.05.02)
4. The applicant will provide the County with a Mosquito Control Plan per the recommendation of Tri-County Health Department.

5. The applicant will comply with all conditions and requirements listed in the Cunningham Fire Protection District referral letter.
6. The applicant will allow the public to use the proposed pedestrian access to the Highline Canal Trail with a public-use easement, if location, design and construction of a pedestrian access are approved by the Denver Water Board or other regulating authority. The trail location and design shall be acceptable to Arapahoe County and the Denver Water Board.
7. The applicant will address all issues and concerns raised by Public Works and Development staff prior to the signing of mylars
8. The applicant will meet all of the requirements listed in all of the reports and letters by Arapahoe County Engineering Services Division; this includes a Subdivision Improvement Agreement.
9. The applicant will need to provide the County with a cross-access/shared parking agreement for both the Denver County and Arapahoe County parcels. The agreement will need to be recorded in both jurisdictions and referenced on the replat and FDP exhibits.
10. The applicant will comply with all SEMSWA conditions and requirements listed in the referral letters of SEMSWA.
11. The applicant shall obtain legal access to the project site from Parker Road that complies with all applicable County and State laws and regulations and shall resolve the claims against the title to the project site asserted by Creekside at Highline Owners Association by letter dated November 6, 2015 from Attorney John H. Licht or provide evidence of a title insurance policy providing title insurance covering the claims against the title asserted by the Creekside at Highline Owners Association.

VI. DRAFT MOTIONS:

A. APPROVAL *(This recommendation would be consistent with the Staff recommendation):*

In the case of P16-002, Sky Mark Apartments Final Development Plan, we have read the staff report and received testimony at the public hearing. Based on a review of the application materials and plans and on testimony received at the public hearing, we find that the proposal meets the relevant review and approval criteria, and recommend the Board of County Commissioners APPROVE the request for the proposed Final Development Plan with the stipulated conditions of approval, based on the findings contained in the staff report:

1. The applicant agrees to abide by all material representations as presented with the P16-010 application at the public hearing, including but not limited to:
 - a. Applicant's representation and portrayal of the overall project that the portion of the project on the adjacent property within the City and County of Denver will be of such configuration, scale and design to result in the appearance of a cohesively planned and designed project across the two jurisdictions, and that in order to achieve this cohesiveness, on the adjacent Denver portion of the project, applicant will restrict the number of dwelling units to 95, with no more than five floors of residential units above a two-floor garage and a maximum building height of 90 feet; and
 - b. Evidence of final site plan approval for the Denver portion of the project by the City and County of Denver must be made available to the Arapahoe County Planning Division prior to issuance of building permits by the Arapahoe County Building Division, subject to approval of a Final Development Plan for the unincorporated property by the Arapahoe County Board of County Commissioners.
2. The applicant will pay cash-in-lieu fees at the Final Plat stage to the Cherry Creek School District using the Appraised Value method of calculation established within the Land Development Code (Section 14-111.05.02).
3. The applicant will pay other cash-in-lieu fees at the Final Plat stage to the Arapahoe County Library District, as well as Parks using the Appraised Value method. (Land Development Code, Section 14-111.05.02)
4. The applicant will provide the County with a Mosquito Control Plan per the recommendation of Tri-County Health Department.
5. The applicant will comply with all conditions and requirements listed in the Cunningham Fire Protection District referral letter.
6. The applicant will allow the public to use the proposed pedestrian access to the Highline Canal Trail with a public-use easement, if location, design and construction of a pedestrian access are approved by the Denver Water Board or other regulating authority. The trail location and design shall be acceptable to Arapahoe County and the Denver Water Board.
7. The applicant will address all issues and concerns raised by Public Works and Development staff prior to the signing of mylars
8. The applicant will meet all of the requirements listed in all of the reports and letters by Arapahoe County Engineering Services Division; this includes a Subdivision Improvement Agreement.

9. The applicant will need to provide the County with a cross-access/shared parking agreement for both the Denver County and Arapahoe County parcels. The agreement will need to be recorded in both jurisdictions and referenced on the replat and FDP exhibits.
10. The applicant will comply with all SEMSWA conditions and requirements listed in the referral letters of SEMSWA.
11. The applicant shall obtain legal access to the project site from Parker Road that complies with all applicable County and State laws and regulations and shall resolve the claims against the title to the project site asserted by Creekside at Highline Owners Association by letter dated November 6, 2015 from Attorney John H. Licht or provide evidence of a title insurance policy providing title insurance covering the claims against the title asserted by the Creekside at Highline Owners Association.

B. DENIAL (*This recommendation would not be consistent with the Staff recommendation. Any alternate motion must include new findings and conditions in support of the motion for Approval where those differ from the Staff-recommended findings and conditions*):

In the case of P16-010, Sky Mark Apartments Final Development Plan, we have read the staff report and received testimony at the public hearing. We find ourselves not in agreement with staff findings regarding the draft plan and attachments as set forth in the staff report dated September 18, 2015, and recommend the Board of County Commissioners DENY the request for approval of the Final Development Plan.

Findings:

1. *State new or amended findings to support Planning Commission recommendation of "Denial" as part of the motion.*
- 2.

C. CONTINUE: In the case of P16-010, Sky Mark Apartments, Final Development Plan, I move to continue the decision on this request to [DATE], 2016, date certain, at 6:30 p.m., at this same location [to receive further information] [to further consider information presented during the hearing].

Attachments:

Application
PDP Exhibit
Referral Comments



Public Works and Development
 6924 S. Lima Street
 Centennial, Colorado 80112
 Phone: 720-874-6650 FAX 720-874-6611
www.arapahoegov.com

Land Development Application Formal
 Form must be complete

APPLICANT/REPRESENTATIVE: Sky Mark Apartments, LLC. Attn: Derrell Schreiner	ADDRESS: 155 South Madison Street Denver, CO 80209 PHONE: 303.632.6755 FAX: EMAIL: derrellschreiner@gmail.com	SIGNATURE: <i>[Signature]</i> NAME: Derrell Schreiner TITLE: Owner Rep
OWNER(S) OF RECORD: Canamer Buildings Corp. Attn: Joe DelZotto	ADDRESS: 4800 Dufferin Street, Suite 200 Toronto Ontario, M2M1K PHONE: 303.888.8048 FAX: EMAIL: jad@delwest.com	SIGNATURE: <i>[Signature]</i> NAME: Joe DelZotto TITLE: President
PLANNING FIRM: Norris Design	ADDRESS: 1101 Bannock St Denver, CO 80204 PHONE: 303.892.1166 FAX: 303.892.1186 EMAIL: rmcbreen@norris-design.com	CONTACT PERSON: Ryan McBreen

Pre-Submittal Case Number: Q14-031 / 148-2015 Pre-Submittal Planner: Sherman Feher Pre-Submittal Engineer:

Parcel ID number: 1973-21-2-06-005, 1973-21-2-06-006, 1973-21-2-06-007

Address: 1291 South Parker Road

Subdivision Name: Creekview

	EXISTING	PROPOSED
Zoning:	R-PH (Residential PUD - High Density)	R-PH (Residential PUD - High Density)
Project/Subdivision Name:	Creekview	Creekview
Site Area (Acres):	2.14 AC	2.14 AC
Floor Area Ratio (FAR):	N/A	N/A
Density (Dwelling Units/Acre):	45 du/ac	44.4 du/ac
Building Square Footage:	Max 180,000	115,550 sf
Disturbed Area (Acres):	2.14 AC	2.14 AC
Related Case Numbers: (Final/Preliminary Development Plan, Rezoning, and/or Plat)	Z80-026 / P81-026 / Z14-009	Z80-026 / P81-026 / Z14-009

CASE TYPE

	1041- Areas & Activities of State Interest	Location & Extent	Preliminary Development Plan	Special District/Title 30
	1041- Areas & Activities of State Interest – Use by Special Review	Location & Extent – Major Amendment	Preliminary Development Plan – Major Amendment	Special District/Title 32
	Comprehensive Plan	Master Development Plan	Preliminary Plat	Street Name Change
X	Final Development Plan	Master Development Plan – Major Amendment	Replat - Major	Use by Special Review
	Final Development Plan – Major Amendment	Minor Subdivision	Rural Cluster	Use by Special Review – Major Amendment
X	Final Plat	Planned Sign Program	Rezoning Conventional	Use by Special Review – Oil & Gas
	Land Development Code Amendment	Planned Sign Program – Major Amendment	Rezoning Conventional – Major Amendment	Vacation of Right-of-Way/Easement/Plat

THIS SECTION FOR OFFICE USE ONLY

Case No: P16-010 Planning Manager: Sherman Engineering Manager: Sarah

Planning Fee: N Y \$ 30,000.00 Engineering Fee: N Y \$ 2500 (500)

This application shall be submitted with all applicable application fees. Submittal of this application does not establish a vested property right in accordance with C.R.S. 24-68-105(1). Processing and review of this application may require the submittal of additional information subsequent reviews, and/or meetings, as outlined in the Arapahoe County Land Development Code.

RECEIVED
 FEB 24 2016
ARAPAHOE COUNTY PLANNING DIVISION

1101 Bannock Street
Denver, Colorado 80204
303.892.1166



February 23, 2016

Mr. Sherman Feher
Arapahoe County Public Works and Development
6924 S. Lima Street
Centennial, CO 80112

Re: Sky Mark Apartments Letter of Intent:: Final Development Plan and Final Plat

Dear Mr. Feher,

It is our pleasure to submit to you and Arapahoe County this application for the Sky Mark Apartments Final Development Plan (FDP) and Final Plat. The purpose of this letter is to introduce the intent of this project as well as the land use goals of this new development. Accompanying this Letter of Intent are the materials required for the Phase I Submittal with the Arapahoe County Public Works and Development Department.

Project Location

The Sky Mark Apartments are located on a ~2.14 acre parcel within unincorporated Arapahoe County. South Parker Road comprises the eastern boundary of the site, and will provide vehicular access. The project is also flanked by the High Line Canal to the west, and a business park to the north. On the south boundary is a currently undeveloped parcel located within the limits of the City and County of Denver. This parcel in Denver is being developed simultaneously as the Arapahoe County Parcel with similar uses, with the outcome being a single, master planned community. Please see additional detail in the next section.

Project Description

Proposed within the accompanying FDP is project comprised of a single, 95 multi-family family residential unit building comprised of 5 residential stories over 2 stories of covered parking. In addition to the multi-family residential building, another single-story building is proposed that will serve as an amenity center that includes a pool, clubhouse, meeting areas, exercise areas, and rental offices. Building siting and planning are consistent with Arapahoe County standards and approved PDP and provide for ample buffering to the west and north to existing uses, and help to set the edge to create an appealing streetscape on the east side along Parker Road. Please see included FDP plan set for additional site plan detail.

The Sky Mark Apartments project is unique in that it is a development in two different jurisdictions: Arapahoe County and the City and County of Denver. While this FDP application only encompasses the parcels located within Arapahoe County, the Applicant would be remiss if they didn't at least briefly introduce the project as a whole to ensure a full and complete understanding of the overall project vision.

The overall comprehensive vision for the project that includes all parcels within the City and County of Denver and Arapahoe County is for a high-quality, master planned multi-family project with a maximum of 190 multi-family dwelling units, with 95 units being located on the parcel in Denver, and 95 units located on the Arapahoe County parcel, provided within two individual buildings. Both internally accessed residential buildings will be comprised of 5 residential stories over 2 stories of garage parking. These buildings will be served by a clubhouse amenity located on the Arapahoe County parcel and shown as a part of this FDP application. Vehicular access for the project will come through Ulster Street on the south and Parker Road on the north. There is a separate site development plan

process that the Applicant has engaged with the City of Denver for the part of the development that lies within their jurisdiction. A formal submittal was made to the City of Denver on February 16, 2016.

In addition to these applications, the Applicant is working with Denver Water, the City of Denver, and Arapahoe County to develop a public pedestrian crossing over the adjacent High Line Canal. A conceptual location is shown as a part of the FDP application, and is subject to change and be revised during the approvals process. The Applicant intends to keep Staff apprised of this progress as the work is being coordinated simultaneously with this application.

Compliance with Approved Preliminary Development Plan and Arapahoe County Standards

On November 16, 2016, the Arapahoe County Board of County Commissioners approved the Sky Mark Apartments Preliminary Development Plan (PDP) (Case #Z14-009) for this property. At the time, the Arapahoe County Board of County Commissioners determined that the rezoning of this property and the standards included within the PDP: were entirely appropriate for the subject property, met the standards of the Arapahoe County Development Code, and were consistent with the goals and objectives of the Arapahoe County Comprehensive Master Plan.

The plans presented as a part of these FDP and Final Plat applications are consistent with standards as required by this approved PDP. All development standards required by the PDP are being followed by this FDP application, including, but not limited to; setbacks, building height, signage, building sizes, minimum unobstructed open space requirements, density, and permitted uses. In addition, as permitted with the approved PDP, parking will meet Arapahoe County standards, but may be partially met by providing parking on the adjacent parcel being developed within Denver. Parking for the overall project (Denver and Arapahoe County) will meet both the standards for Arapahoe County and Denver. Currently, the Applicant is working with the Arapahoe County Attorney's office to craft an agreement that clearly defines this shared parking agreement. Once this document has been prepared, it will be provided for Staff's review.

During the hearing with the Arapahoe County Board of County Commissioners in which the Sky Mark Apartments PDP was approved, the resolution approved by the Board of County Commissioners included several conditions of approval in which future applications for this project must meet. As detailed below, this Application has met, or will meet these conditions as part of these FDP and Final Plat applications.

- a. **Condition:** *The applicant agrees to abide by all material representations as presented with the Z14-009 application at the public hearing, including but not limited to: 1. Applicant's representation and portrayal of the overall project that the portion of the project on the adjacent property within the City and County of Denver will be of such configuration, scale and design to result in the appearance of a cohesively planned and designed project across the two jurisdictions, and that in order to achieve this cohesiveness, on the adjacent Denver portion of the project, applicant will restrict the number of dwelling units to 95, with no more than five floors of residential units above a two-floor garage and a maximum building height of 90 feet; and 2. Evidence of final site plan approval for the Denver portion of the project by the City and County of Denver must be made available to the Arapahoe County Planning Division prior to issuance of building permits by the Arapahoe County Building Division, subject to approval of a Final Development Plan for the unincorporated property by the Arapahoe County Board of County Commissioners.*

Applicant Response: As previously described within this Letter of Intent, the project has been designed and planned as a single, cohesive, master planned multi-family residential community. The development on the Denver parcel is proposed at 95 units with no more than five floors of residential units above a two-floor

garage and a maximum building height of less than 90 feet. The accompanying FDP plans show screened back plans for the development on the Denver parcel. Within these planning documents it is clear to see the intent for a cohesive development is met and the plan presented is substantially the same as portrayed during the Arapahoe County Board of County Commissioners Public Hearing on November 16, 2015. Additionally, the Applicant made a formal site plan application to the City of Denver on February 16, 2016. While the Denver and Arapahoe County application and review process is very similar the Denver approval is administrative, and the Applicant intends for this approval to occur prior to the timing of public hearings for the FDP and Final Plat within Arapahoe County. Once approved within Denver, the Applicant will provide proof of approval to Arapahoe County Staff as requested.

- b. **Condition:** *The applicant will pay cash-in-lieu fees at the Final Plat or Final Development Plan stage to the Cherry Creek School District using the Appraised Value method of calculation established within the Land Development Code (Section 14-111.05.02).*
Applicant Response: The Applicant is committed to paying all fees as required at the appropriate time during the approvals process.
- c. **Condition:** *The applicant will pay other cash-in-lieu fees at the Final Plat or Final Development Plan stage to the Arapahoe County Library District, as well as Parks using the Appraised Value method. (Land Development Code, Section 14-111.05.02)*
Applicant Response: The Applicant is committed to paying all fees as required at the appropriate time during the approvals process.
- d. **Condition:** *The applicant will provide the County with a Mosquito Control Plan per the recommendation of Tri-County Health Department.*
- e. **Applicant Response:** The Applicant will provide the County with a Mosquito Control Plan as requested. This plan is currently being prepared and will be provided to Staff later in the FDP/Final Plat review process.
- f. **Condition:** *The applicant will comply with all conditions and requirements listed in the Cunningham Fire Protection District referral letter at the appropriate PDP or FDP process.*
Applicant Response: The Applicant is committed to working with the Cunningham Fire Protection District to ensure all conditions and requirements are met as requested. The Applicant has had many meetings and conversations with Cunningham Fire Protection District and will continue to engage with them to ensure all aspects of life safety are adequately covered.
- g. **Condition:** *The applicant will allow the public to use the proposed pedestrian access to the Highline Canal Trail with a public-use easement, if location, design and construction of a pedestrian access are approved by the Denver Water Board or other regulating authority. A note will be added to the PDP exhibit with more specific design details to be added to the FDP exhibit.*
Applicant Response: The Applicant is committed, that in the event that a trail crossing over the High Line Canal is approved, that it will be open to the general public.
- h. **Condition:** *The applicant will do all of the requirements listed in all of the reports and letters by Arapahoe County Engineering Services Division.*
Applicant Response: The Applicant is committed to meeting all the standards as required by the Arapahoe County Engineering Services Division.

- i. **Condition:** *The applicant will comply with all SEMSWA conditions and requirements listed in the referral letters of SEMSWA.*
Applicant Response: The Applicant is committed to meeting all the standards as required by SEMSWA.
- j. **Condition:** *The applicant shall obtain legal access to the project site from Parker Road that complies with all applicable County and State laws and regulations and shall resolve the claims against the title to the project site asserted by Creekside at Highline Owners Association by letter dated November 6, 2015 from Attorney John H. Licht or provide evidence of a title insurance policy providing title insurance covering the claims against the title asserted by the Creekside at Highline Owners Association.*
Applicant Response: The Applicant has worked, and will continue to work to ensure access to Parker Road will be provided with all applicable County and State laws and regulations considered. The reciprocal agreement (Reception #2991448) ensures proper access, and the Applicant continues to work with the adjacent neighbor to ensure there are no outstanding issues. Additionally, all required access permits through CDOT have been applied for and granted by CDOT.

The Applicant believes they have provided a complete submittal that meets all applicant Arapahoe County Standards and regulations, is in compliance with the approved PDP, meets the goals and objectives of the Arapahoe County Comprehensive Master Plan, and more than satisfactorily addresses the conditions for approval as provided by the Board of County Commissioners. We are excited about the future of this new development and look forward to working with Arapahoe County Staff through the Final Development Plan and Final Plat approval process. We are available to quickly respond to any questions you may have about the information contained within this initial submittal package. As always, please feel free to contact me with any questions or comments.

The applicant is extremely excited to bring this project to fruition and believes this will be a great asset to Arapahoe County.

Sincerely,
Norris Design



Ryan F. McBreen
Senior Associate

June 29, 2016

Sherman Feher, Senior Planner
Arapahoe County Land Development Services
Public Works and Development
6924 S Lima Street
Centennial, Colorado 80112

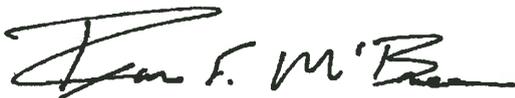
**RE: Sky Mark Apartments - Creekside at Highline
SEMSWA No. D14-2030, County Case No. P16-009**

Dear Mr. Feher,

Enclosed herein is the third submittal for Sky Mark Apartments. The second submittal review comments that were provided to us on May 26, 2016 have been addressed and are included with this letter.

Please let me know if you have any questions or require any additional information. We look forward to our continued collaboration with Arapahoe County throughout the review and approval process of this project.

Sincerely,
Norris Design



Ryan F. McBreen
Senior Associate

ARAPAHOE COUNTY DIVISION OF ENGINEERING SERVICES – Sarah White

Findings:

The Arapahoe County Division of Engineering Services has reviewed this referral and has the following findings:

1. This parcel is in the Cherry Creek Basin 2 drainage basin. A fee of \$9,439/impervious acre has been established for the development in this watershed. Arapahoe County collects these fees at time of probationary acceptance (PA).

Response: Comment noted.

2. This development lies within the boundaries of the Southeast Metro Stormwater Authority (SEMSWA).

Response: Comment noted.

3. This development lies within the boundaries of the Urban Drainage Flood Control District (UDFCD).

Response: Comment noted.

4. This development request access within the jurisdiction of the Colorado Department of Transportation (CDOT).

Response: Comment noted. The appropriate access permits have been requested and granted by CDOT.

5. Site access will utilize 2 existing access points onto Parker Road, Creekside at Highline Office Park (full movement) and South Ulster Street (¾ movement). It is proposed by the developer to restrict traffic flow through the building on the Arapahoe County parcel. Approximately half of the Arapahoe County parcel would be restricted to use the north access and the remaining half will be directed to use the south access point on Ulster St.

Response: This is correct.

6. Will need a cross-access/shared parking agreement for both the Denver County and Arapahoe County parcels. Agreement will need to be recorded in both jurisdictions and referenced on Replat and FDP.

Response: A cross-access/shared parking is currently being finalized. The Applicant is working with the Arapahoe County Attorney's office to prepare an agreement that satisfies this requirement.

7. Applicant requested to have one jurisdiction complete GESC review, approval and inspections during construction. Denver County (Denver) is a Phase I MS4 community and our MS4 permit allows for this arrangement and still protects our MS4 permit, therefore Arapahoe County (County) is agreeable to this arrangement. An Intergovernmental Agreement, Memorandum of Understanding or Approval Letter will need to be executed between County, Denver and SEMSWA, who would typically handle the GESC approval, permitting and inspections during construction.

Response: Comment noted.

8. This development will require a Subdivision Improvement Agreement (SIA) to guarantee on site and off site

public improvements.

Response: Comment noted.

9. Engineering review and approval fees have been paid.

Response: Comment noted.

Recommendations:

The Division of Engineering Services recommends this case favorably subject to the following conditions:

1. The applicant agrees to address the Division of Engineering Services' comments and concerns as identified within this report.
Response: All engineering comments and concerns are addressed and responded to on respective PDF comment sheets.
2. The applicant agrees to address comments issued by the Southeast Metro Stormwater Authority (SEMSWA).
Response: All SEMSWA comments and concerns are addressed and responded to on respective PDF comment sheets.
3. The applicant executes a Subdivision Improvement Agreement.
Response: Comment noted.
4. Arapahoe County, City and County of Denver and SEMSWA execute an agreement to allow Denver plan review, permitting and inspections for Grading, Erosion and Sediment Control during construction.
Response: Comment noted.

STAFF COMMENTS:

General

1. The application was referred to SEMSWA for review. SEMSWA's redlines and comment letter are included with the hard copies of this Staff Report. A response to comment letter is required for all "Staff Comments" issued by the County and by the Southeast Metro Storm Water Authority (SEMSWA). Please see that the required number of copies of the response to comments letter is included with your Engineering resubmittal. The number of copies is listed on the last page of this report. Note that SEMSWA's approval must be obtained prior to final County approvals.
Response: Comment noted; see below.
2. This parcel lies within the boundaries of the Urban Drainage and Flood Control District (UDFCD). In order to receive maintenance eligibility, UDFCD approval of drainage concepts and construction plans is a condition of Arapahoe County Approval.
Response: Comment noted.
3. Construction activities that disturb one or more acres are required by the Environmental Protection Agency (EPA) to obtain a Construction Stormwater Permit.

Response: Contractor will obtain this permit.

4. Please note that infrastructure proposed within a floodplain requires permitting under a Floodplain Development Permit, and approval by FEMA if necessary.

Response: Comment noted.

Multi-jurisdictional Land Development

5. Will need a cross-access/shared parking agreement for both the Denver County and Arapahoe County parcels. Agreement will need to be recorded in both jurisdictions and referenced on Replat and FDP.

Response: A cross-access/shared parking agreement is currently being finalized. The Applicant is working with the Arapahoe County Attorney's office to prepare an agreement that satisfies this requirement.

6. CDOT has issued a conditional access permit #115039 for the Creekside access point to allow a change in use from commercial to residential. Permit #115039 is conditional upon the review and approval of construction plans. Any restrictions imposed by CDOT will trigger additional traffic analysis during this Final Development Plan process. Please confirm permit status – CDOT will need to give full unconditional approval prior to final plan approvals

Response: Permit No. 115039 has been received from CDOT, which has been submitted with this application.

7. Arapahoe County and Southeast Metro Stormwater Authority (SEMSWA) is willing to allow the City and County of Denver to do the Grading, Erosion and Sediment Control (GESC) permitting and inspections for the Arapahoe County parcel of the Sky Mark project. An intergovernmental agreement between Denver, SEMSWA and Arapahoe County will need to be prepared and recorded. Arapahoe County will prepare and get to applicant after completion of Phase II referral process. A copy of all Denver approved GESC permits and documents will need to be provided to Arapahoe County and SEMSWA as well. Staff is currently working on this agreement.

Response: Comment noted; this will be completed during the final approval process of the project.

Replat

8. Please indicate that the access easement is for public use.

Response: Applicant has indicated that the access easement is for public use.

9. Include note and recordation information from cross-access/shared parking agreement.

Response: Comment noted. This information is still being finalized. Once it is recorded this information will be provided.

10. See redlines for additional comments.

Response: All redlines have been addressed. Please see FDP redline set.

Final Development Plan

11. Please remove all Denver notes from the grading plan.
Response: Removed Denver notes.
12. Update note on grading plan – remove pedestrian and AASHTO sight triangle regulations and include the County standards as per 18-101.02 of Land Development Code
Response: Updated notes on grading plan.
13. Landscaping plans show trees located over storm sewers in the detention pond/outlet and blocking the stop sign – please adjust all accordingly
Response: Tree and shrub locations have been revised.
14. See redlines for additional comments
Response: All comments have been address directly on PDFs. Please see attachments included with this resubmittal.

Phase III Drainage Report

15. Please add 'Arapahoe County Case No. P16-009' to the cover sheet and the lower left hand corner of the Drainage Plan as well – Staff error – did not include with previous request.
Response: Add case number to cover sheet and drainage plan of the final drainage report.
16. The drainage flows from the northeast parking area/basin A2 do not seem to match design flow. Drainage flow arrows from this lot imply that drainage will receive some flows from basin A1. Other arrow indicates that drainage will enter 1' conc. pan. Do both receiving areas have the capacity for this flow and if this is curb and gutter how is the cross drainage accomplished - do you need curb cuts?
Response: Arrows were in the incorrect location. They have been revised to show actual drainage patterns.
17. Show all easements on the drainage map – if currently shown, very hard to read also need to include label as to type of easement.
Response: Adjusted to make more clear and added type to all easement labels.
18. It is difficult to see the location of the roof drains, please adjust
Response: Made symbol for roof drains more visible and labeled all roof drains that will surface drain.
19. See redlines for additional comments.
Response: All other comments are responded to on associated PDF comment sheets.

Traffic Impact Study (TIS) / Access

20. This development requests access within the jurisdiction of the Colorado Department of Transportation

(CDOT). CDOT has stated there is an existing permit for Ulster St (permit #696062) which allows for proposed use and no additional access permit requirements would be needed for this access point. CDOT has issued a conditional access permit #115039 for the Creekside access point to allow a change in use from commercial to residential. Permit #115039 is conditional upon the review and approval of construction plans. Any restrictions imposed by CDOT will trigger additional traffic analysis during the Final Development Plan process. Provide status of permit at next submittal (construction plans submitted to CDOT yet?)

- a. Per most recent submittal, this is still pending, so leaving original comment at this time.

Response: Permit No. 115039 has been received from CDOT, which has been submitted with this application.

Construction Plans

21. Update site plan and all applicable page to show the details for the detention pond/rip rap and outlet structures/emergency spillway.

Response: Updated site plan and all applicable pages.

22. Details to be clear and legible – ref sheet 11.

Response: Created more legible details.

23. See redlines for additional details

Response: All other comments are responded to on associated PDF comment sheets.

O&M Manual

24. Still missing the stormwater facilities map – please include with next submittal.

Response: Created a stormwater facilities map.

25. County staff will prepare the O&M Agreement and provide for applicant review and signature.

Response: Comment noted.

Cost Estimate (ECE)

26. Estimate will need to include all public improvements with County ROW or easements – all improvements not indicated as "private".

Response: Included all public improvements.

27. Estimate will need to include all Parker Rd sidewalk improvements as well.

Response: Included Parker Rd sidewalk improvements.

28. Add case number P16-010.

Response: Added.

29. Add signature lines for engineer, owner and County approvals.

Response: Added signature lines.

30. As per the Arapahoe County Unit Cost for Improvements Guide – the contingency will need to be between 15-20%.

Response: Updated contingency.

31. Cost estimate to be finalized with completion of Construction plans

Response: Comment noted.

Miscellaneous

32. The applicant will be required to enter into a Subdivision Improvement Agreement (SIA) to guarantee onsite and offsite improvements related to this development. All applicable public improvements per the Engineer's Cost Estimate, exhibit A, shall be guaranteed within the SIA. It shall be noted that the Plat cannot be recorded until the subdivider has executed the SIA.

Response: Comment noted.

33. Please provide collateral letter of intent update with revision cost estimate. Subdivision Improvement Agreement is being prepared by County Staff.

Response: Letter of intent will be supplied.

34. All proposed easements should be added to Replat – in the event that easement will need to be done at a later date and are not part of the replat process – the preparation and recording fee per easement will be \$500.00/each.

Response: Comment noted.

RESUBMITTAL PROCEDURES - Attached to this report is an instruction checklist to the applicant regarding resubmittal of documents. The applicant and their consultants must follow these instructions explicitly to avoid delays in processing of this case.

Engineering Documents Required for Resubmittal
 to the County Engineering Services Division

	Item Name	Required	Submitted
X	A copy of this Resubmittal Checklist	1 or digital	
X	Completed Review and Approval Form (Arapahoe County Form 581) available on-line at http://www.arapahoegov.com/index.aspx?NID=569	1 or digital	

	Proposed Land Development Plan - (PDP/FDP/PP/FP/ASP)		
	Grading, Erosion and Sediment Control (GESC) Plans & Report		
X	Construction Plans	1 or digital	
	Traffic Impact Study		
	Pavement Design Report		
	Geotechnical Study / Preliminary Soils report		
X	Phase III Drainage Study	1 or digital	
	Drainage Letter of Conformance		
X	Operations & Maintenance Manual	1 or digital	
X	Engineering Cost Estimate	1 or digital	
	Legal Description		
	Legal name, legal address, and title (if any) of the Owner, assign, or person with signatory authority on behalf of the Owner		
	Letter of Intent		
X	Collateral Letter of Intent	1 or digital	
	Agreement review and/or execution:		
X	Letter of point-by-point response to Engineering Staff comments	1 or digital	
X	SEMSWA redlines and response to comments (refer to SEMSWA comments)	1 or digital	
	Fees Due:	\$ n/a	

Case No. P16-009 & P16-010

Case Engineer: Sarah White

This sheet must be attached to your resubmittal with the revised documents in the quantities listed above.
Response: All documents are attached.

REFERRAL AGENCIES:

XCEL ENERGY - Donna George

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the replat and final development plan for Sky Mark Subdivision Filing No. 1 and, for continuity, requests an additional 10-foot utility easement be dedicated abutting Parker Road.

Please be aware PSCo owns and operates existing natural gas distribution facilities and a PSCo easement as recorded at Rec. No. 2263163, Book 3830, Page 51 on April 4, 1983 in Arapahoe County along the northwesterly property line.

The property owner/developer/contractor must contact the Builder's Call Line at 1-800- 628-2121 or <https://xcelenergy.force.com/FastApp> (Register so you can track your application) and complete the application process for any new gas or electric service, or modification to existing facilities. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the Utility Notification Center at 1-800-922-1987 to have all utilities located prior to any construction.

If you have any questions about this referral response, please contact me at (303) 571- 3306.

Response: Xcel easement added. A 10' easement will be granted from the back of curb.

U.S. ARMY CORP. OF ENGINEER

In accordance with Section 404 of the Clean Water Act, the Corps of Engineers regulates the discharge of dredged or fill material, and any excavation associated with a dredged or fill project, either temporary or permanent, into waters of the United States (WOUS). You should notify this office if the project proposed falls within these regulated activities because the project may require a Department of the Army Section 404 permit.

A WOUS may include ephemeral and/or perennial streams, wetlands, lakes, ponds, drainage ditches and irrigation ditches. A wetland delineation must be conducted, and verified by the Corps of Engineers, using the methods outlined in the Corps of Engineers Wetlands Delineation Manual (Environmental Laboratory 1987) and Regional Supplement to the Corps of Engineers Wetland Delineation Manual: (using applicable Regional Supplement) to determine wetlands based on the presence of three wetland indicators: hydrophytic vegetation, hydric soils, and wetland hydrology. Wetland delineations must be conducted in the field by a qualified environmental consultant and any aquatic resource boundaries must be identified accordingly.

Once the aquatic resources have been identified, only this office can determine if they are WOUS. Please note that development of the upland areas, avoiding stream and wetland resources, does not require authorization from this office.

Nationwide Permits (NWP) authorize common types of fill activities in WOUS that will result in a minimal adverse effect to the environment. Descriptions of the 52 types of nationwide permit activities and their general conditions can be found on our website: <http://www.nwo.usace.army.mil/Missions/RegulatoryProgram/Colorado.aspx>. Some fill activities require notifying the Corps before starting work. Also, some types/sizes of work may require additional information or mitigation.

Regional General Permits (RGP) authorize specific types of fill activities in WOUS that will result in a minimal adverse effect to the environment. Descriptions of the 4 types of regional general permit activities and their general conditions can be found on our website: <http://www.nwo.usace.army.mil/Missions/RegulatoryProgram/Colorado/RegionalGeneralPermit.aspx>. These fill activities require notifying the Corps before starting work, and possibly other local or state agencies. Also, some types/sizes of work may require additional information or mitigation. Please note several of the RGP's are applicant and location specific.

Response: Comment noted.

ARAPAHOE COUNTY SHERIFF - Glen Thompson

Previous recommendation on this project were that the Arapahoe County Property and Denver have a different numbering/lettering as part of their addresses so that jurisdiction would be clearly obvious by address. This helps first responders respond quicker during an emergency. It does not appear this recommendation is included in this plan.

Response: An address plat is supplied with this submittal.

ARAPAHOE LIBRARY DISTRICT

The Arapahoe Library District requests a share of monies that may be required by the County in lieu of land.

Response: The application will pay cash-in-lieu fees as noted and required.

CUNNINGHAM FIRE PROTECTION DISTRICT – Tyler Everitt

To reduce the time required to update department pre-plans, response maps and computer aided dispatch records, the fire district requires the submittal of two separate electronic files. These files should contain the following information:

Address Plat and Fire Hydrant Data

- Two Survey Monument Ties
 - Section or Quarter Section corners
 - Adjacent subdivisions or lots is an acceptable alternative on small developments
- Parcel or Lot Lines
- Roadway right-of-way
- Access easements
- Fire access easements
- Street names

- Building addresses
- Water main size and location
- Water valve locations
- Fire hydrant locations
- Building footprints

Pre-plan Data

- Building Footprints indicating
 - Multi-family Residential Occupancies
 - Floor plans detailing walls separating tenant spaces, tenant or unit #'s, stairways, and common areas within the structure.
 - Roof plans
 - Attic Draft Stop
 - Commercial buildings
 - Floor plans indicating all walls, stairways, and doorways within the structure
 - Roof plans
 - Attic Draft Stops

The fire district uses Autodesk, Auto CAD 2007, so please save to this version or older. E-mail completed files to both teveritt@cfpd.org & sluft@cfpd.org . Include in the e-mail a contact person for additional questions.

For additional information, contact Tyler Everitt at (303) 338-4204 or Spencer Luft at (303) 4208. E-mail any questions to teveritt@cfpd.org or sluft@cfpd.org .

Response: Kephart and I will work together to get this directly over to Tyler Cunningham Fire.

The Fire District has reviewed the final development plan (FDP) for the above referenced case for compliance with the 2009 International Fire Code (IFC) as adopted Cunningham Fire Protection District. The Fire District supports this case for approval with the following conditions:

1. Infrastructure shall include the following:
Water supply for fire suppression operations, all fire hydrants as identified on the approved water system plan for this development must be installed and operational prior to construction. The minimum water fire-flow must be provided per the requirements of Appendix B of the 2009 International Fire Code (IFC).
Response: Comment noted.
2. Water plan
The Fire District requires a separate plan submittal, showing fire hydrant and water line locations before issuance of any Fire District building pennits. A separate fee will be charged for this review. This Permit has been obtained by the Developer at this time.
Response: Comment noted.

Response: A specific water plan will be submitted to Cunningham fire.

The following comments are for the developer's information only and are not conditions required for FDP approval:

- a) Water plan
The Fire District requires a separate plan submittal, showing fire hydrant and water line locations before issuance of any Fire District building permits.
- b) Fire apparatus access roads
All of the primary fire apparatus access roads shall be installed prior to construction. The access roads must be an all-weather surface (concrete or asphalt) and able to support an imposed load of 75,000 pounds.
- c) Fire lane signage plan
Plans submitted to Identify designated fire lane signage for the site shall be submitted to Cunningham Fire Protection District.
- d) Construction plans requires a separate plan submittal
Complete specifications and construction plans shall be submitted to the Fire District for review and approval prior to any construction occurring. Complete specifications and construction plans shall be submitted directly to the Cunningham Fire Protection District for review and approval at the same time plans are submitted to the Arapahoe County Building Department. The developer is encouraged to contact the Fire Prevention Bureau to verify plan submittal requirements and permit fees prior to plans submittal.

If you need any additional information or have any questions, please contact me at (303) 338-4204. The Fire Prevention Bureau fax number is (303) 337-7971.

CHERRY CREEK SCHOOL DISTRICT – David Strohfus

Cherry Creek School District No. 5 has reviewed the information provided by Arapahoe County regarding the final development plan for the Sky Mark Apartments development and will provide educational services to the future residents of this project who reside within the boundaries of the Cherry Creek School District. It is understood that this is part of a larger project that includes adjacent parcels within the borders of the City and County of Denver. The Cherry Creek School District will not provide educational services for students living in the portion of the development that is outside of the CCSD boundaries. Students from this development within the boundaries of CCSD are within the current boundaries of Eastridge Elementary School, Prairie Middle School, and Overland High School. Boundaries are subject to change when necessary to promote the efficient utilization of school facilities.

Utilizing the Arapahoe County Land Development Code, the land dedication calculation for the school district would be 0.48165 acres or an appropriate cash-in-lieu fee. In this instance, the District believes that the Assumed Value Method for determining cash-in-lieu requirements will result in an amount that is far less than the fair market value of this property. The District proposes to utilize the Appraisal Method to determine the fair market value as outlined in 14-111.05.02 B.1 of the Arapahoe County Land Development Code. The District will comply with all appropriate timelines and processes outlined in the Arapahoe County Land Development Code in order to complete this process.

Thank you for the opportunity to review this proposal. Should you need additional information from Cherry Creek Schools, please feel free to contact me.

Response: The Applicant is aware of the PLD requirements. The Applicant is working with the Cherry Creek School District to finalize an agreement.

TRI-COUNTY HEALTH DEPARTMENT – Vanessa Richardson

Thank you for the opportunity to review and comment on the Comprehensive Plan Amendment for the Sky Mark Apartments located on the northwest corner of South Parker Road and South Ulster Street. Tri-County Health Department (TCHD) staff reviewed the application on January 2, 2015 for compliance with applicable environmental and public health regulations. TCHD has no new comments.

Please feel free to contact me at 720-200-1580 or vrichard@tc-hd.org if you have any questions.

Response: Per previous comment requesting a Mosquito Control Plan in the event that a need for such should arise, Applicant has prepared a plan which is hereby included with this submittal.



ARAPAHOE COUNTY
COLORADO'S FIRST

Engineering Services Division Referral Review – Phase II

Date: July 21, 2016

To: Sherman Feher, Senior Planner, Planning Division

From: Sarah White, Case Engineer, Engineering Services Division

Re: Sky Mark Apartments
P16-009 Replat
P16-010 Final Development Plan

Scope/Location:

Sky Mark Apartments, LLC and Norris Design, on behalf of owner Joe DelZotto / Canamer Building Corp, is requesting approval of the Replat and Final Development Plan for Sky Mark Apartments. The proposed development is generally located within the Four Square Mile Area, west of S Parker Rd, south of E Mississippi Ave and north of E Florida Ave. The proposal is for multi-family residential use with 95 maximum total dwelling units (45 DU/ac). The overall project includes an adjacent parcel within the City and County of Denver to house an additional 95 DU.

The site is located within the Cherry Creek Major Drainageway Plan, Basin 2. Access will utilize 2 existing points on S Parker Rd, Creekside full movement, S Ulster St $\frac{3}{4}$ movement.

Items included with this referral:

Replat

Final Development Plan

Phase III Drainage Study

Construction Plans

Operations & Maintenance Manual

Traffic Impact Study (approved with Z14-009)

Cc: *Chuck Haskins, Engineering Services Division, Division Manager*
P16-009 & P16-010
SLW RDR

Findings:

The Arapahoe County Division of Engineering Services has reviewed this referral and has the following findings:

1. This parcel is in the Cherry Creek Basin 2 drainage basin. A fee of \$9,439/impervious acre has been established for the development in this watershed. Arapahoe County collects these fees at time of probationary acceptance (PA).
2. This development lies within the boundaries of the Southeast Metro Stormwater Authority (SEMSWA).
3. This development lies within the boundaries of the Urban Drainage Flood Control District (UDFCD).
4. This development request access within the jurisdiction of the Colorado Department of Transportation (CDOT).
5. Site access will utilize 2 existing access points onto Parker Road, Creekside at Highline Office Park (full movement) and South Ulster Street (¾ movement). It is proposed by the developer to restrict traffic flow through the building on the Arapahoe County parcel. Approximately half of the Arapahoe County parcel would be restricted to use the north access and the remaining half will be directed to use the south access point on Ulster St.
6. There is an existing 6 foot brick- wrought iron fence at the Parker Rd access. It currently is in the sight triangle and restricts visibility for oncoming vehicular and pedestrian traffic. Applicant has proposed to remove/relocate the fencing at this location.
7. Will need a cross-access/shared parking agreement for both the Denver County and Arapahoe County parcels. Agreement will need to be recorded in both jurisdictions and referenced on Replat and FDP.
8. Applicant requested to have one jurisdiction complete GESC review, approval and inspections during construction. Denver County (Denver) is a Phase I MS4 community and our MS4 permit allows for this arrangement and still protects our MS4 permit, therefore Arapahoe County (County) is agreeable to this arrangement. An Intergovernmental Agreement, Memorandum of Understanding or Approval Letter will need to be executed between County, Denver and SEMSWA, who would typically handle the GESC approval, permitting and inspections during construction.
9. This development will require a Subdivision Improvement Agreement (SIA) to guarantee on site and off site public improvements.
10. Engineering review and approval fees have been paid.

Recommendations:

The Division of Engineering Services recommends this case favorably subject to the following conditions:

1. The applicant agrees to address the Division of Engineering Services' comments and concerns as identified within this report.
2. The applicant agrees to address comments issued by the Southeast Metro Stormwater Authority (SEMSWA).
3. The applicant executes a Subdivision Improvement Agreement.

4. Arapahoe County, City and County of Denver and SEMSWA execute an agreement to allow Denver plan review, permitting and inspections for Grading, Erosion and Sediment Control during construction.

STAFF COMMENTS

General

1. The application was referred to SEMSWA for review. SEMSWA's redlines and comment letter are included with the hard copies of this Staff Report. A response to comment letter is required for all "Staff Comments" issued by the County and by the Southeast Metro Storm Water Authority (SEMSWA). Please see that the required number of copies of the response to comments letter is included with your Engineering resubmittal. The number of copies is listed on the last page of this report. Note that SEMSWA's approval must be obtained prior to final County approvals.
2. Construction activities that disturb one or more acres are required by the Environmental Protection Agency (EPA) to obtain a Construction Stormwater Permit.

Multi-jurisdictional Land Development

3. Will need a cross-access/shared parking agreement for both the Denver County and Arapahoe County parcels. Agreement will need to be recorded in both jurisdictions and referenced on Replat and FDP.
 - Staff understands this is still in process.
4. CDOT has issued a conditional access permit #115039 for the Creekside access point to allow a change in use from commercial to residential. Permit #115039 is conditional upon the review and approval of construction plans. Any restrictions imposed by CDOT will trigger additional traffic analysis during this Final Development Plan process. Please confirm permit status – CDOT will need to give full unconditional approval prior to final plan approvals
 - Per most recent submittal, this was submitted however it was not included with the resubmittal documents, so leaving original comment at this time.
5. Arapahoe County and Southeast Metro Stormwater Authority (SEMSWA) is willing to allow the City and County of Denver to do the Grading, Erosion and Sediment Control (GESC) permitting and inspections for the Arapahoe County parcel of the Sky Mark project. An intergovernmental agreement between Denver, SEMSWA and Arapahoe County will need to be prepared and recorded. Arapahoe County will prepare and get to applicant after completion of Phase II referral process. A copy of all Denver approved GESC permits and documents will need to be provided to Arapahoe County and SEMSWA as well.
 - Staff is currently working on this agreement.

Replat

6. Arapahoe County policy is that sight triangles are not easements and can come and go with plats. Please remove reference to sight triangle "easement" on page 3 and remove from easement chart.
7. Looks like you are missing 'Xcel' as a newly dedicated easement holder on the easement chart- I didn't see any others but please double check to make sure all newly dedicated easements are shown on the easement chart.

8. Include note and recordation information from cross-access/shared parking agreement.
9. See redlines for additional comments

Final Development Plan

10. Please make sure all page sizes are the same 24x36 size for both digital and paper copies.
11. Staff would propose to have a stop sign at the Parker Rd access since the pedestrian and vehicle traffic will be increasing with this development.
12. Please show location of pedestrian warning sign on the overall site plan
13. Show location of monument signs on the overall site plan
14. Please update the storm sewer notes to also state “Storm sewer noted as public will still be maintained by the owner as per the Operations and Maintenance Manual”
15. Landscape plans show the sight triangle at Ulster – it does not need to be shown on this plan set
16. The location of the proposed monument sign on the Landscape plans appears to be in CDOT Right of Way – please either relocate or will need to obtain permission from CDOT for placement. Also confirm with zoning department that offsite signage is permitted.
17. Landscape plans still have some vegetation showing at the south end of the detention pond where the trash rack is proposed – please adjust accordingly – show trash rack on page
18. Include overall height dimensions for monument signage
19. See redlines for additional comments

Phase III Drainage Report

20. Update 5 year runoff values in report – values provided are for 2 yr.
21. No further comments at this time

Construction Plans

22. Label all signs and include symbol to the legend.
23. Please update the storm sewer notes to also state “Storm sewer noted as public will still be maintained by the owner as per the Operations and Maintenance Manual”
24. Please show cross pan as depicted on the drainage plans.
25. Show location of monument signs
26. Staff recommends a stop sign at the Parker Rd access since pedestrian and vehicle traffic is increasing at this access.
27. Include new pedestrian warning sign on details page.
28. See redlines for additional details

O&M Manual

29. County staff will prepare the O&M Agreement and provide for applicant review and signature. Once the BoCC approves the project and the O&M manual is approved, Staff will provide agreement to applicant. The complete O&M manual will be sent into the clerk & recorder's office for recordation. The stormwater management note on the FDP will then need to be updated with this recordation information. Staff recommends getting the O&M manual finalized early so it doesn't cause any delays.

Cost Estimate (ECE)

30. Correct spelling of signature
31. Sidewalks are typically a SY value - please confirm this is sufficient for pedestrian access to HLC and the parker Rd sidewalk extension
32. No other comments at this time. After BoCC approval, Staff will have Subdivision Improvement Agreement (SIA) prepared for signatures – the ECE will become Appendix A of the SIA.

Permits

33. Public Improvement Construction Permit – permit required for all items on the ECE. This permit will be finalized after final plan approvals. The PI permit cannot be released until the SIA is recorded and the associated collateral has been received by the County
34. GESD permit will be handled by the City and County of Denver
35. Building Permit – application has been submitted to the Building Department. The building permit cannot be released until the land development plans have been approved. Please contact the building department for any fees associated with this permit.

RESUBMITTAL PROCEDURES - Attached to this report is an instruction checklist to the applicant regarding resubmittal of documents. The applicant and their consultants must follow these instructions explicitly to avoid delays in processing of this case.

**Engineering Documents Required for Resubmittal
to the County Engineering Services Division**

	Item Name	Required	Submitted
X	A copy of this Resubmittal Checklist	1 or digital	
X	Completed Review and Approval Form (Arapahoe County Form 581) available on-line at http://www.arapahoegov.com/index.aspx?NID=569	1 or digital	
X	Proposed Land Development Plan - (PDP/FDP/PP/FP/ASP)	1 or digital	
	Grading, Erosion and Sediment Control (GESC) Plans & Report		
X	Construction Plans	1 or digital	
	Traffic Impact Study		
	Pavement Design Report		
	Geotechnical Study / Preliminary Soils report		
X	Phase III Drainage Study	1 or digital	
	Drainage Letter of Conformance		
X	Operations & Maintenance Manual	1 or digital	
X	Engineering Cost Estimate	1 or digital	
	Legal Description		
	Legal name, legal address, and title (if any) of the Owner, assign, or person with signatory authority on behalf of the Owner		
	Letter of Intent		
	Collateral Letter of Intent		
	Agreement review and/or execution:		
X	Letter of point-by-point response to Engineering Staff comments	1 or digital	
X	SEMSWA redlines and response to comments (refer to SEMSWA comments)	1 or digital	
	Fees Due:	\$ n/a	

Case No. P16-009 & P16-010

Case Engineer: Sarah White

Submit digital submissions to EngineeringSubmittals@arapahoegov.com
and copy me at swhite@arapahoegov.com

Resubmittal packages will not be reviewed until all information requested on this form is provided.

This sheet must be attached to your resubmittal with the revised documents in the quantities listed above.

Sherman Feher

From: Roger Harvey
Sent: Monday, June 06, 2016 9:54 AM
To: Jason Reynolds; Sherman Feher
Cc: Bryan Weimer; Raymond Winn; Shannon Carter
Subject: RE: High Line Canal - Sky Mark Apartments
Attachments: 05-Sky Mark-FDP Plan Set 24x36.pdf

Jason and Sherman,

Thanks for sending the FDP. Just took a look and Skymark did not make the recommended changes Jay Henke and myself had asked if they could do to the 8' High Line Canal Access trail. Skymark is dedicating this trail access to the County as a public access easement, this is the only way they will get approval for a bridge over the Canal. Since the access trail is in the unincorporated area, the approval is on the County to notify Denver Water and Denver to approve the bridge.

Please take a look at page three. Skymark is placing the public access trail onto the roadway as a shared vehicular access and trail. We asked them to make it more of a crossing, rather than place trail users on the roadway. I have shown this in red. The FDP does not show this change, I did not receive any explanation as to why they could not do this.

Not sure if any other referral has commented on this access? But, we need direction from County Attorney and input from public works on what is the County's liability for approving this design. I haven't ever seen a design putting peds/bikes in the lane of traffic, it is not ideal but you could argue that the traffic will be a low amount as Skymark did at our meeting. But, if in the future a pedestrian gets hit by a car on this trail section, what is the County's liability for approving this design?

Or should we require a design change?

Let me know, thanks

Roger Harvey | Open Space Planning Administrator
Arapahoe County Open Spaces
6934 S. Lima Street, Suite A | Centennial, CO 80112
Office: 720.874.6554. fax: 720.874.6743.
rharvey@arapahoegov.com



May 26, 2016

Sherman Feher
Arapahoe County Public Works and Development
6924 S. Lima Street
Centennial, CO 80112

RE: Sky Mark Subdivision, F16-009
TCHD Case # 3363

Dear Mr. Feher:

Thank you for the opportunity to review and comment on the Comprehensive Plan Amendment for the Sky Mark Apartments located on the northwest corner of South Parker Road and South Ulster Street. Tri-County Health Department (TCHD) staff reviewed the application on January 2, 2015 for compliance with applicable environmental and public health regulations. TCHD has no new comments.

Please feel free to contact me at 720-200-1580 or vrichard@tchd.org if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to be "V. Richardson", with a long horizontal line extending to the right.

Vanessa Richardson
Environmental Health Specialist II

CC: Sheila Lynch, Steven Chevalier, TCHD



January 14, 2015

Sherman Feher
Arapahoe County Public Works and Development
6924 S. Lima Street
Centennial, CO 80112

RE: Sky Mark Apartments, Z14-009
TCHD Case # 3380

Dear Mr. Feher:

Thank you for the opportunity to review and comment on the Preliminary Development Plan for the Sky Mark Apartments located on the northwest corner of Parker Road and Ulster Road. Tri-County Health Department (TCHD) staff reviewed the application for compliance with applicable environmental and public health regulations and has the following comments.

Sun Safety

Exposure to ultraviolet (UV) rays from the sun is a leading risk factor for skin cancer, the most common cancer in the United States. Colorado has the 5th highest death rate from melanoma, the most deadly form of skin cancer. Nationally, melanoma is the most common cancer in adolescents and young adults aged 15-29.

TCHD would like to commend the applicant for recognizing the need for incorporating shade structures in communal areas for the residents and visitors.

Detention Pond

The site plan indicates there will be a detention pond for the development. This detention pond will be located on the west side of the proposed building. To reduce the potential for human exposures to West Nile and other mosquito-borne viruses, TCHD recommend that mosquito control plans be developed for any stormwater facilities that are designed to hold water for 72 hours or longer. Detention ponds or basins are generally designed to drain within 72 hours, so we do not initially recommend mosquito control plans for detention ponds or basins. However, if a detention pond fails to operate as designed, or is designed with a permanent "micro-pool", resulting in mosquito breeding conditions or mosquito complaints, TCHD recommends that the operator implement a mosquito control plan to remedy the situation.

Community Garden

TCHD encourages the applicant to think more broadly about the allowance of community gardens in the common areas for the residents. Community gardens offer

Sky Mark Apartments, Z14-009
TCHD Case # 380
January 14, 2015
Page 2 of 2

multiple benefits including access to nutritious food and opportunities for regular physical activity and regular social contact that supports mental health. Allowing this use provides greater accessibility to this sustainable living amenity, increasing the opportunity for residents to participate and increase social interaction within the community.

Community Design for Active Living

TCHD encourages and promotes community planning that not only protects communities from environmental health hazards but promotes public health by making it easy for neighborhood residents and visitors to choose healthy behaviors. A health-promoting community design enhances air and water quality; provides access to healthy food and basic services; and offers opportunities for social interaction as well as routine recreational and travel-related physical activity.

Please feel free to contact me at 720-200-1580 or vrichard@tchd.org if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to be 'V. Richardson', with a long horizontal line extending to the right.

Vanessa Richardson

Environmental Health Specialist II

CC: Sheila Lynch, Steven Chevalier, TCHD

David Strohfus
Director of Planning &
Interagency Relations



Educational Services Center
4700 S. Yosemite Street
Greenwood Village, CO 80111

720.554.4244

dstrohfus@cherrycreekschools.org

May 26, 2016

Mr. Sherman Feher
Arapahoe County Public Works & Development
6924 South Lima Street
Centennial, CO 80112

Subject: Final Development Plan 16-0101 and Replat P16-009
Sky Mark Apartments – FDP/Replat
95 Multi-family Dwellings

Mr. Feher:

Cherry Creek School District No. 5 has reviewed the information provided by Arapahoe County regarding the final development plan for the Sky Mark Apartments development and will provide educational services to the future residents of this project who reside within the boundaries of the Cherry Creek School District. It is understood that this is part of a larger project that includes adjacent parcels within the borders of the City and County of Denver. The Cherry Creek School District will not provide educational services for students living in the portion of the development that is outside of the CCSD boundaries. Students from this development *within the boundaries of CCSD* are within the current boundaries of Eastridge Elementary School, Prairie Middle School, and Overland High School. Boundaries are subject to change when necessary to promote the efficient utilization of school facilities.

Utilizing the Arapahoe County Land Development Code, the land dedication calculation for the school district would be 0.48165 acres or an appropriate cash-in-lieu fee. In this instance, the District believes that the Assumed Value Method for determining cash-in-lieu requirements will result in an amount that is far less than the fair market value of this property. The District proposes to utilize the Appraisal Method to determine the fair market value as outlined in 14-111.05.02 B.1 of the Arapahoe County Land Development Code. The District will comply with all appropriate timelines and processes outlined in the Arapahoe County Land Development Code in order to complete this process.

Thank you for the opportunity to review this proposal. Should you need additional information from Cherry Creek Schools, please feel free to contact me.

Sincerely,

David Strohfus
Director of Planning and Interagency Relations

cc: Sheila L. Graham – Assistant Superintendent of Educational Support Services
David Henderson – Director of Facility Operations
Angela McCain – Director of Planning and Interagency Relations



Public Works and Development
 6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611
www.co.arapahoe.co.us

Planning Division
Referral Routing

Case Number / Case Name:	P16-009 & P16-010 / Sky Mark Subdivision #01 Replat and Final Development Plan
Planner:	Sherman Feher
Engineer:	Sarah L White
Date sent:	April 26, 2016
Date to be returned:	May 26, 2016

Arapahoe County Agencies		Citizen's Organizations	
<input checked="" type="checkbox"/>	Assessor / Arapahoe County (Residential)	Karen Hart	
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/> CCNA-Cherry Creek Neighborhoods Ass.
<input type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/> CECON-(Within Centennial)
<input checked="" type="checkbox"/>	Engineering / Arapahoe County	Sarah L White	<input checked="" type="checkbox"/> Four Square Mile Neighborhood
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	<input type="checkbox"/> South Metro Chamber of Commerce
<input type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	
<input type="checkbox"/>	Open Space / Arapahoe County	Shannon Carter	<input type="checkbox"/> Deer Trail Conservation District
<input checked="" type="checkbox"/>	Planning / Arapahoe County	Sherman Feher	<input checked="" type="checkbox"/> West Arapahoe Conservation District
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	
<input type="checkbox"/>	Weed Control / Arapahoe County	Russell Johnson	<input checked="" type="checkbox"/> CDOT / State Highway Dept- Region 1
<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input type="checkbox"/> E-470 Authority
	Referral Agencies		<input checked="" type="checkbox"/> RTD
<input type="checkbox"/>	Architectural Review Committee		<input type="checkbox"/>
<input checked="" type="checkbox"/>	Arapahoe Library District	Janel Maccarrone	
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input checked="" type="checkbox"/> Centurylink/Phone
<input checked="" type="checkbox"/>	Denver		<input type="checkbox"/> Conoco Phillips / Gas Pipeline
<input type="checkbox"/>	Colorado Parks and Wildlife	Travis Harris	<input checked="" type="checkbox"/> XCEL
<input type="checkbox"/>	County		<input type="checkbox"/> IREA
<input type="checkbox"/>	DRCOG		
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<input type="checkbox"/>	Metro District		<input checked="" type="checkbox"/> U.S. Army Corp. of Engineer
<input checked="" type="checkbox"/>	Post Office Growth Coordinator	Jaime Hernandez	<input type="checkbox"/> CCBWQA
<input type="checkbox"/>	Reap I-70 Regional Economic Advancement Partnership	Matt Reay and Jack Keever	<input type="checkbox"/> Colorado Division of Water Resources
<input type="checkbox"/>	Recreation District / Park District (External)		<input checked="" type="checkbox"/> SEMSWA
<input checked="" type="checkbox"/>	Cherry Creek School District		<input type="checkbox"/> ECCVW&S
<input type="checkbox"/>	Special District		<input checked="" type="checkbox"/> Urban Drainage & Flood
<input checked="" type="checkbox"/>	Tri-County Health Department	Sheila Lynch	<input type="checkbox"/> Other / 5 Sets East End Adv. Committee
<input checked="" type="checkbox"/>	HOMEOWNER'S ASSOCIATIONS:	CREEKSIDE AT HIGHLINE CONDOS	MOUNTAIN VIEW GARDENS

The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate line and return to the Arapahoe County Planning Office on or before the date indicated above.

COMMENTS:	SIGNATURE
<input type="checkbox"/> Have NO Comments to make on the case as submitted	
<input checked="" type="checkbox"/> Have the following comments to make related to the case:	
See Attached Documents <i>Tyler Overitt</i>	



CUNNINGHAM FIRE PROTECTION DISTRICT

2015 SOUTH DAYTON STREET ♦ DENVER, CO 80247 ♦ Phone: (303) 755-9202
Fax: (303) 752-1857

External Referral Comment

May 25, 2016

Sherman Feher
6924 S. Lima Street
Centennial, CO 80112

Re: P16-009 & P16-010, CFPD Project 16-719

Mr. Gradis:

The Fire District has reviewed the final development plan (FDP) for the above referenced case for compliance with the *2009 International Fire Code (IFC)* as adopted Cunningham Fire Protection District. The Fire District supports this case for approval with the following conditions:

1. Infrastructure shall include the following:
Water supply for fire suppression operations, all fire hydrants as identified on the approved water system plan for this development must be installed and operational prior to construction. The minimum water fire-flow must be provided per the requirements of *Appendix B* of the *2009 International Fire Code (IFC)*.
2. Water plan
The Fire District requires a separate plan submittal, showing fire hydrant and water line locations before issuance of any Fire District building permits. A separate fee will be charged for this review. This Permit has been obtained by the Developer at this time.
3. Fire hydrant installation requirements
All fire hydrants are to be installed in accordance with *Section 507* and *Appendix B* of the *2009 International Fire Code (IFC)*. No landscaping, fencing or any other obstruction shall be placed within three feet of a fire hydrant. Fire hydrants shall be installed and operating prior to commencement of any construction above the foundation.

4. Fire apparatus access installation
The installation of all access drives is required prior to commencement of any construction above the foundation.
 - All fire apparatus access roads shall be clearly marked during construction at the entrance with an approved sign approximately four feet by four feet. The lettering shall be red on a white background with letters at least four inches high. The front of the sign shall include the address of the site and shall include the words "Fire Access Road".
5. The fire apparatus access road shall comply with the requirements of *Section 503* and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Plan demonstrating the structures meet the *Section 503* requirement.
6. Fire lane designation
The Fire District declares all private drives within this development as fire apparatus access under *Section 503 of the 2009 IFC*. Any roadway that is less than 30-feet in width shall be marked as a fire lane on both sides; roadways 30-34 feet shall be marked as a fire lane on one side.
7. Electronic Plat Submittal – Please see the attached document, Electronic Plat Submittal shall be submitted to Cunningham Fire Protection District.
8. As part of this FDP approval Cunningham Fire Protection District and the Developer agree to finalize Mitigation Fee Documentation as agreed upon both parties prior to the completion of the permit process with the Fire District.
9. Construction plans
Complete specifications and construction plans shall be submitted to the Fire District for review and approval prior to any construction occurring.

The following comments are for the developer's information only and are not conditions required for FDP approval.

- a) Water plan
The Fire District requires a separate plan submittal, showing fire hydrant and water line locations before issuance of any Fire District building permits
- b) Fire apparatus access roads
All of the primary fire apparatus access roads shall be installed prior to construction. The access roads must be an all-weather surface (concrete or asphalt) and able to support an imposed load of 75,000 pounds.
- c) Fire lane signage plan
Plans submitted to Identify designated fire lane signage for the site shall be submitted to Cunningham Fire Protection District.

d) Construction plans requires a separate plan submittal

Complete specifications and construction plans shall be submitted to the Fire District for review and approval prior to any construction occurring. Complete specifications and construction plans shall be submitted directly to the Cunningham Fire Protection District for review and approval at the same time plans are submitted to the Arapahoe County Building Department. The developer is encouraged to contact the Fire Prevention Bureau to verify plan submittal requirements and permit fees prior to plans submittal.

If you need any additional information or have any questions, please contact me at (303) 338-4204. The Fire Prevention Bureau fax number is (303) 337-7971.

Sincerely,

Tyler Everitt
Deputy Fire Marshal



CUNNINGHAM FIRE PROTECTION DISTRICT

2015 SOUTH DAYTON STREET ♦ DENVER, CO 80247 ♦ Phone: (303) 755-9202
Fax: (303) 337-7971

Electronic Address Plat Submittals

To reduce the time required to update department pre-plans, response maps and computer aided dispatch records, the fire district requires the submittal of two separate electronic files. These files should contain the following information:

Address Plat and Fire Hydrant Data

- Two Survey Monument Ties
 - Section or Quarter Section corners
 - Adjacent subdivisions or lots is an acceptable alternative on small developments
- Parcel or Lot Lines
- Roadway right-of-way
- Access easements
- Fire access easements
- Street names
- Building addresses
- Water main size and location
- Water valve locations
- Fire hydrant locations
- Building footprints

Pre-plan Data

- Building Footprints indicating
 - Multi-family Residential Occupancies
 - Floor plans detailing walls separating tenant spaces, tenant or unit #'s, stairways, and common areas within the structure.
 - Roof plans
 - Attic Draft Stops
 - Commercial buildings
 - Floor plans indicating all walls, stairways, and doorways within the structure
 - Roof plans
 - Attic Draft Stops

The fire district uses Autodesk, AutoCAD 2007, so please save to this version or older. E-mail completed files to both teveritt@cfpd.org & sluft@cfpd.org . Include in the e-mail a contact person for additional questions.

For additional information, contact Tyler Everitt at (303) 338-4204 or Spencer Luft at (303) 4208. E-mail any questions to teveritt@cfpd.org or sluft@cfpd.org .



Public Works and Development
 6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611
www.co.arapahoe.co.us

Planning Division
Referral Routing

Case Number / Case Name:	P16-009 & P16-010 / Sky Mark Subdivision #01 Replat and Final Development Plan
Planner:	Sherman Feher
Engineer:	Sarah L White
Date sent:	April 26, 2016
Date to be returned:	May 26, 2016

Arapahoe County Agencies		Citizen's Organizations	
<input checked="" type="checkbox"/>	Assessor / Arapahoe County (Residential)	Karen Hart	
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/> CCNA-Cherry Creek Neighborhoods Ass.
<input type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/> CECON-(Within Centennial)
<input checked="" type="checkbox"/>	Engineering / Arapahoe County	Sarah L White	<input checked="" type="checkbox"/> Four Square Mile Neighborhood
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	<input type="checkbox"/> South Metro Chamber of Commerce
<input type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	Conservation District
<input type="checkbox"/>	Open Space / Arapahoe County	Shannon Carter	<input type="checkbox"/> Deer Trail Conservation District
<input checked="" type="checkbox"/>	Planning / Arapahoe County	Sherman Feher	<input checked="" type="checkbox"/> West Arapahoe Conservation District
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	Transportation
<input type="checkbox"/>	Weed Control / Arapahoe County	Russell Johnson	<input checked="" type="checkbox"/> CDOT / State Highway Dept- Region 1
<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input type="checkbox"/> E-470 Authority
	Referral Agencies		<input checked="" type="checkbox"/> RTD
<input type="checkbox"/>	Architectural Review Committee		<input type="checkbox"/>
<input checked="" type="checkbox"/>	Arapahoe Library District	Janel Maccarrone	Utilities: Gas, Electric & Phone
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input checked="" type="checkbox"/> Centurylink/Phone
<input checked="" type="checkbox"/>	Denver		<input type="checkbox"/> Conoco Phillips / Gas Pipeline
<input type="checkbox"/>	Colorado Parks and Wildlife	Travis Harris	<input checked="" type="checkbox"/> XCEL
<input type="checkbox"/>	County		<input type="checkbox"/> IREA
<input type="checkbox"/>	DRCOG		Water / Sanitation / Stormwater / Wetlands
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<input checked="" type="checkbox"/>	Post Office Growth Coordinator	Jaime Hernandez	<input type="checkbox"/> CCBWQA
<input type="checkbox"/>	Reap I-70 Regional Economic Advancement Partnership	Matt Reay and Jack Keever	<input type="checkbox"/> Colorado Division of Water Resources
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COMMENTS:	SIGNATURE
<input type="checkbox"/> Have NO Comments to make on the case as submitted	
<input checked="" type="checkbox"/> Have the following comments to make related to the case: The Arapahoe Library District requests a share of monies that may be required by the County in lieu of land.	<i>Janel Maccarrone</i>



Public Works and Development

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<input type="checkbox"/>	Reap I-70 Regional Economic Advancement Partnership	Matt Reay and Jack Keever	<input type="checkbox"/> Colorado Division of Water Resources
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<input checked="" type="checkbox"/>	Tri-County Health Department	Sheila Lynch	<input type="checkbox"/> Other / 5 Sets East End Adv. Committee
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COMMENTS:	SIGNATURE
<input type="checkbox"/> Have NO Comments to make on the case as submitted	<i>Glenn B. Thompson, Bureau Chief</i>
<input checked="" type="checkbox"/> Have the following comments to make related to the case:	Previous recommendation on this project were that the Arapahoe County Property and Denver property have different numbering/lettering as part of their addresses so that jurisdiction would be clearly obvious by address. This helps first responders respond quicker during an emergency. It does not appear this recommendation is included in this plan.



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COMMENTS:	SIGNATURE
<input type="checkbox"/> Have NO Comments to make on the case as submitted	
<input checked="" type="checkbox"/> Have the following comments to make related to the case:	



DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS, OMAHA DISTRICT
DENVER REGULATORY OFFICE, 9307 SOUTH WADSWORTH BOULEVARD
LITTLETON, COLORADO 80128-6901

RE: Section 404 of the Clean Water Act Initial Comments

To whom it concerns:

In accordance with Section 404 of the Clean Water Act, the Corps of Engineers regulates the discharge of dredged or fill material, and any excavation associated with a dredged or fill project, either temporary or permanent, into waters of the United States (WOUS). You should notify this office if the project proposed falls within these regulated activities because the project may require a Department of the Army Section 404 permit.

A WOUS may include ephemeral and/or perennial streams, wetlands, lakes, ponds, drainage ditches and irrigation ditches. A wetland delineation must be conducted, and verified by the Corps of Engineers, using the methods outlined in the *Corps of Engineers Wetlands Delineation Manual* (Environmental Laboratory 1987) and *Regional Supplement to the Corps of Engineers Wetland Delineation Manual*: (using applicable Regional Supplement) to determine wetlands based on the presence of three wetland indicators: hydrophytic vegetation, hydric soils, and wetland hydrology. Wetland delineations must be conducted in the field by a qualified environmental consultant and any aquatic resource boundaries must be identified accordingly. Once the aquatic resources have been identified, only this office can determine if they are WOUS. Please note that development of the upland areas, avoiding stream and wetland resources, does not require authorization from this office.

Nationwide Permits (NWP) authorize common types of fill activities in WOUS that will result in a minimal adverse effect to the environment. Descriptions of the 52 types of nationwide permit activities and their general conditions can be found on our website:

<http://www.nwo.usace.army.mil/Missions/RegulatoryProgram/Colorado.aspx>.

Some fill activities require notifying the Corps before starting work. Also, some types/sizes of work may require additional information or mitigation.

Regional General Permits (RGP) authorize specific types of fill activities in WOUS that will result in a minimal adverse effect to the environment. Descriptions of the 4 types of regional general permit activities and their general conditions can be found on our website:

<http://www.nwo.usace.army.mil/Missions/RegulatoryProgram/Colorado/RegionalGeneralPermits.aspx>.

These fill activities require notifying the Corps before starting work, and possibly other local or state agencies. Also, some types/sizes of work may require additional information or mitigation. Please note several of the RGP's are applicant and location specific.

Individual permits may authorize fill activities that are not covered under the NWP or Regional General Permits (RGP's). This permit will be processed through the public interest review procedures, including public notice and receipt of comments. An alternative analysis (AA) must be provided with this permit action. The AA must contain an evaluation of environmental impacts for a range of alternatives. These alternatives should include the preferred action, no action alternative, and other action alternatives that would be the identified project purpose. Other action alternatives should include other practicable (with regards to cost, logistics, and technology) that meet the overall project purpose. The alternatives could include offsite alternatives and alternative designs. When evaluating individual permit applications, the Corps can only issue a permit for the least environmentally damaging practicable alternative (LEDPA). In some cases, the LEDPA may not be the applicant's preferred action. The individual permit application form and form instructions can be found on our website: <http://www.usace.army.mil/Missions/CivilWorks/RegulatoryProgramandPermits/ObtainPermit.aspx>.

If the activity requires a Department of the Army permit as a result of any impacts to WOUS or any earth disturbances within that resource, a federal action will occur. For the Corps to make a permit decision, the applicant must provide enough information to demonstrate compliance with Section 106 of the National Historic Preservation Act (NHPA) and Section 7 of the Endangered Species Act (ESA).

The activity must be designed and constructed to avoid and minimize adverse effects, both temporary and permanent, to WOUS to the maximum extent practicable at the project site. Mitigation in all its forms (avoiding, minimizing, rectifying, reducing, or compensating for resource losses) will be required to the extent necessary to ensure that the adverse effects to the aquatic environment are minimal. Any loss of an aquatic site may require mitigation. Mitigation requirements will be determined during the Department of the Army permitting review.

If the information that was submitted could impact WOUS, which are jurisdictional resources, this office should be notified. If a section 404 permit is required, work in an aquatic site should be identified by the proponent of the project and be shown on a map identifying the Quarter Section, Township, Range and County, Latitude and Longitude, Decimal Degrees (example 39.55555; -104.55555) and the dimensions of work in each aquatic site.

If there are any questions, please call the Denver Regulatory Office at 303-979-4120.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kiel Downing', with a long horizontal stroke extending to the right.

Kiel Downing
Chief, Denver Regulatory Office

Enclosures:
-PCN Requirements



Pre-Construction Notification (PCN) Requirements

(Nationwide Permit General Condition No. 31
from the February 21, 2012 Federal Register)

**US Army Corps of Engineers,
Omaha District, Denver Regulatory Office
9307 South Wadsworth Blvd,
Littleton, CO 80128
Phone: (303) 979-4120**

Website: <http://www.nwo.usace.army.mil/Missions/RegulatoryProgram/Colorado.aspx>

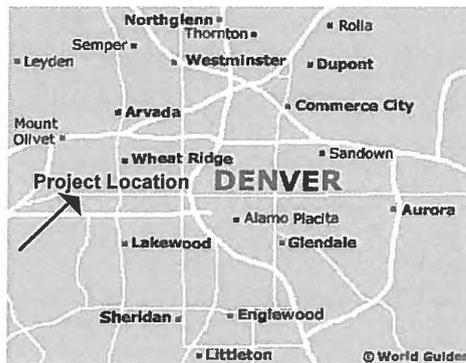
Contents of Pre-Construction Notification:

The PCN must be in writing and include the following information:

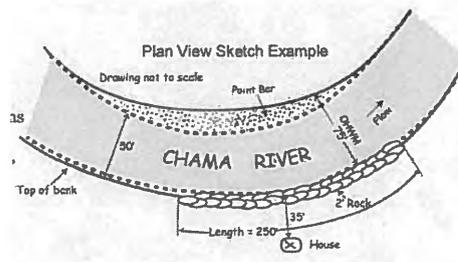
- (1) Name, address and telephone numbers of the prospective permittee;
- (2) Location of the proposed project;
- (3) A description of the proposed project; the project's purpose; direct and indirect adverse environmental effects the project would cause, including the anticipated amount of loss of water of the United States expected to result from the NWP activity, in acres, linear feet, or other appropriate unit of measure; any other NWP(s), regional general permit(s), or individual permit(s) used or intended to be used to authorize any part of the proposed project or any related activity. The description should be sufficiently detailed to allow the district engineer to determine that the adverse effects of the project will be minimal and to determine the need for compensatory mitigation. Sketches should be provided when necessary to show that the activity complies with the terms of the NWP. (Sketches usually clarify the project and when provided results in a quicker decision. Sketches should contain sufficient detail to provide an illustrative description of the proposed activity (e.g., a conceptual plan), but do not need to be detailed engineering plans);
- (4) The PCN must include a delineation of wetlands, other special aquatic sites, and other waters, such as lakes and ponds, and perennial, intermittent, and ephemeral streams, on the project site. Wetland delineations must be prepared in accordance with the current method required by the Corps. The permittee may ask the Corps to delineate the special aquatic sites and other waters on the project site, but there may be a delay if the Corps does the delineation, especially if the project site is large or contains many waters of the United States. Furthermore, the 45 day period will not start until the delineation has been submitted to or completed by the Corps, as appropriate;
- (5) If the proposed activity will result in the loss of greater than 1/10-acre of wetlands and a PCN is required, the prospective permittee must submit a statement describing how the mitigation requirement will be satisfied, or explaining why the adverse effects are minimal and why compensatory mitigation should not be required. As an alternative, the prospective permittee may submit a conceptual or detailed mitigation plan.
- (6) If any listed species or designated critical habitat might be affected or is in the vicinity of the project, or if the project is located in designated critical habitat, for non-Federal applicants the PCN must include the name(s) of those endangered or threatened species that might be affected by the proposed work or utilize the designated critical habitat that may be affected by the proposed work. Federal applicants must provide documentation demonstrating compliance with the Endangered Species Act; and
- (7) For an activity that may affect a historic property listed on, determined to be eligible for listing on, or potentially eligible for listing on, the National Register of Historic Places, for non-Federal applicants the PCN must state which historic property may be affected by the proposed work or include a vicinity map indicating the location of the historic property. Federal applicants must provide documentation demonstrating compliance with Section 106 of the National Historic Preservation Act.

(8) Attach map and sketches- examples shown here.

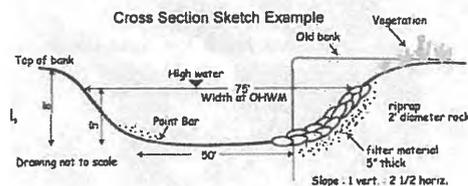
Location Map: Photocopy from road or topo map; indicate site location, any landmarks, etc.



Plan View Sketch: "Bird's-eye view"; include all features- distances, length and width; dimensions of features and stream/wetlands.



Cross Section Sketch: "Cut away view"; include heights, widths of structures, channel, wetland, bank slopes, etc.





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Date sent:	April 26, 2016
Date to be returned:	May 26, 2016

Arapahoe County Agencies		Citizen's Organizations	
<input checked="" type="checkbox"/>	Assessor / Arapahoe County (Residential)	Karen Hart	
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/> CCNA-Cherry Creek Neighborhoods Ass.
<input type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/> CECON-(Within Centennial)
<input checked="" type="checkbox"/>	Engineering / Arapahoe County	Sarah L White	<input checked="" type="checkbox"/> Four Square Mile Neighborhood
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	<input type="checkbox"/> South Metro Chamber of Commerce
<input type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	Conservation District
<input type="checkbox"/>	Open Space / Arapahoe County	Shannon Carter	<input type="checkbox"/> Deer Trail Conservation District
<input checked="" type="checkbox"/>	Planning / Arapahoe County	Sherman Feher	<input checked="" type="checkbox"/> West Arapahoe Conservation District
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	Transportation
<input type="checkbox"/>	Weed Control / Arapahoe County	Russell Johnson	<input checked="" type="checkbox"/> CDOT / State Highway Dept- Region 1
<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input type="checkbox"/> E-470 Authority
Referral Agencies			<input checked="" type="checkbox"/> RTD
<input type="checkbox"/>	Architectural Review Committee		<input type="checkbox"/>
<input checked="" type="checkbox"/>	Arapahoe Library District	Janel Maccarrone	Utilities: Gas, Electric & Phone
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input checked="" type="checkbox"/> Centurylink/Phone
<input checked="" type="checkbox"/>	Denver	Karen Callaway	<input type="checkbox"/> Conoco Phillips / Gas Pipeline
<input type="checkbox"/>	Colorado Parks and Wildlife	Travis Harris	<input checked="" type="checkbox"/> XCEL
<input type="checkbox"/>	County		<input type="checkbox"/> IREA
<input type="checkbox"/>	DRCOG		Water / Sanitation / Stormwater / Wetlands
<input checked="" type="checkbox"/>	Cunningham Fire District		<input checked="" type="checkbox"/> Cherry Creek Valley W&S District
<input type="checkbox"/>	Metro District		<input checked="" type="checkbox"/> U.S. Army Corp. of Engineer
<input checked="" type="checkbox"/>	Post Office Growth Coordinator	Jaime Hernandez	<input type="checkbox"/> CCBWQA
<input type="checkbox"/>	Reap I-70 Regional Economic Advancement Partnership	Matt Reay and Jack Keever	<input type="checkbox"/> Colorado Division of Water Resources
<input type="checkbox"/>	Recreation District / Park District (External)		<input checked="" type="checkbox"/> SEMSWA
<input checked="" type="checkbox"/>	Cherry Creek School District		<input type="checkbox"/> ECCVW&S
<input type="checkbox"/>	Special District		<input checked="" type="checkbox"/> Urban Drainage & Flood
<input checked="" type="checkbox"/>	Tri-County Health Department	Sheila Lynch	<input type="checkbox"/> Other / 5 Sets East End Adv. Committee
<input checked="" type="checkbox"/>	HOMEOWNER'S ASSOCIATIONS:	CREEKSIDE AT HIGHLINE CONDOS	MOUNTAIN VIEW GARDENS

The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate line and return to the Arapahoe County Planning Office on or before the date indicated above.

COMMENTS:	SIGNATURE
<input type="checkbox"/> Have NO Comments to make on the case as submitted	Karen Callaway- City and County of Denver Development Services
<input type="checkbox"/> Have the following comments to make related to the case:	

Sherman Feher

From: Callaway, Karen L. - Project Coordination <Karen.Callaway@denvergov.org>
Sent: Thursday, April 28, 2016 10:07 AM
To: Sherman Feher
Subject: REFERRALS FOR SKY MARK FINAL DEVELOPMENT PLAN (P16-0101) AND REPLAT (P16-009)
Attachments: P16-009 P16-010 Referral List.docx

Hi Sherman- Here is your referral back. We are ok with the project since we are reviewing on our end also. Thanks



Karen Callaway | Project Manager 1- Major Commercial Projects
Community Planning & Development | Development Services
720.865.2988 Phone | Karen.Callaway@denvergov.org
DenverGov.org/DS | [@DenverCPD](https://twitter.com/DenverCPD) | [Take our Survey](#)



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: 303.571.3306
Facsimile: 303. 571.3524
donna.l.george@xcelenergy.com

May 24, 2016

Arapahoe County Public Works and Development
6924 South Lima Street
Centennial, CO 80112

Attn: Sherman Feher

Re: Sky Mark Subdivision Filing No. 1, Case #s P16-009 and P16-010

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the replat and final development plan for **Sky Mark Subdivision Filing No. 1** and, for continuity, requests an additional 10-foot utility easement be dedicated abutting Parker Road.

Please be aware PSCo owns and operates existing natural gas distribution facilities and a PSCo easement as recorded at Rec. No. 2263163, Book 3830, Page 51 on April 4, 1983 in Arapahoe County along the northwesterly property line.

The property owner/developer/contractor must contact the **Builder's Call Line at 1-800-628-2121** or <https://xcelenergy.force.com/FastApp> (**Register so you can track your application**) and complete the application process for any new gas or electric service, or modification to existing facilities. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center at 1-800-922-1987** to have all utilities located prior to any construction.

If you have any questions about this referral response, please contact me at (303) 571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado



Public Works and Development
6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

www.co.arapahoe.co.us

Planning Division

Referral Routing

Case Number / Case Name:	P16-009 & P16-010 / Sky Mark Subdivision #01 Replat and Final Development Plan
Planner:	Sherman Feher
Engineer:	Sarah L White
Date sent:	April 26, 2016
Date to be returned:	May 26, 2016

Arapahoe County Agencies		Citizen's Organizations	
<input checked="" type="checkbox"/>	Assessor / Arapahoe County (Residential)	Karen Hart	
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/> CCNA-Cherry Creek Neighborhoods Ass.
<input type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/> CECON-(Within Centennial)
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<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input type="checkbox"/> E-470 Authority
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<input checked="" type="checkbox"/>	Cunningham Fire District		<input checked="" type="checkbox"/> Cherry Creek Valley W&S District
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<input checked="" type="checkbox"/>	Cherry Creek School District		<input type="checkbox"/> ECCW&S
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<input checked="" type="checkbox"/>	Tri-County Health Department	Sheila Lynch	<input type="checkbox"/> Other / 5 Sets East End Adv. Committee
<input checked="" type="checkbox"/>	HOMEOWNER'S ASSOCIATIONS:	CREEKSIDE AT HIGHLINE CONDOS	MOUNTAIN VIEW GARDENS

The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate line and return to the Arapahoe County Planning Office on or before the date indicated above.

COMMENTS:	SIGNATURE
<input checked="" type="checkbox"/> Have NO Comments to make on the case as submitted	<i>ASS 5-23-16</i>
<input checked="" type="checkbox"/> Have the following comments to make related to the case: <i>DID NOT PROVIDE REVISED LANDSCAPE SHEET TO VERIFY PLANT SCHEDULE & QUANTITIES</i>	<i>SETBACKS OK</i>

ADDITIONAL MATERIALS FOR SKY MARK FDP
CASE NO P16-010

Huntington Welch ESTATES

Paul J. Hanley, President
Huntington Estates-Welch Homeowners Association, Inc.
2083 S. Alton Way
Denver, Colorado 80231
(303) 839-3861
phanley@spencerfane.com

August 5, 2016

[Via Email:JFeher@arapahoegov.com](mailto:JFeher@arapahoegov.com)

Mr. Sherman Feher
Arapahoe County Planning

Re: SKY MARK FINAL DEVELOPMENT PLAN (P16-0101) AND REPLAT (P16-009)

Dear Sherman:

On behalf of Huntington Estates Homeowners Association Inc. we oppose the above-referenced FDP application on the basis that the landscaping plan is inadequate.

From the outset, the developer promised that there would be a buffer to the High Line Canal. The FDP presents the opposite.

Currently there are a handful of very old cottonwoods on the west side of the canal and approximately 15 (depending on how you count) older, smaller cottonwoods on the east side of the canal. From the vantage of the canal, it is difficult to tell whether those on east side are on Denver Water's property or on Sky Mark's.

As these trees die, there should be a landscaping buffer to Sky Mark. The Sky Mark landscaping plans do absolutely nothing in this regard. It appears the applicant intends on scraping all existing trees and vegetation. The plans call for a total of one, yes one, evergreen tree. Next to the High Line, there are just grasses and small shrubs--no trees. There will be wide open views from the High Line to the building and pool area.

This is inconsistent with the character of the High Line. If this was the High Line Canal in Cherry Hills or Greenwood Village, would this be allowed? The answer is no.

If the 15 trees on the east are on Sky Mark's property, then they should be preserved and a row of evergreen trees planted behind to serve as a buffer to the building. If the 15 trees are on Denver Water's property, then there should be a row of evergreen trees planted behind them on the western edge of the Sky Mark property.

Sky Mark should also be required to plant replacement trees for the large cottonwoods on the west side of the High Line on the Denver Water property, when in the future, they die or are removed, as Denver Water is unlikely to do so.

The number of larger evergreen trees should be increased in number from one on the property.

The High Line is the key recreational open space in 4SQM. It is a predominate feature in our community. The FDP, as currently presented, would only lead to its deprecation.

On another matter, there is no evidence that Denver Water has granted the right to build of bridge across the High Line. Historically, Denver Water has been extremely reluctant to allow such bridges. There are a few, but not many. In the likely event that Denver Water does not allow a bridge, all Sky Mark residents will access the High Line Canal trail by going to the sidewalk at Parker Road and proceeding by walking, running, or biking to either Florida or Mississippi to get to the High Line. This presents an expansion of a safety hazard in that there will be more pedestrians and cyclists along Parker Road, where there has already been a pedestrian fatality this year in the area. Accordingly, the sidewalk along Parker Road should be significantly expanded to allow for more pedestrian access along with a cycling trail in both directions from Sky Mark to both Florida and Mississippi in order to mitigate the increased pedestrian and cycling traffic adjacent to the west side of the highway.

Sincerely yours,

Huntington Estates Homeowners Association, Inc.

A handwritten signature in black ink that reads "Paul J. Hanley". The signature is written in a cursive, slightly slanted style.

Paul J. Hanley, President

cc: Board of Directors, Huntington Estates Homeowners Association, Inc.
Four Square Mile Neighborhoods--Mark Lampert, Kevin Gross



ARAPAHOE COUNTY
PROTECT. CONNECT. ENJOY.

Mr. Sherman Feher
Arapahoe County Planning

8/5/16

Re: Skymark Pedestrian Bridge over the High Line Canal

Dear Planning Commission and Board of County Commissioners:

Open Spaces would like to respond to the Huntington Estates-Welch Homeowners Association comments and clarify the current status and future plans for the proposed bridge over the High Line Canal.

On 8/5/16 Skymark representatives and Arapahoe County Planning and Open Spaces staff met and agreed to a final resolution on the proposed bridge. For background information; Denver Water owns and maintains the approximately 100ft wide canal land. The canal has a regional trail that is open to the public and managed by government entities through Recreation License Agreements. Denver Water no longer allows private associations or citizens to construct any improvements on the Denver Water land. All bridges must be publicly owned and publicly accessible.

For this reason, the private Skymark development would not be allowed to build and own a bridge over the canal. Based on our meeting and agreement; Skymark and Arapahoe County have joined in partnership to make this bridge a publicly accessible trail.

Skymark will construct the bridge over the canal, they will also be constructing an 8' wide public access sidewalk/trail connecting to Parker Road and appropriately signed for wayfinding that this is a public access to the High Line Canal Trail. Skymark will be dedicating the Bridge and 8' trail to Arapahoe County through public easement ensuring it will remain open and accessible to the public. Skymark will be responsible for repair and replacement of the sidewalk/trail, Arapahoe County will take ownership of the bridge, with additional funds being provided by Skymark for repair and future replacement of the bridge. Arapahoe County is in the process of finalizing agreements with Denver Water for bridge construction.

This access will be beneficial to not just future Skymark residents but, also to existing residents who currently have to access the High Line Canal Trail along Parker Road. As mentioned in the comments, this new bridge and access trail will be safer and more efficient than the current Parker Road sidewalk.

Thank you,

Roger Harvey
Planning Administrator

Sherman Feher

From: Jan Yeckes
Sent: Tuesday, July 26, 2016 9:41 AM
To: c.m. thomas
Cc: Nancy Jackson; Sherman Feher; Jason Reynolds; Roger Harvey; Chuck Haskins
Subject: Re: SKYMARK APPROSAL

Mr. Thomas: Thank you for your comments. We will include your message with the staff report going to the Planning Commission.

Jan Yeckes
Planning Division Manager
Public Works and Development
Arapahoe County
720-874-6655 | 720-874-6650
jyeckes@arapahoegov.com
www.arapahoegov.com

> On Jul 26, 2016, at 8:23 AM, c.m. thomas <cmtbiz1@gmail.com> wrote:

>

> Re: SKYMARK Project

>

> Dear Planning Commission

>

> I am Opposed to any changes in the Canal Useage. The Aprapahoe County portion of this property is carrying the big load in this project. It will directly effect the quality of life for our residential neighborhood across the canal. regardless what the developers claim. They don't live in this area, they are in it for the Money. They are short term owners-developers and will leave the messes to be cleaned up by future county officials.

>

> Any canal trees cut down must be replaced with other quality trees. Continuing to compliment the current privacy to the neighbors across the canal. There buildings on the canal will look into the directly into the yards of our neighbors and invasion of privacy.

>

> Access to the canal with a special use bridge is not required or necessary. There are 3 bridges between Parker Rd and Florida Ave. Currently there is a bridge just a thousand feet away. There are few bridges across the Highline canal for a good reason --SAFETY.

>

> A 10 ft security fence or decorative block wall matching matching other high density housing projects on the canal should be required or the project should reduced in size.

>

> Proposed Parker Rd - road way changes is going adversely affect left turn out of this complex. Another Safety Hazard.

>

> Any Handicapped person must Walk, Roll, be pushed, to the nearest bus stop 2200 feet away for a north bound bus stop. A real nightmare during good weather but what's going to happen during snowy weather. Crossing Parker RD is a Safety Hazard, one youth tried and was killed recently.

>

>

>

> Chuck Thomas



From: Scott Kippur [<mailto:scott@coloradotaxman.com>]
Sent: Friday, July 22, 2016 4:43 PM
To: Nancy Jackson <NJackson@arapahoegov.com>
Subject: SkyMark Project

Dear Commissioner Jackson:

Thank you for taking the time to return my phone call, and having your assistant reach out to me.

I understand you are at a conference, and truly appreciate your effort to get in touch.

We recently attended the Four Square Mile meeting on Wednesday, July, 13, and were disappointed with the developer of the SkyMark project (Del West).

Essentially, that the developer steamrolled their development ideas down the throats of the neighbors, without seriously taking into account the neighborhood concerns at the recent meeting, or from past meetings with the planning commission.

As you recall, the developer had made various 'promises' throughout the proceedings with the Board of Commissioners during the planning committee meetings held during the springtime in order to obtain zoning.

Some of those items were as follows:

1. Not taking down the trees along the canal and preserving the wildlife along the canal.
2. Putting up a wall, fence, or some kind of 'boarder' which would privatize their property (and noise) from our properties; not having one would be inappropriate for the area given that the other properties along the canal are walled / gated and privatized.
3. Having security along the bridge (i.e. a Key); assuming the bridge is approved by the Denver Water
4. Negotiating development hours with the neighborhood;
5. Having one-on-one meetings between the developer and those who live in the neighborhood. Michael Sheldon has continuously suggested that such meetings have occurred, when in fact, they haven't - particularly with The Hunt Club and Mountain View - which are the two communities most impacted by this development project.

Unfortunately, we feel like we are swimming upstream, and that we are dealing with a developer who is not known for acting in good faith or truly caring for the community at-large.

Before we explore any kind of legal route as we believe we can get an injunction to delay the project, or contacting the developer directly, we would like to see if you could at least somehow get them to honor these promises / commitments / requests given your outspoken concern and trepidation with respect to this project.

I think it would go a long way in establishing good-will between the developer and neighborhood, and at least make this project somewhat more appropriate footing for the neighborhood.

In closing, I cannot tell you how much we all appreciate your concern and kindness you have shown throughout this entire process, and we are thankful for your representation to our concerns. It means a lot to us.

Sincerely yours,

Scott Kippur
7668 East Arizona Drive
Denver, Colorado 80231
303-601-0179

Office Contact Info:

Scott H. Kippur, CPA, MT
Kippur, Youmans, and Associates, P.C.
2121 South Oneida Street, Suite 525
Denver, Colorado 80224
(303) 758-1796 Office
(303) 758-1825 Fax

Scott H. Kippur, CPA, MT
Kippur, Youmans, and Associates, P.C.
2121 South Oneida Street, Suite 525
Denver, Colorado 80224
(303) 758-1796 Office
(303) 758-1825 Fax

SKY MARK APARTMENTS

FINAL DEVELOPMENT PLAN

LOT 1, BLOCK 1 SKY MARK SUBDIVISION FILING NO. 1
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 21
 TOWNSHIP 4 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO

LEGAL DESCRIPTION:

SKY MARK SUBDIVISION FILING NO. 1 AS RECORDED AT RECEPTION NO. _____ RECORDS OF ARAPAHOE COUNTY, STATE OF COLORADO.

CONTAINING 93,144 SQUARE FEET, OR 2.138 ACRES, MORE OR LESS.

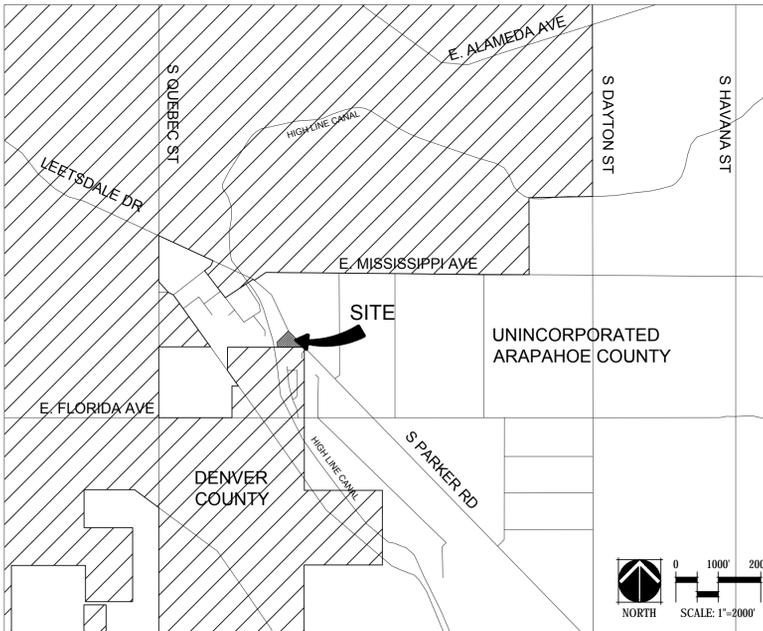
LAND USE COMPARISON CHART:

	PDP Z14-009	FDP P16-010
ZONING	R-PH	R-PH
GROSS AREA	2.14 AC (1)	2.14 AC
RESIDENTIAL DENSITY	45 DU/AC	44.4 DU/AC
TOTAL DWELLING UNITS	95	95
MAXIMUM BUILDING LOT COVERAGE	50% (2)	30.9%
MAXIMUM BUILDING HEIGHT	90'-0"	81'-5"
MINIMUM OPEN SPACE (3)	35%	54.2%
MAXIMUM BUILDING SQUARE FOOTAGE (GFA)	180,000	161,983 SF
PARKING (OFF-STREET) (4)	1.5 SPACES/ 1 BDR 2.0 SPACES/ 2 & 3 BDR 2.5 SPACES/ 4 BDR 0.25 GUEST SPACES / UNIT	PLEASE SEE PARKING CHART BELOW
SIGNAGE	PER PDP Z14-009	PER PDP Z14-009

NOTES:

- THE TOTAL SITE INCLUDING BOTH DENVER AND ARAPAHOE COUNTY TOTALS ~5.2 ACRES.
- "MAXIMUM BUILDING LOT COVERAGE" AND "MINIMUM OPEN SPACE" ARE BASED ON THE ENTIRE CREEKVIEW PDP (CASE #Z30-026) THAT ENCOMPASSES NOT ONLY THIS PROPERTY BUT THE PARCELS TO THE NORTH (~5.2 ACRES).
- OPEN SPACE FOR THE PURPOSES OF THIS PDP INCLUDES ACTIVE RECREATION SPACES WITH LIMITED PAVEMENT SURFACES, SUCH AS SWIMMING POOLS AND SURROUNDING POOL DECK, PLAY EQUIPMENT FOR YOUNGSTERS, OUTDOOR COURTYARDS AND PLAZAS, AS WELL AS AREAS NOT OCCUPIED BY ANY STRUCTURES AND LIMITED PAVEMENT SURFACES SUCH AS PARKS AND LANDSCAPE TRACTS (EXCEPT PARKING LOT ISLANDS). OPEN SPACE SHALL NOT INCLUDE DRIVEWAYS, PARKING LOTS, PARKING ISLANDS, DRIVE AISLES OR OTHER SURFACES DESIGNED OR INTENDED FOR VEHICULAR TRAVEL (EXCEPT LANDSCAPED EMERGENCY VEHICLE ACCESS).
- OFF-STREET PARKING WILL MEET ARAPAHOE COUNTY CODE REQUIREMENTS. DUE TO THE DUAL MUNICIPAL NATURE OF THIS DEVELOPMENT, A PORTION OF THE ARAPAHOE COUNTY REQUIRED RESIDENTIAL PARKING WILL OCCUR ON THE CITY OF DENVER PORTION OF THE PROJECT WITHOUT COMPROMISING THE REQUIRED NUMBER OF SPACES FOR THE DENVER SIDE. A TOTAL OF 151 PARKING SPACES WILL SERVE RESIDENTS ON THE ARAPAHOE COUNTY PORTION OF THE SITE WHILE 194 PARKING SPACES WILL BE AVAILABLE FOR RESIDENTS ON THE DENVER PORTION OF THE SITE. THIS PARKING ARRANGEMENT SHALL ONLY OCCUR WHEN A SINGLE PHASE CONTIGUOUS DEVELOPMENT OCCURS ON THE COMBINED RESIDENTIAL PARCELS AND A RECIPROCAL AND PARKING ACCESS AGREEMENT(S) IS CREATED AND RECORDED AS A PART OF THE FUTURE DEVELOPMENT. ANY FUTURE DEVELOPMENT ON THE ARAPAHOE COUNTY SIDE ONLY SHALL MEET ARAPAHOE COUNTY PARKING REQUIREMENTS.

VICINITY MAP



STANDARD CERTIFICATES

BOARD OF COUNTY COMMISSIONERS APPROVAL
 APPROVED BY THE ARAPAHOE COUNTY BOARD OF COMMISSIONERS,
 THIS _____ DAY OF _____ A.D., 2016.

CHAIR: _____

ATTEST: _____

PLANNING COMMISSION RECOMMENDATION

RECOMMENDED/NOT RECOMMENDED BY THE ARAPAHOE COUNTY
 PLANNING COMMISSION, THIS _____ DAY OF _____ A.D., 2016.

CHAIR: _____

SPECIFIC CERTIFICATES

CERTIFICATE OF OWNERSHIP

I _____ HEREBY AFFIRM THAT I AM THE OWNER OR AUTHORIZED AGENT OF ALL INDIVIDUALS HAVING OWNERSHIP INTEREST IN THE PROPERTY DESCRIBED HEREIN, KNOWN AS SKY MARK APARTMENTS FINAL DEVELOPMENT PLAN CASE NO. P16-010.

CANAMER BUILDINGS CORP. OF COLORADO, A COLORADO CORPORATION

STATE OF COLORADO }
 COUNTY OF _____ } S.S.

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME

THIS _____ DAY OF _____, 2016 BY _____

AS PRESIDENT OF SKY MARK APARTMENTS LLC, AN AUTHORIZED SIGNATORY.

BY _____ WITNESS MY HAND AND SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

SHEET INDEX

SHEET 1:	COVER
SHEET 2:	NOTES
SHEET 3:	SITE PLAN
SHEET 4:	GRADING PLAN
SHEET 5:	DRAINAGE MAP
SHEET 6:	UTILITY PLAN
SHEET 7:	LANDSCAPE PLAN
SHEET 8:	LANDSCAPE NOTES AND SCHEDULE
SHEET 9:	LANDSCAPE PLAN
SHEET 10:	LANDSCAPE DETAILS
SHEET 11:	GARAGE LEVEL PLANS
SHEET 12:	TYPICAL FLOOR PLAN AND SECTION
SHEET 13:	BUILDING ELEVATIONS
SHEET 14:	BUILDING ELEVATIONS
SHEET 15:	CLUBHOUSE
SHEET 16:	SITE PHOTOMETRIC PLAN
SHEET 17:	LIGHT FIXTURES

SITE COVERAGE CHART:

BUILDING COVERAGE	SF	ACREAGE	%
RESIDENTIAL BUILDING/PARKING STRUCTURE	23,110	0.531	24.8%
CLUBHOUSE	5,683	0.130	6.1%
TOTAL BUILDING COVERAGE	28,793	0.661	30.9%
NON-BUILDING COVERAGE	SF	ACREAGE	%
PRIVATE DRIVES, PARKING AND EMERGENCY ACCESS	13,880	0.319	14.9%
OPEN SPACE	50,471	1.158	54.2%
LANDSCAPE	33,053	0.758	35.5%
WALKS	7,775	0.178	8.3%
PLAZA SPACE	9,643	0.221	10.4%
TOTAL SITE COVERAGE	93,144	2.138	100.0%

SETBACK CHART:

	PDP Z14-009	FDP P16-010
MINIMUM BUILDING FROM S. PARKER ROAD	25'-0"	27'
MINIMUM BUILDING FROM SOUTH PROPERTY LINE	10'-0"	15'
MINIMUM BUILDING FROM NORTH PROPERTY LINE	25'-0"	28'
MINIMUM BUILDING FROM WEST PROPERTY LINE	50'-0"	58'
MINIMUM PARKING TO BUILDING	10'-0"	22'
MINIMUM PARKING TO PARKER ROAD R.O.W	25'-0"	29'

NOTE: BUILDING SETBACKS SHALL BE MEASURED FROM FOUNDATION WALL. ARCHITECTURAL FEATURES INCLUDING BUT NOT LIMITED TO: EAVES, BAY WINDOWS, CANTILEVERS, DECKS AND FIREPLACES MAY ENCR OACH INTO THE SETBACKS UP TO A MAXIMUM OF 24 INCHES.

REQUIRED PARKING COUNT

UNIT TYPE	UNIT COUNT	UNIT PARKING SPACES	GUEST PARKING SPACES	TOTAL PARKING SPACES	TOTAL PROVIDED SPACES (SEE PROVIDED PARKING CHART)
1BD/1BA	40 UNITS	60 (1.5 SPACES/1BD)	10 (0.25 SPACES/UNIT)	70 SPACES	194 SPACES
2BD/2BA	55 UNITS	110 (2 SPACES/2BD)	14 (0.25 SPACES/UNIT)	124 SPACES	
TOTAL	95 UNITS	170 UNIT SPACES	24 GUEST SPACES	194 TOTAL SPACES	194 TOTAL SPACES

PROVIDED PARKING COUNT

	STANDARD SPACES	ACCESSIBLE SPACES	TOTAL PARKING SPACES
ARAPAHOE COUNTY	27	2	140 SPACES
DENVER COUNTY (PER SHARED PARKING AGREEMENT)	49	-	49 SPACES
TOTAL	78 SURFACE SPACES	116 GARAGE SPACES	194 TOTAL SPACES

NOTE: THE NUMBER OF ACCESSIBLE SPACES IS BASED ON THE NUMBER OF SPACES PROVIDED ON THE ARAPAHOE COUNTY SIDE OF THE SITE (ACCESSIBLE PARKING REQUIREMENTS DICTATE 5 ACCESSIBLE SPACES PER 101-150 STANDARD SPACES).

APPLICANT:
 SKY MARK APARTMENTS, LLC
 155 SOUTH MADISON STREET
 DENVER, CO 80209

LANDSCAPE ARCHITECT/PLANNER
 NORRIS DESIGN
 1101 BANNOCK STREET
 DENVER, CO 80204

ARCHITECT
 KEPHART
 2555 WALNUT STREET
 DENVER, CO 80205

ENGINEER
 CORE CONSULTANTS, INC.
 1950 W. LITTLETON BLVD. #109
 LITTLETON, CO 80120

ARAPAHOE COUNTY CASE NO. P16-010



1101 Bannock Street
 Denver, Colorado 80204
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SKY MARK APARTMENTS

FINAL DEVELOPMENT PLAN

LOT 1, BLOCK 1 SKY MARK SUBDIVISION FILING NO. 1
LOCATED IN THE NORTHWEST QUARTER OF SECTION 21
TOWNSHIP 4 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
COUNTY OF ARAPAHOE, STATE OF COLORADO

STANDARD NOTES

THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS OF THE FINAL DEVELOPMENT KNOWN AS SKY MARK APARTMENTS, THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAN WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED, AND PROVIDED CONSTRUCTION OF SAID ROADWAYS IS STARTED WITHIN ONE YEAR OF THE CONSTRUCTION PLAN APPROVAL. THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

DRAINAGE MAINTENANCE

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENTS. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO MAINTAINING THE SPECIFIED STORM WATER DETENTION/ RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. ARAPAHOE COUNTY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

EMERGENCY ACCESS NOTE

EMERGENCY ACCESS IS GRANTED HERewith OVER AND ACROSS ALL PAVED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES.

DRIVES, PARKING AREAS, AND UTILITY EASEMENTS MAINTENANCE

THE OWNERS OF THIS PLAN, THEIR SUCCESSORS, AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS, AND EASEMENTS, I.E.: CROSS ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.

PRIVATE STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE PRIVATE ROADWAYS SHOWN ON THIS PLAN ARE NOT IN CONFORMANCE WITH ARAPAHOE COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION. THE OWNERS, DEVELOPERS, AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

DRAINAGE LIABILITY

IT IS THE POLICY OF ARAPAHOE COUNTY THAT IT DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY CORE ENGINEERING. ARAPAHOE COUNTY REVIEWS DRAINAGE PLANS PURSUANT TO COLORADO REVISED STATUTES TITLE 30, ARTICLE 28, BUT CANNOT, ON BEHALF OF CANAMER BUILDINGS CORP. OF COLORADO, A COLORADO CORPORATION GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW WILL ABSOLVE CANAMER BUILDINGS CORP. OF COLORADO, A COLORADO CORPORATION AND/OR THEIR SUCCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN. IT IS THE POLICY OF ARAPAHOE COUNTY THAT APPROVAL OF THE FINAL PLAT AND/OR FINAL DEVELOPMENT PLAN DOES NOT IMPLY APPROVAL OF CORE ENGINEERING DRAINAGE DESIGN.

LANDSCAPE MAINTENANCE

THE OWNERS OF THIS PLAN, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.

SIGHT TRIANGLE MAINTENANCE

THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN SAID TRIANGLE.

PUBLIC IMPROVEMENTS NOTE

AFTER FINAL DEVELOPMENT PLAN/FINAL PLAT APPROVAL, ISSUANCE OF INDIVIDUAL BUILDING PERMITS WILL BE SUBJECT TO THE FOLLOWING STIPULATIONS AND/OR CONDITIONS PRECEDENT, WHICH OWNER AGREES TO IN CONJUNCTION WITH APPROVAL OF THE FINAL DEVELOPMENT PLAN AND/OR FINAL PLAT. SUCH BUILDING PERMITS WILL BE ISSUED ONLY AFTER THE OWNERS GUARANTEE PUBLIC IMPROVEMENTS IN A FORM ACCEPTABLE TO THE BOARD OF COUNTY COMMISSIONERS PURSUANT TO STATE STATUTE.

DRAINAGE MASTER PLAN NOTE

THE POLICY OF THE COUNTY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW:

1. DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE PHASE III DRAINAGE REPORT AND PLAN.

2. DESIGN AND CONSTRUCT THE CONNECTION OF THE SUBDIVISION DRAINAGE SYSTEM TO A DRAINAGEWAY OF ESTABLISHED CONVEYANCE CAPACITY SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGEWAY. THE COUNTY WILL REQUIRE THAT THE CONNECTION OF THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFFSITE FLOWS) LEAVING THE SPECIFIC DEVELOPMENT SITE. TO MINIMIZE OVERALL CAPITAL COSTS, THE COUNTY ENCOURAGES ADJACENT DEVELOPMENTS TO JOIN IN DESIGNING AND CONSTRUCTING CONNECTION SYSTEMS. ALSO, THE COUNTY MAY CHOOSE TO PARTICIPATE WITH A DEVELOPER IN THE DESIGN AND CONSTRUCTION OF THE CONNECTION SYSTEM.

3. EQUITABLE PARTICIPATION IN THE DESIGN AND CONSTRUCTION OF THE MAJOR DRAINAGEWAY SYSTEM THAT SERVES THE DEVELOPMENT AS DEFINED BY ADOPTED MASTER DRAINAGEWAY PLANS (SECTION 3.4 OF THE ARAPAHOE COUNTY STORMWATER MANAGEMENT MANUAL) OR AS REQUIRED BY THE COUNTY AND DESIGNATED IN THE PHASE III DRAINAGE REPORT.

SPECIFIC NOTES

FOUR SQUARE MILE AREA NOTE

A) TO INCLUDE SAID DEVELOPMENT WITHIN A SPECIAL DISTRICT FOR THE PURPOSE OF PARTICIPATING IN THE CONSTRUCTION OF NECESSARY OFF-SITE IMPROVEMENTS AT THE TIME OF APPROVAL OF FINAL DEVELOPMENT PLANS.

B) TO COOPERATE WITH OTHER OWNERS OF OTHER PARCELS AND/OR SPECIAL DISTRICTS IN OFF-SITE ROADWAY AND OPEN SPACE IMPROVEMENTS AS NECESSITATED BY DEVELOPMENT IMPACTS AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.

C) TO INCLUDE SAID DEVELOPMENT IN A MASTER DRAINAGE IMPROVEMENT DISTRICT IF SUCH A DISTRICT IS FORMED.

STREET LIGHTING NOTE

ALL LOTS ARE SUBJECT TO AND BOUND BY TARIFFS WHICH ARE NOW AND MAY IN THE FUTURE BE FILED WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO RELATING TO STREET LIGHTING IN THIS PLAN, TOGETHER WITH RATES, RULES, AND REGULATIONS THEREIN PROVIDED AND SUBJECT TO ALL FUTURE AMENDMENTS AND CHANGES THERETO. THE OWNER OR OWNERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL PAY AS BILLED, A PORTION OF THE COST OF PUBLIC STREET LIGHTING IN THE PLAN ACCORDING TO APPLICABLE RATES, RULES, AND REGULATIONS, INCLUDING FUTURE AMENDMENTS AND CHANGES ON FILE WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO.

STORMWATER MAINTENANCE NOTE

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT BEST MANAGEMENT PRACTICES (BMP'S) AND STORMWATER FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENTS AND THE OPERATIONS AND MAINTENANCE (O AND M) GUIDE IN THE CASE OF PERMANENT BMP'S. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, MAINTAINING THE SPECIFIED BMP'S CONTAINED IN THE O AND M MANUAL RECORDED AT RECEPTION NUMBER _____, AND THE STORMWATER FACILITIES SHOWN IN THE APPROVED PHASE III DRAINAGE REPORT AND SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS.

THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL PERMANENT BMP'S AND/OR STORMWATER FACILITIES ASSOCIATED WITH THIS DEVELOPMENT. IF THE PERMANENT BMP'S AND STORMWATER FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

PRIVATE OPEN SPACE NOTE

A) THE PRIVATE PARK SITE AS SHOWN ON THIS PLAT OR PLAN SHALL BE MAINTAINED IN PERPETUITY BY THE OWNER(S), HOMEOWNER'S ASSOCIATION, AND/OR ENTITY OTHER THAN ARAPAHOE COUNTY.

B) BUILDING PERMITS WILL BE ISSUED FOR ONLY ONE-HALF OF THE LOTS IN THIS SUBDIVISION UNTIL THE PARK FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLAN.

C) WHEN A PROJECT CONSISTS OF ONE LOT, THE PRIVATE PARK SHALL BE INSTALLED PRIOR TO THE CERTIFICATE OF OCCUPANCY.

CUNNINGHAM FIRE PROTECTION DISTRICT NOTES

1. SURFACED ACCESS ROADS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF FIRE APPARATUS AND ALL REQUIRED HYDRANTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION.

2. RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON AND THROUGH ANY AND ALL PRIVATE ROADS AND DRIVES.

3. ALL ROADS AND DRIVES ARE HEREBY DESIGNATED AS FIRE LANES. WHEN REQUIRED BY THE FIRE DISTRICT, ALL FIRE LANES SHALL BE POSTED NO PARKING - FIRE LANE. ALL FIRE LANES SHALL BE INCLUDED IN THE ARAPAHOE COUNTY PROGRAM FOR ENFORCEMENT OF PRIVATE PROPERTY PARKING.

4. COMPLETE SPECIFICATIONS AND CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE FIRE DISTRICT FOR REVIEW AND APPROVAL PRIOR TO ANY CONSTRUCTION OCCURRING.

5. ALL FIRE HYDRANTS ARE TO BE INSTALLED IN CONFORMANCE WITH SECTIONS 508.5 OF THE 2006 INTERNATIONAL FIRE CODE. NO LANDSCAPING, FENCING OR ANY OTHER OBSTRUCTION SHALL BE PLACED WITHIN THREE FEET OF A FIRE HYDRANT.

6. THE FIRE DISTRICT REQUIRES ALL NEW TRAFFIC SIGNALS INSTALLED AS A RESULT OF NEW DEVELOPMENT BE EQUIPPED WITH APPROVED TRAFFIC SIGNAL PRIORITIZATION/PREEMPTION EQUIPMENT.



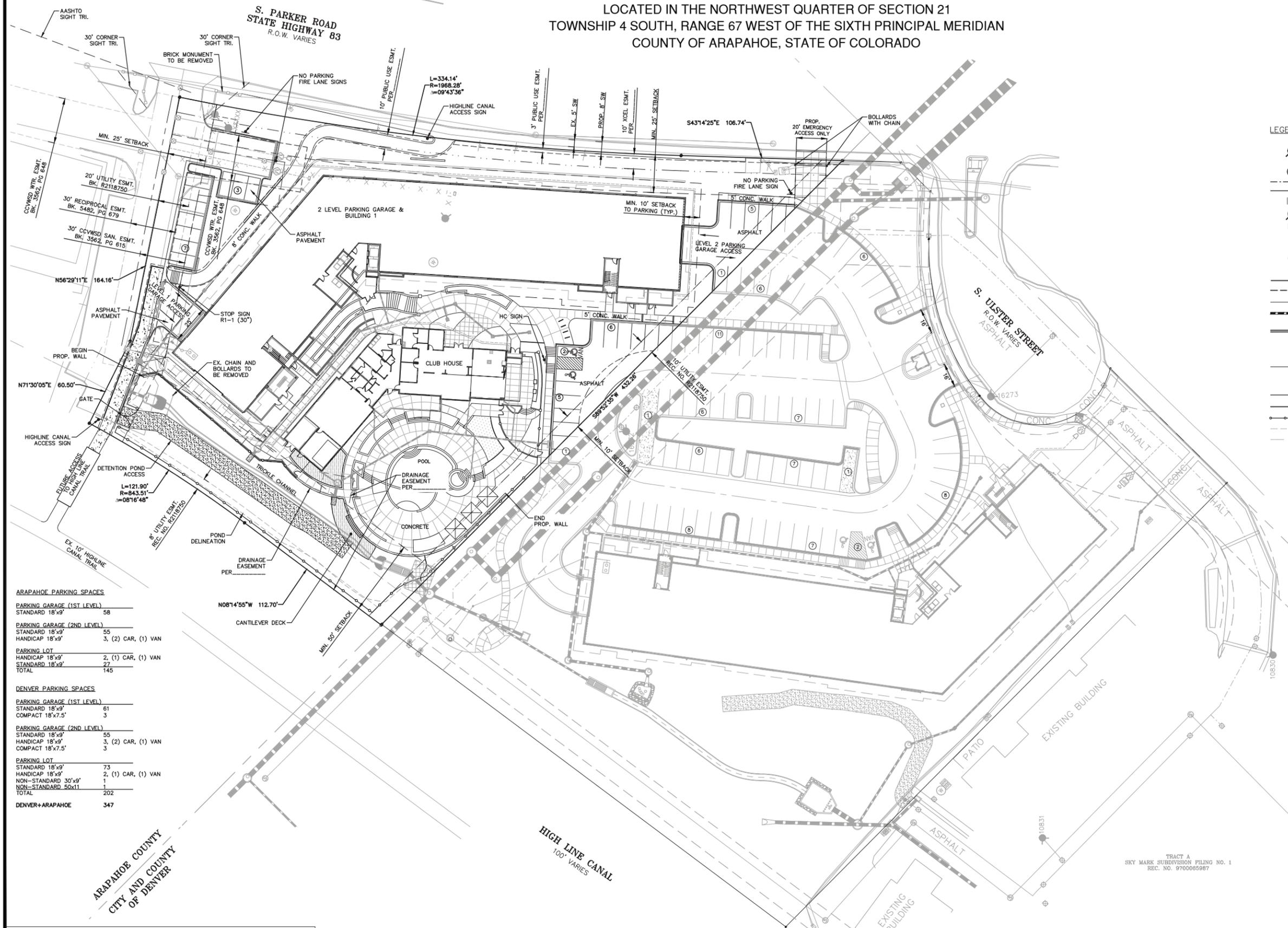
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NOT FOR CONSTRUCTION

SKY MARK APARTMENTS

FINAL DEVELOPMENT PLAN

LOT 1, BLOCK 1 SKY MARK SUBDIVISION FILING NO. 1
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 21
 TOWNSHIP 4 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO



- LEGEND**
- EXISTING FIRE HYDRANT
 - EXISTING WATER VALVE
 - EXISTING WATER MH
 - EXISTING 12" WATER
 - EXISTING 8" WATER
 - EXISTING IRRIGATION BOX
 - PROPOSED FIRE HYDRANT
 - PROPOSED TAPPING VALVE
 - PROPOSED WATER VALVE
 - PROPOSED METER W/ PIT
 - PROPOSED BLOW-OFF W/ MH
 - PROPOSED CONNECTOR
 - PROPOSED FIRE LINE
 - PROPOSED DOMESTIC
 - EXISTING STORM MH & PIPE
 - PROPOSED STORM MH & PIPE
 - PROPOSED STORM INLET
 - SPILL CURB & GUTTER
 - EXISTING SANITARY MH & PIPE
 - PROPOSED SANITARY MH
 - PROPOSED SANITARY SERVICE W/ CLEAN OUT
 - TELEPHONE PESTAL
 - DRAINAGE ARROW
 - PROPERTY LINE
 - PROPERTY FENCE
 - CCWSD WATER ESMT.
 - CCWSD SANITARY ESMT.

ARAPAHOE PARKING SPACES

PARKING GARAGE (1ST LEVEL)	
STANDARD 18'x9'	58
PARKING GARAGE (2ND LEVEL)	
STANDARD 18'x9'	55
HANDICAP 18'x9'	3, (2) CAR, (1) VAN
PARKING LOT	
HANDICAP 18'x9'	2, (1) CAR, (1) VAN
STANDARD 18'x9'	27
TOTAL	145

DENVER PARKING SPACES

PARKING GARAGE (1ST LEVEL)	
STANDARD 18'x9'	61
COMPACT 18'x7.5'	3
PARKING GARAGE (2ND LEVEL)	
STANDARD 18'x9'	55
HANDICAP 18'x9'	3, (2) CAR, (1) VAN
COMPACT 18'x7.5'	3
PARKING LOT	
STANDARD 18'x9'	73
HANDICAP 18'x9'	2, (1) CAR, (1) VAN
NON-STANDARD 30'x9'	1
NON-STANDARD 50'x11'	1
TOTAL	202

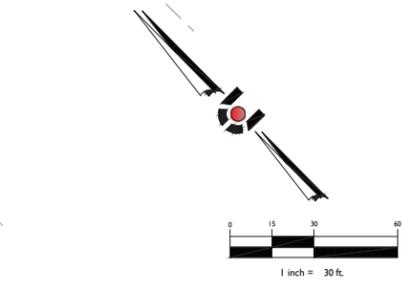
DENVER+ARAPAHOE 347

NOT FOR CONSTRUCTION

ARAPAHOE COUNTY
 CITY AND COUNTY
 OF DENVER

ARAPAHOE COUNTY CASE NO. P16-010

TRACT A
 SKY MARK SUBDIVISION FILING NO. 1
 REC. NO. 9700065987



CORE CONSULTANTS

CIVIL ENGINEERING
 ENVIRONMENTAL CONSULTING
 LAND SURVEYING
 200 W. Lincoln Blvd., Ste. 100
 Littleton, CO 80120

SITE PLAN

SKY MARK APARTMENTS

FINAL DEVELOPMENT PLAN

LOT 1, BLOCK 1 SKY MARK SUBDIVISION FILING NO. 1
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 21
 TOWNSHIP 4 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO

S. PARKER ROAD
 STATE HIGHWAY 83
 R.O.W. VARIES

APARTMENT/GARAGE

FIRE FLOW DATA BLOCK:
 TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS 3250 GPM
 MINIMUM @ 20 PSI RESIDUAL PRESSURE. THIS FLOW MUST BE
 PROVIDED FROM A MINIMUM OF 4 FIRE HYDRANTS
 INDIVIDUALLY, EACH FIRE HYDRANT MUST SUPPLY 1500 GPM
 MINIMUM @ 20 PSI RESIDUAL PRESSURE.

CODE USE FOR ANALYSIS: 2009 IBC WITH 2011 AMENDMENTS
 OCCUPANCY GROUP: R-2 (APARTMENTS), S-2 (GARAGES)
 CONSTRUCTION TYPE: III-B (APARTMENTS), IA (GARAGES)
 FIRE FLOW CALCULATION AREA: 110,000 SF (R-2),
 44,500 (S-2); TOTAL=154,500 SF
 THIS BUILDING IS FULLY SPRINKLED
 FDC IS REQUIRED TO BE PLACED IN THE FIELD. PER SECTION
 912.2 LOCATION

CLUB HOUSE

FIRE FLOW DATA BLOCK:
 TOTAL FIRE FLOW REQUIRED FOR THIS SITE IS 1500 GPM
 MINIMUM @ 20 PSI RESIDUAL PRESSURE. THIS FLOW MUST BE
 PROVIDED FROM A MINIMUM OF 1 FIRE HYDRANT INDIVIDUALLY,
 FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM @ 20 PSI
 RESIDUAL PRESSURE.

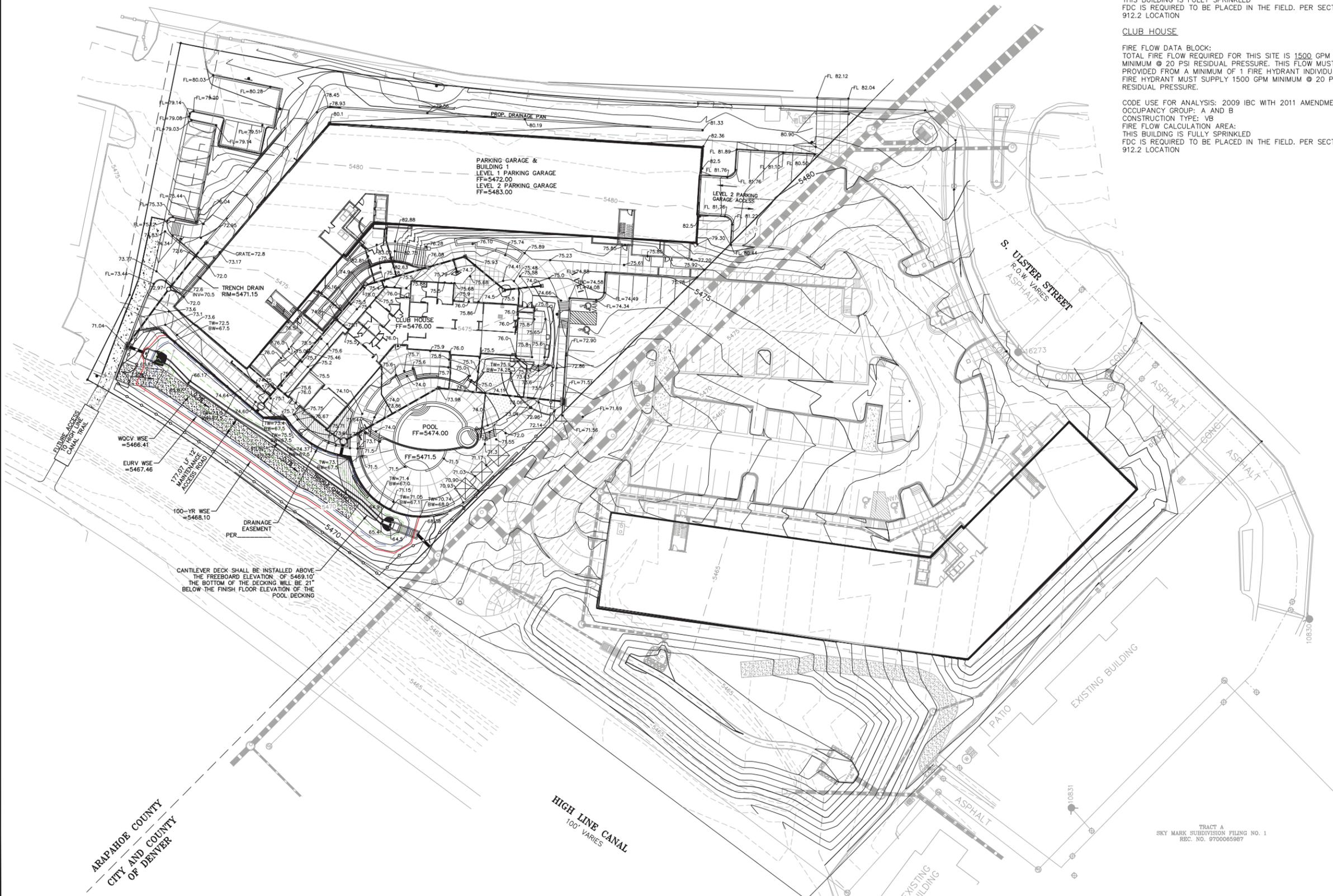
CODE USE FOR ANALYSIS: 2009 IBC WITH 2011 AMENDMENTS
 OCCUPANCY GROUP: A AND B
 CONSTRUCTION TYPE: VB
 FIRE FLOW CALCULATION AREA:
 THIS BUILDING IS FULLY SPRINKLED
 FDC IS REQUIRED TO BE PLACED IN THE FIELD. PER SECTION
 912.2 LOCATION

LEGEND

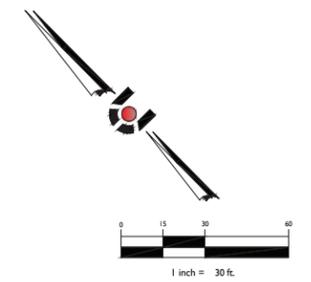
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
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- EXISTING 12" WATER
- EXISTING 8" WATER
- EXISTING IRRIGATION BOX
- PROPOSED FIRE HYDRANT
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- PROPOSED SANITARY MH
- PROPOSED SANITARY SERVICE W/ CLEAN OUT
- TELEPHONE PEDESTAL
- DRAINAGE ARROW
- PROPERTY LINE
- PROPERTY FENCE
- CCWSD WATER ESMT.
- CCWSD SANITARY ESMT.

SIGHT TRIANGLES REQUIREMENTS

1. NO WALL, FENCE, SIGN, STRUCTURE OF ANY PLANT GROWTH HAVING A HEIGHT IN EXCESS OF 3 FT ABOVE ELEVATION OF ADJACENT ROADWAY.



NOT FOR CONSTRUCTION



TRACT A
 SKY MARK SUBDIVISION FILING NO. 1
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GRADING PLAN

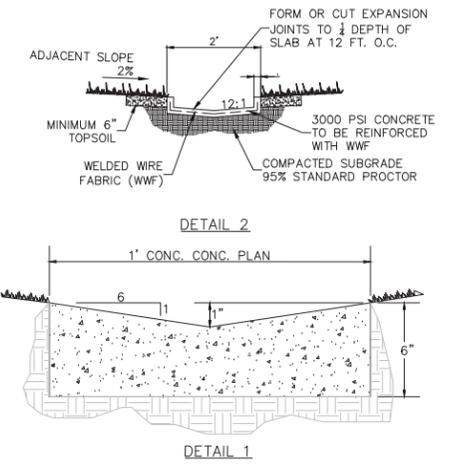
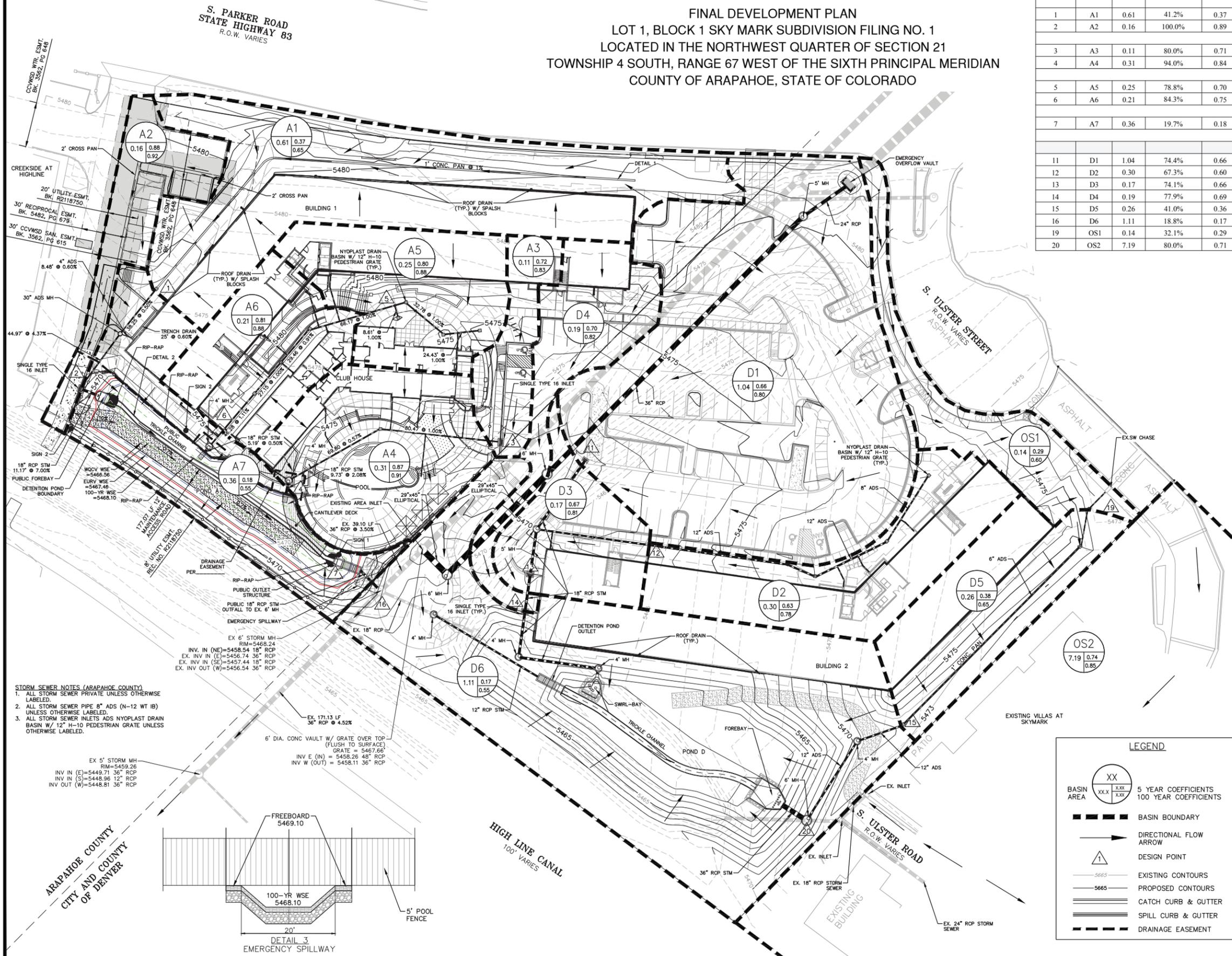
ARAPAHOE COUNTY CASE NO. P16-010

SKY MARK APARTMENTS

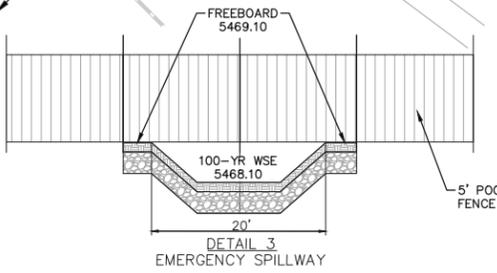
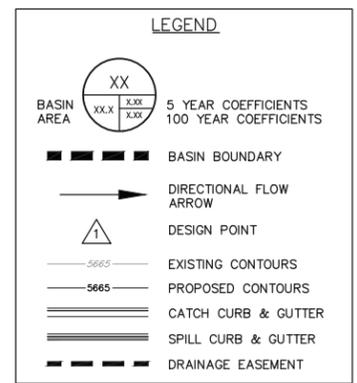
FINAL DEVELOPMENT PLAN

LOT 1, BLOCK 1 SKY MARK SUBDIVISION FILING NO. 1
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 21
 TOWNSHIP 4 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO

DESIGN POINT	DRAIN BASIN	AREA (AC)	IMPERVIOUS (%)	RUNOFF SUMMARY TABLE									
				RUNOFF COEFFICIENTS, C			DIRECT RUNOFF, CFS			ROUTED RUNOFF, CFS			
				2-YEAR	5-YEAR	100-YEAR	2-YEAR	5-YEAR	100-YEAR	2-YEAR	5-YEAR	100-YEAR	
1	A1	0.61	41.2%	0.37	0.38	0.66	0.6	0.9	2.9	0.6	0.9	2.9	
2	A2	0.16	100.0%	0.89	0.93	0.94	0.5	0.7	1.4	1.1	1.6	4.3	
BASIN A1 + A2 ROUTED RUNOFF, CFS											1.1	1.6	4.3
3	A3	0.11	80.0%	0.71	0.74	0.85	0.3	0.4	0.8	0.3	0.4	0.8	
4	A4	0.31	94.0%	0.84	0.87	0.91	0.9	1.3	2.6	1.1	1.7	3.4	
BASIN A3 + A4 ROUTED RUNOFF, CFS											1.1	1.7	3.4
5	A5	0.25	78.8%	0.70	0.73	0.84	0.6	0.9	1.9	0.6	0.9	1.9	
6	A6	0.21	84.3%	0.75	0.78	0.87	0.5	0.8	1.6	1.1	1.6	3.6	
BASIN A5 + A6 ROUTED RUNOFF, CFS											1.1	1.6	3.6
7	A7	0.36	19.7%	0.18	0.18	0.55	0.2	0.3	1.6	0.2	0.3	1.6	
BASINS A1-A7 TOTAL ROUTED RUNOFF, CFS											3.5	5.1	12.9
11	D1	1.04	74.4%	0.66	0.69	0.82	2.2	3.2	7.3				
12	D2	0.30	67.3%	0.60	0.63	0.78	0.6	0.8	2.0				
13	D3	0.17	74.1%	0.66	0.69	0.82	0.4	0.5	1.3				
14	D4	0.19	77.9%	0.69	0.72	0.84	0.4	0.6	1.4				
15	D5	0.26	41.0%	0.36	0.38	0.65	0.3	0.4	1.3				
16	D6	1.11	18.8%	0.17	0.17	0.55	0.6	0.8	5.0				
19	OS1	0.14	32.1%	0.29	0.30	0.61	0.1	0.2	0.7				
20	OS2	7.19	80.0%	0.71	0.74	0.85	13.5	20.1	44.3				



- SIGNAGE**
- WARNING
UNAUTHORIZED MODIFICATION OF THIS OUTLET IS AN ARAPAHOE COUNTY ZONING VIOLATION
 - WARNING
THIS AREA IS A STORMWATER FACILITY AND IS SUBJECT TO PERIODIC FLOODING



NOT FOR CONSTRUCTION

ARAPAHOE COUNTY CASE NO. P16-010



SKY MARK APARTMENTS

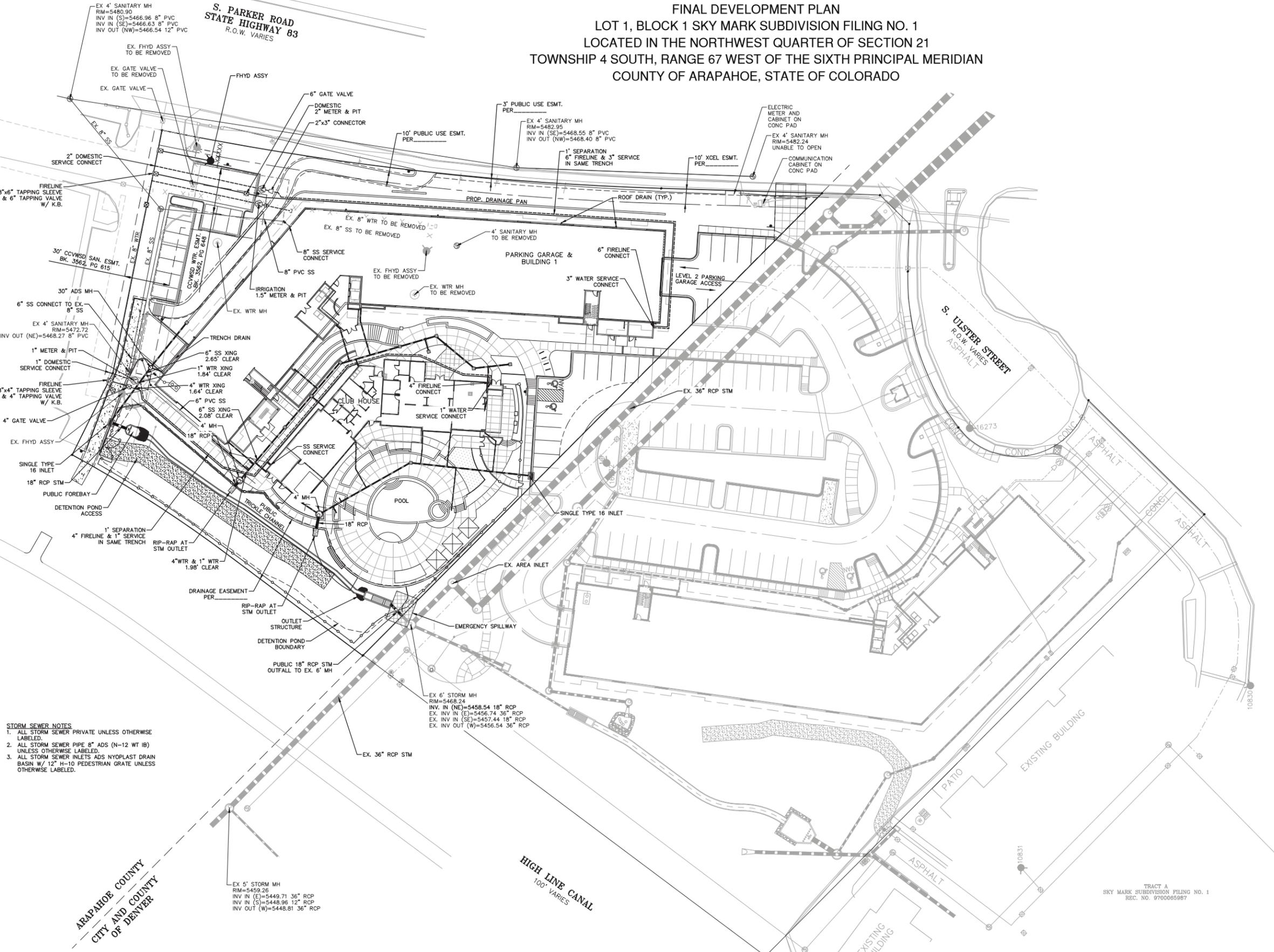
FINAL DEVELOPMENT PLAN
 LOT 1, BLOCK 1 SKY MARK SUBDIVISION FILING NO. 1
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 21
 TOWNSHIP 4 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO

LEGEND

- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER MH
- EXISTING 12" WATER
- EXISTING 8" WATER
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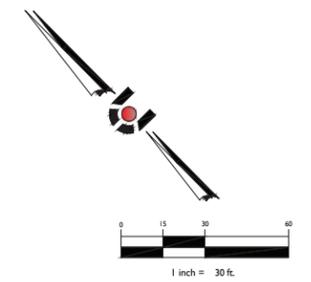
UTILITY NOTES

1. EACH FIRE HYDRANT MUST SUPPLY 1500 GPM MINIMUM AT 20 PSI RESIDUAL PRESSURE.
2. WATER PLANS FOR THIS PROJECT MUST BE SUBMITTED TO DW OF REVIEW AND APPROVAL SEPARATE OF THE DRC PROCESS.
3. AN APPROVED DW BACKFLOW PREVENTER IS REQUIRED FOR FIRELINES, COMMERCIAL, MULTI-FAMILY DWELLINGS AND IRRIGATION.
4. METER LOCATIONS MUST BE APPROVED BY DW.
5. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY SYSTEM MODIFICATIONS NEEDED TO MEET THE REQUIRED FIRE FLOWS.
6. ALL EXISTING TAPS ON THE SITE THAT ARE NOT USED MUST BE CUT-OFF AT THE MAIN AND INSPECTED BY DW. THIS WILL BE DONE AT THE DEVELOPER'S COST.
7. SYSTEM DEVELOPMENT VALVE FOR REPLACEMENT TAPS WILL BE GRANTED TO DW BY SEPARATE DOCUMENT.
8. IF A WATER EASEMENT IS REQUIRED ON A SITE, THIS EASEMENT WILL BE GRANTED TO DW BY SEPARATE DOCUMENT.
9. LANDSCAPING DEPICTED IN FUTURE WATER EASEMENTS MUST COMPLY WITH RESTRICTIONS CONTAINED WITHIN THE STANDARD WATER EASEMENT AGREEMENT.
10. EACH INDEPENDENT STRUCTURE MUST HAVE ITS OWN TAP, SERVICE LINE AND METER.
11. SUB-METERING IS REQUIRED ON INDIVIDUAL MULTI-FAMILY UNITS AS MANDATED BY CITY ORDINANCE.
12. SOIL AMENDMENT IS REQUIRED ON ALL NEW WATER SERIES. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED WITHOUT A SOIL INSPECTION BY DW.
13. PRE-SUBMITTAL REVIEW IS REQUIRED PRIOR TO THE FORMAL WATER PLAN SUBMITTAL TO DW.



STORM SEWER NOTES
 1. ALL STORM SEWER PRIVATE UNLESS OTHERWISE LABELED.
 2. ALL STORM SEWER PIPE 8" ADS (N-12 WT IB) UNLESS OTHERWISE LABELED.
 3. ALL STORM SEWER INLETS ADS NYOPLAST DRAIN BASIN W/ 12" H-10 PEDESTRIAN GRATE UNLESS OTHERWISE LABELED.

NOT FOR CONSTRUCTION



TRACT A
 SKY MARK SUBDIVISION FILING NO. 1
 REC. NO. 970065987



UTILITY PLAN

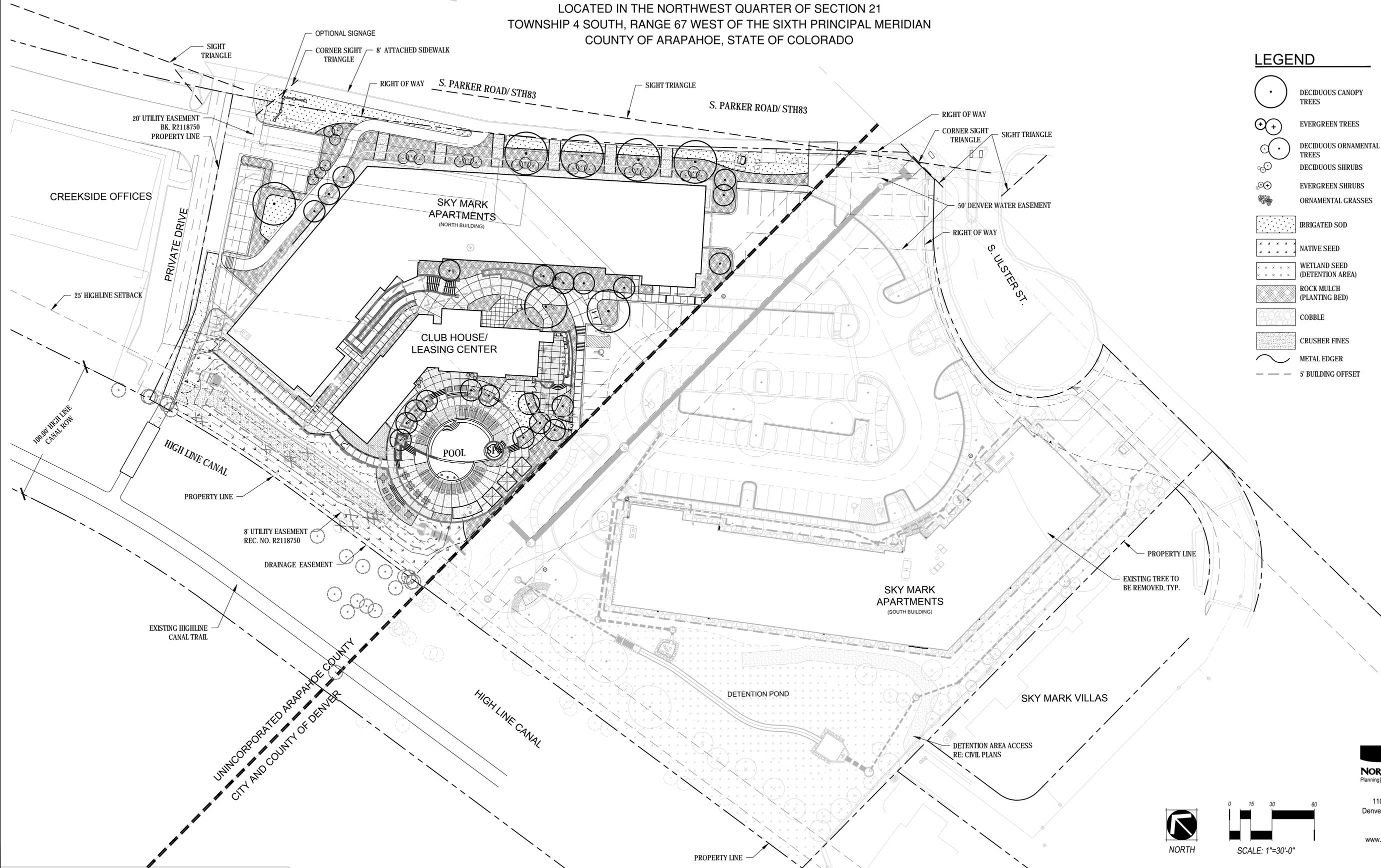
ARAPAHOE COUNTY CASE NO. P16-010

SKY MARK APARTMENTS

FINAL DEVELOPMENT PLAN
 LOT 1, BLOCK 1 SKY MARK SUBDIVISION FILING NO. 1
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 21
 TOWNSHIP 4 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO

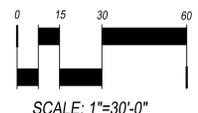
LEGEND

- DECIDUOUS CANOPY TREES
- EVERGREEN TREES
- DECIDUOUS ORNAMENTAL TREES
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- ORNAMENTAL GRASSES
- IRRIGATED SOD
- NATIVE SEED
- WETLAND SEED (DETENTION AREA)
- ROCK MULCH (PLANTING BED)
- COBBLE
- CRUSHER FINES
- METAL EDGER
- 5' BUILDING OFFSET



NOT FOR CONSTRUCTION

ARAPAHOE COUNTY CASE NO. P16-010



1101 Bannock Street
 Denver, Colorado 80204
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 F 303.892.1186
 www.norris-design.com

LANDSCAPE PLAN

SKY MARK APARTMENTS

FINAL DEVELOPMENT PLAN

LOT 1, BLOCK 1 SKY MARK SUBDIVISION FILING NO. 1

LOCATED IN THE NORTHWEST QUARTER OF SECTION 21

TOWNSHIP 4 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN

COUNTY OF ARAPAHOE, STATE OF COLORADO

LANDSCAPE CHART

MINIMUM PLANT REQUIREMENTS

MINIMUM REQUIREMENT TOTAL SITE AREA: 93,112 SF. 35% REQUIRED: 32,580 SF.	TREES REQUIRED (1/1000 SF.)	TREES PROVIDED (1/1000 SF.)	SHRUBS REQUIRED (10/1000 SF.)	SHRUBS PROVIDED
32,969 SF. (35.4% OF TOTAL SITE)	33	55	326	SHRUBS: 589 ORNAMENTAL GRASSES: 673

NOTE: 10 SHRUBS EQUAL 1 TREE; 3 GRASSES/PERENNIALS EQUAL 1 SHRUB.

LANDSCAPE NOTES

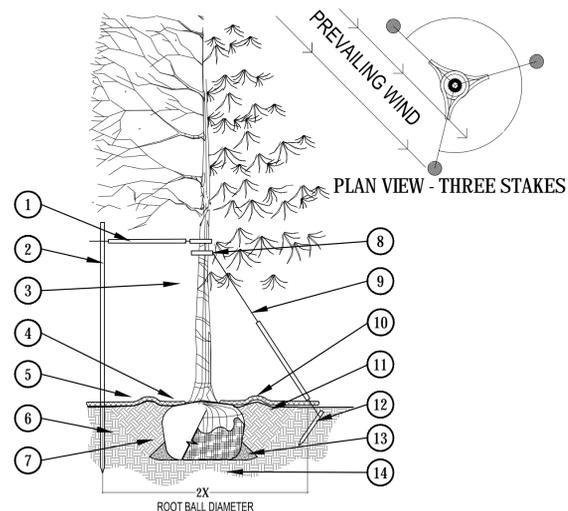
- ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION - CERTIFIED CLASS 1 COMPOST PRODUCT. AT 5.0 CU. YD. PER 1,000 S.F. AND DIAMMONIUM PHOSPHATE AT 5.0 LBS. PER 1,000 S.F. MATERIALS TO BE TILLED IN TO A DEPTH OF 6-8" INTO THE SOIL.
- SHRUB BEDS ARE TO BE CONTAINED BY 4" x 1/2" PERFORATED GALVANIZED EDGER, RYERSON OR EQUAL. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, OR WALKS. EDGER IS REQUIRED BETWEEN SHRUB BEDS AND ANNUAL FLOWER BEDS AND SHRUB BEDS AND SOD/SEED.
- ALL SHRUB BEDS (UNLESS SPECIFIED ON THE PLANS) ARE TO RECEIVE WEED CONTROL FABRIC, SUPERIOR 3.5 OZ. SPUN BONDED LANDSCAPE FABRIC OR APPROVED EQUAL. NO WEED BARRIER FABRIC IS TO BE USED IN THE ANNUAL BEDS OR UNDER PERENNIAL FLOWERS.
- ALL SOD, ANNUAL BEDS, PERENNIAL BEDS AND SHRUB BEDS SHALL BE WATERED BY AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM, AND SHALL PROVIDE 100% COVERAGE TO ALL AREAS.
- CALL FOR UTILITY LOCATIONS PRIOR TO BEGINNING OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, LANDSCAPING, OR IRRIGATION THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES.
- THE LANDSCAPE CONTRACTOR SHALL FURNISH A ONE YEAR MAINTENANCE AND WARRANTY PERIOD FROM THE DATE OF INITIAL ACCEPTANCE.
- MULCH IS TO BE 3" DEPTH OVER WEED CONTROL FABRIC. CONTRACTOR TO SUBMIT A SAMPLE FOR APPROVAL BY OWNER. NO FABRIC IS TO BE LEFT OVER THE TREE ROOTBALLS AND KEEP MULCH 4-6" AWAY FROM TREE TRUNKS. NO WEED CONTROL FABRIC REQUIRED IN PERENNIAL BEDS UNDER WOOD MULCH.
- MULCH IS TO BE A 1.5" RIVER ROCK COBBLE IN ALL SHRUB BEDS AND DOUBLE SHREDDED CEDAR WOOD MULCH IN ALL PERENNIAL BEDS.
- COORDINATE INSTALLATION OF IRRIGATION SLEEVING PRIOR TO CURB AND PAVEMENT INSTALLATION.
- PLANTERS ARE TO INCLUDE SOIL THAT IS FREE FROM DEBRIS.
- ALL DECIDUOUS TREES LOCATED WITHIN SOD AREA IN ROW SHALL BE PROVIDED WITH A 4" SETTLED DEPTH OF CRUSHER FINES MULCH IN TREE SAUCERS. KEEP MULCH 4-6" AWAY FROM TREE TRUNKS.
- ALL TREES SHALL BE A MINIMUM OF 9" FROM EXISTING WATER LINES AND/OR IRRIGATION MAINLINES WHEN POSSIBLE.
- LANDSCAPING WILL ABIDE BY THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE STREETScape GUIDELINES, APPENDIX 3.
- ALL SIGHT TRIANGLES ARE NOTED ON THE PLAN.
- LANDSCAPE LOCATED WITHIN THE ROW WILL BE APPROVED UNDER A SEPARATE REVIEW.
- ALL LANDSCAPE IMPROVEMENTS AND RELATED APPURTENANCES PLACED OR RELOCATED WITHIN ARAPAHOE COUNTY RIGHTS-OF-WAYS MUST BE REVIEWED AND APPROVED BY THE ARAPAHOE COUNTY ENGINEERING SERVICES DIVISION.

PRUNING NOTES:

- ALL PRUNING SHALL COMPLY WITH ANSI A300 STANDARDS.
- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS AND BROKEN BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

STAKING NOTES:

- STAKE TREES PER FOLLOWING SCHEDULE, THEN REMOVE AT END OF FIRST GROWING SEASON.
 - 1 1/2" CALIPER SIZE - MIN. 1 STAKE ON SIDE OF PREVAILING WIND (GENERALLY N.W. SIDE)
 - 1 1/2" - 3" CALIPER SIZE - MIN. 2 STAKES - ONE ON N.W. SIDE, ONE ON S.W. SIDE (OR PREVAILING WIND)
 - 3" CALIPER SIZE AND LARGER - 3 STAKES PER DIAGRAM
- WIRE OR CABLE SHALL BE MIN. 12 GAUGE, TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. NYLON STRAPS SHALL BE LONG ENOUGH TO ACCOMMODATE 1-1/2" OF GROWTH AND BUFFER ALL BRANCHES FROM WIRE.



1 TREE BALLING

LANDSCAPE PLANT LIST

QTY.	SYM.	COMMON NAME	BOTANICAL NAME	SIZE & COND.
DECIDUOUS CANOPY TREES (UNLESS OTHERWISE NOTED)				
2	EQM	NORWAY, EMERALD QUEEN MAPLE	ACER PLATANOIDES 'EMERALD QUEEN'	2" CAL. B&B
1	MSS	STATE STREET MAPLE	ACER MIYABEI 'MORTON'	2" CAL. B&B
2	CKO	CHINKAPIN OAK	QUERCUS MUEHLENBERGII	2" CAL. B&B
2	SKY	SKYLINE LOCUST	GLEDITSIA TRACANTHOS INERMIS 'SKYLINE'	2" CAL. B&B

TOTAL: 7 DECIDUOUS ORNAMENTAL TREES

12	ABS	AUTUMN BRILLIANCE SERVICEBERRY	AMELANCHIER X GRANDIFLORA	1 1/2" CAL., B&B
2	CCP	CHANTICLEER PEAR	PYRUS CALLERYANA	1 1/2" CAL., B&B
6	CRR	ROYAL RAINDROPS CRAB	MALUS X 'JFS-KWS'	1 1/2" CAL., B&B
3	GRT	GOLDENRAIN TREE	KOELREUTERIA PANICULATA	1 1/2" CAL., B&B
12	PKP	PRINCESS KAY PLUM	PRUNUS NIGRA 'PRINCESS KAY'	1 1/2" CAL., B&B
4	PRF	PRAIRIEFIRE CRABAPPLE	MALUS 'PRAIRIEFIRE'	1 1/2" CAL., B&B
4	SHC	SHUBERT CHOKECHERRY	PRUNUS VIRGINIANA 'SHUBERT'	1 1/2" CAL., B&B
3	TCH	COCKSPUR THORNLESS HAWTHORN	CRATAEGUS CRUS-GALLI INERMIS	1 1/2" CAL., B&B

TOTAL: 46 DECIDUOUS SHRUBS- 2'-5' SPREAD

43	AWS	ANTHONY WATERER SPIREA	SPIRAEA JAPONICA 'ANTHONY WATERER'	5 CONT.
3	BEA	BEAUTYBUSH	KOLKWTZIA AMABILIS	5 CONT.
7	CPB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'ATROPURPUREA NANA'	5 CONT.
3	DAC	DWARF AMERICAN CRANBERRY	VIBURNUM TRILOBUM 'COMPACTUM'	5 CONT.
24	DBB	DWARF BURNING BUSH	EUONYMUS ALATUS 'COMPACTA'	5 CONT.
30	DCM	CAROL MACKIE DAPHNE	DAPHNE X BURKWOODI 'CAROL MACKIE'	5 CONT.
61	DMS	DWARF MINNESOTA SNOWFLAKE MOCKORANGE	PHILADELPHUS VIRGINALIS 'MINNESOTA DWARF SNOWFLAKE'	5 CONT.
34	LPS	LITTLE PRINCESS SPIREA	SPIRAEA JAPONICA 'LITTLE PRINCESS'	5 CONT.
5	MLL	LITTLELEAF MOCK ORANGE	PHILADELPHUS MICROPHYLLUS	5 CONT.
10	NSW	SUMMER WINE NINEBARK	PHYSOCARPUS OPULIFOLIUS 'SEWARD'	5 CONT.

TOTAL: 221 DECIDUOUS SHRUBS- 5'-7' SPREAD

11	BMS	BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS	5 CONT.
21	DKO	DWARF KOREAN LILAC	SYRINGA MEYERI 'PALBIN'	5 CONT.
35	GNI	GOLDEN NINEBARK	PHYSOCARPUS OPULIFOLIUS 'LUTEUS'	5 CONT.
7	MLC	CHEYENNE MOCKORANGE	PHILADELPHUS LEWISII 'CHEYENNE'	5 CONT.
20	PBS	PAWNEE BUTTES SAND CHERRY	PRUNUS BESSYI 'PAWNEE BUTTES'	5 CONT.
8	REC	RED CHOKEBERRY	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	5 CONT.
5	RGB	ROSY GLOW BARBERRY	BERBERIS THUNBERGII 'ROSY GLOW'	5 CONT.
13	TLS	THREE LEAF SUMAC	RHUS TRILOBATA	5 CONT.

TOTAL: 120 DECIDUOUS SHRUBS- 7'-9' SPREAD

7	CPL	COMMON PURPLE LILAC	SYRINGA VULGARIS	5 CONT.
4	DGM	GINNALA DWARF MAPLE	ACER GINNALA 'COMPACTA'	5 CONT.
3	GLS	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GROW-LOW'	5 CONT.
12	RTD	RED TWIG DOGWOOD	CORNUS STOLONIFERA 'BAILEYI'	5 CONT.
5	VLE	NANNYBERRY VIBURNUM	VIBURNUM LENTAGO	5 CONT.

TOTAL: 31 EVERGREEN SHRUBS

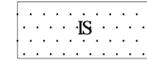
132	ARC	ARCADIA JUNIPER	JUNIPERUS SABINA 'ARCADIA'	5 CONT.
8	BUF	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	5 CONT.
3	GOJ	GRAY OWL JUNIPER	JUNIPERUS VIRGINIANA 'GRAY OWL'	5 CONT.
40	MAN	COLORADO MANZANITA	ARCTOSTAPHYLOS X COLORADENSIS	5 CONT.
3	MBT	MUGO BIG TUNA PINE	PINUS MUGO 'BIG TUNA'	5 CONT.
6	MEJ	MEDORA	JUNIPERUS SCOPULORUM 'MEDORA'	5 CONT.
5	MMO	MOPS MUGO PINE	PINUS MUGO 'MOPS'	5 CONT.
6	MPA	PANCHITO MANZANITA	ARCTOSTAPHYLOS 'PANCHITO'	5 CONT.
12	PBP	BREPO PINE	PINUS NIGRA 'BREPO'	5 CONT.

TOTAL: 217 GRASSES

198	AMG	ADAGIO MAIDEN GRASS	MISCANTHUS SINENSIS 'ADAGIO'	1 CONT.
103	AVG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	1 CONT.
34	BGA	BLOND AMBITION GRAMA GRASS	BOUTELOUA GRACILIS 'BLONDE AMBITION'	1 CONT.
154	FRG	FEATHER REED GRASS	CALAMAGROSTIS ACUFIFLORA 'KARL FOERSTER'	1 CONT.
31	GHM	HEAVY METAL SWITCH GRASS	PANICUM VIRGATUM 'HEAVY METAL'	1 CONT.
8	ING	INDIAN STEEL GRASS	SORGHASTRUM NUTANS 'INDIAN STEEL'	1 CONT.
31	MMG	MORNING LIGHT MAIDEN GRASS	MISCANTHUS SINENSIS 'MORNING LIGHT'	1 CONT.
35	ORG	OVERDAM FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'OVERDAMN'	1 CONT.
79	PMG	PURPLE MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	1 CONT.

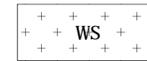
TOTAL: 673

TURF GRASS BLEND: SOD



TEXAS BLUEGRASS BLEND BY BITTERSWEET TURF FARMS, INC., OR APPROVED EQUAL

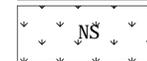
WETLAND SEED MIX



"LOAMY DETENTION POND (DRY) MIX" BY PAWNEE BUTTES SEED, INC. OR APPROVED EQUAL

COMMON NAME	SCIENTIFIC NAME	% OF TOTAL	PLS PER ACRE
BLUE GRAMA	BOUTELOUA GRACILIS	7%	0.75
BUFFALOGRASS	BUCHLOE DACTYLOIDES	16%	1.60
GREEN NEEDLEGRASS	NASSELLA VIRIDULA	20%	2.00
SIDEOTS GRAMA	BOUTELOUA CURTIPENDULA	18%	1.80
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	39%	4.00
TOTAL		100%	10.15 DRILLED 20.3 BROADCAST 40.60 SMALL AREAS

DRYLAND SEED MIX



COMMON NAME	BOTANICAL NAME	% OF TOTAL	PLS/ACRE
WESTERN WHEATGRASS	PASCOPYRUM SMITHII	20%	3.00
SLENDER WHEATGRASS	ELYMUS TRACHYCAULUS SSP. TRACHYCAULUS	20%	3.00
BLUE GRAMA	BOUTELOUA CURTIPENDULA	15%	2.25
BUFFALOGRASS	BUCHLOE DACTYLOIDES	15%	2.25
STREAMBANK WHEATGRASS	ELYMUS LANCEOLATUS	15%	2.25
SHERMAN BIG BLUEGRASS	POA SECUNDA	10%	1.50
CANADA WILDRIE	ELYMUS CANADENSIS	5%	.75

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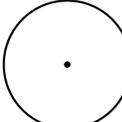
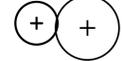
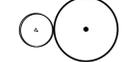
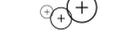
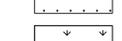
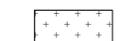
SKY MARK APARTMENTS

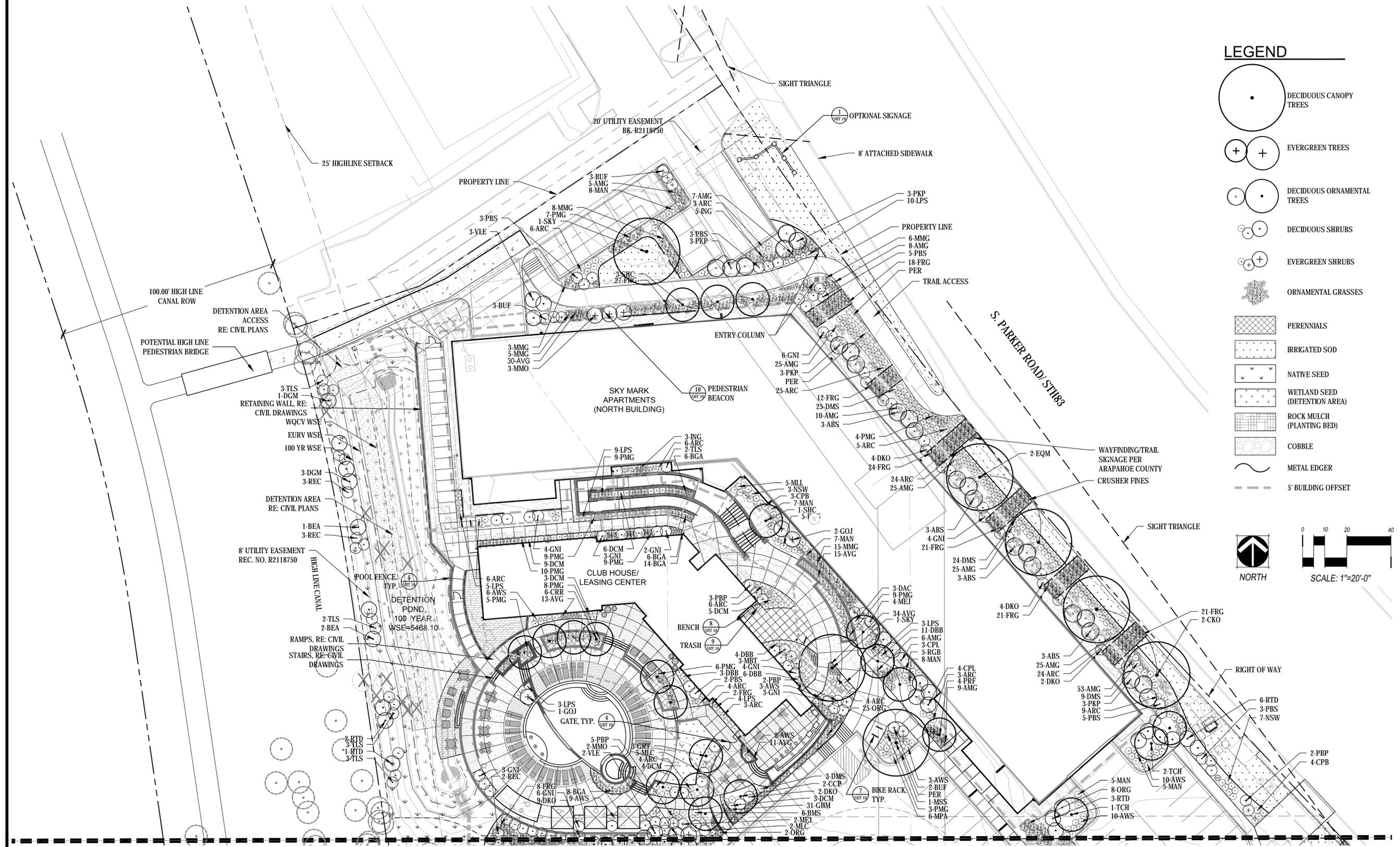
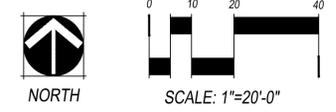
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LEGEND

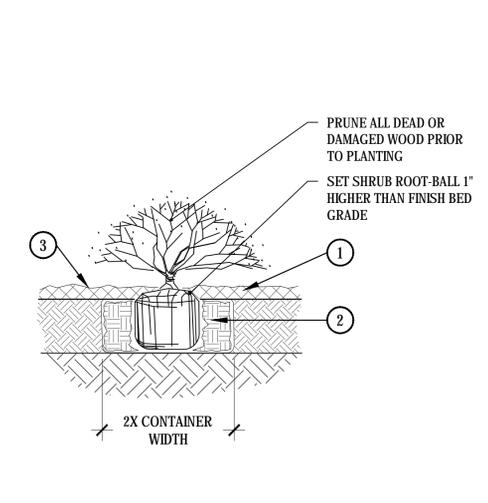
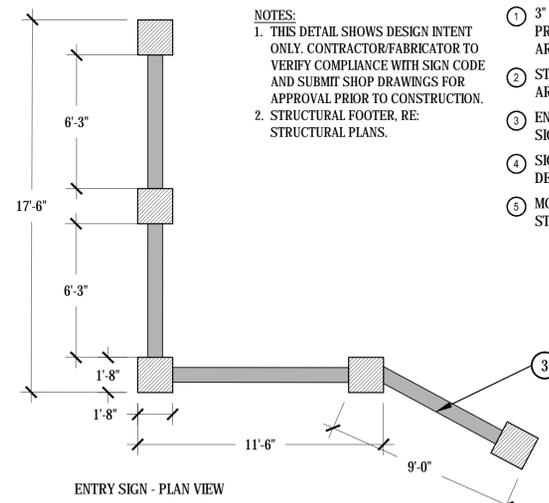
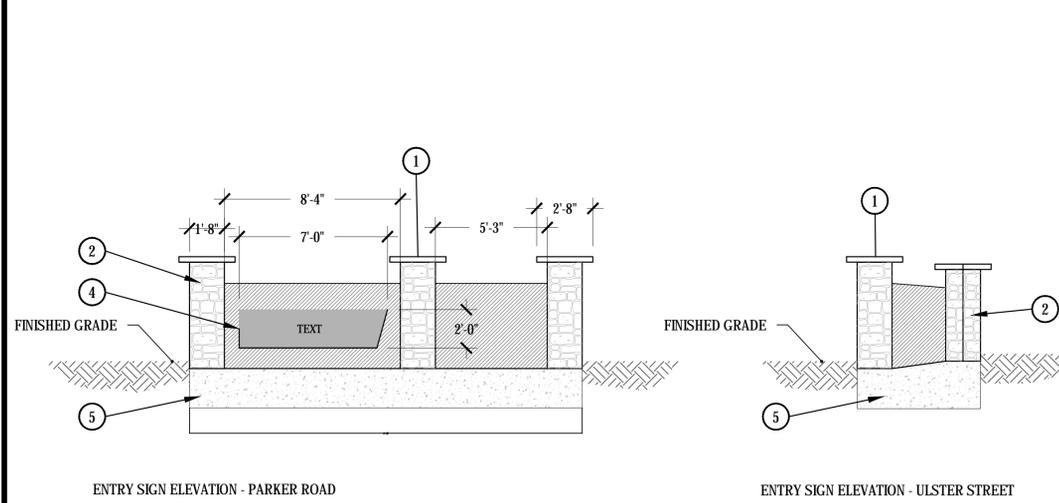
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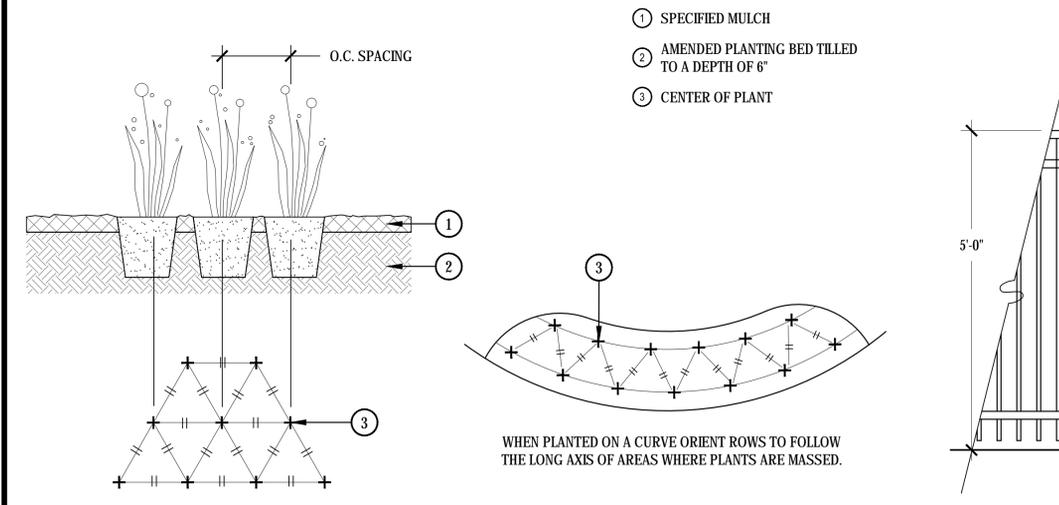
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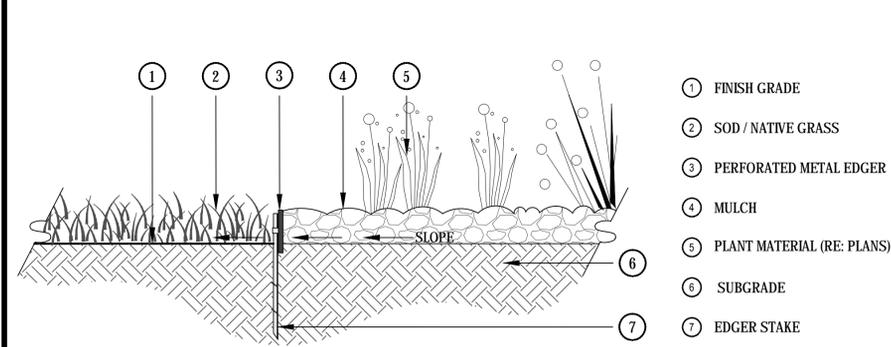


1 OPTIONAL ENTRY MONUMENT



3 PERENNIAL & ORNAMENTAL GRASS PLANT LAYOUT

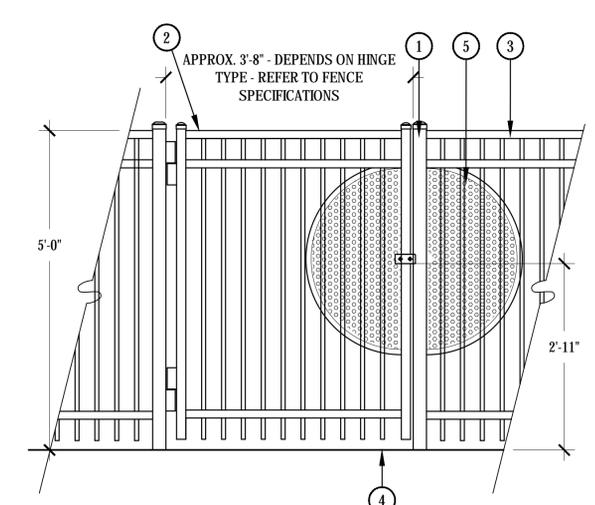
SCALE: 1" = 1'-0"



6 METAL EDGER

N.T.S.

4 POOL FENCE GATE



4 POOL FENCE GATE

SCALE: 3/4" = 1'-0"



LANDSCAPE FORMS: BOLA:
 LENGTH: 27.42"
 POWDERCOAT: STORMCLOUD
 EMBEDDED MOUNT
 OR APPROVED EQUAL

7 BIKE RACK

SCALE: 1-1/2" = 1'-0"



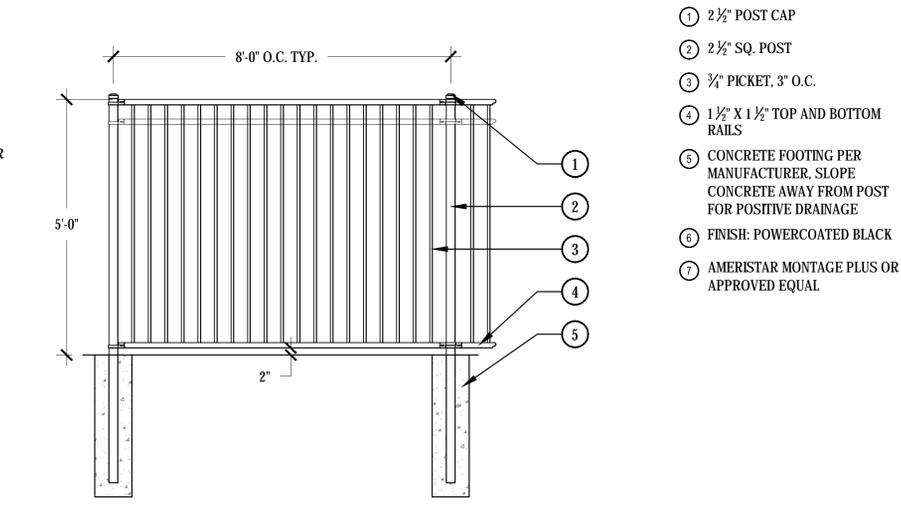
LANDSCAPE FORMS: SIT BENCH:
 LENGTH: 69"
 BACK: BACKLESS
 POWDERCOAT: STORMCLOUD
 SURFACE MOUNT
 OR APPROVED EQUAL

8 BENCH

SCALE: 1-1/2" = 1'-0"

2 SHRUB PLANTING

SCALE: 1-1/2" = 1'-0"



5 POOL FENCE

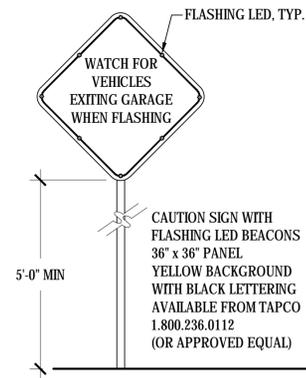
SCALE: 1/2" = 1'-0"

9 TRASH RECEPTACLE

SCALE: 1-1/2" = 1'-0"



LANDSCAPE FORMS: MULTIPLICITY:
 LENGTH: 15"
 STYLE: SINGLE LITTER
 POWDERCOAT: STORMCLOUD
 SURFACE MOUNT
 OR APPROVED EQUAL



10 PEDESTRIAN BEACON/CAUTION SIGN

N.T.S.

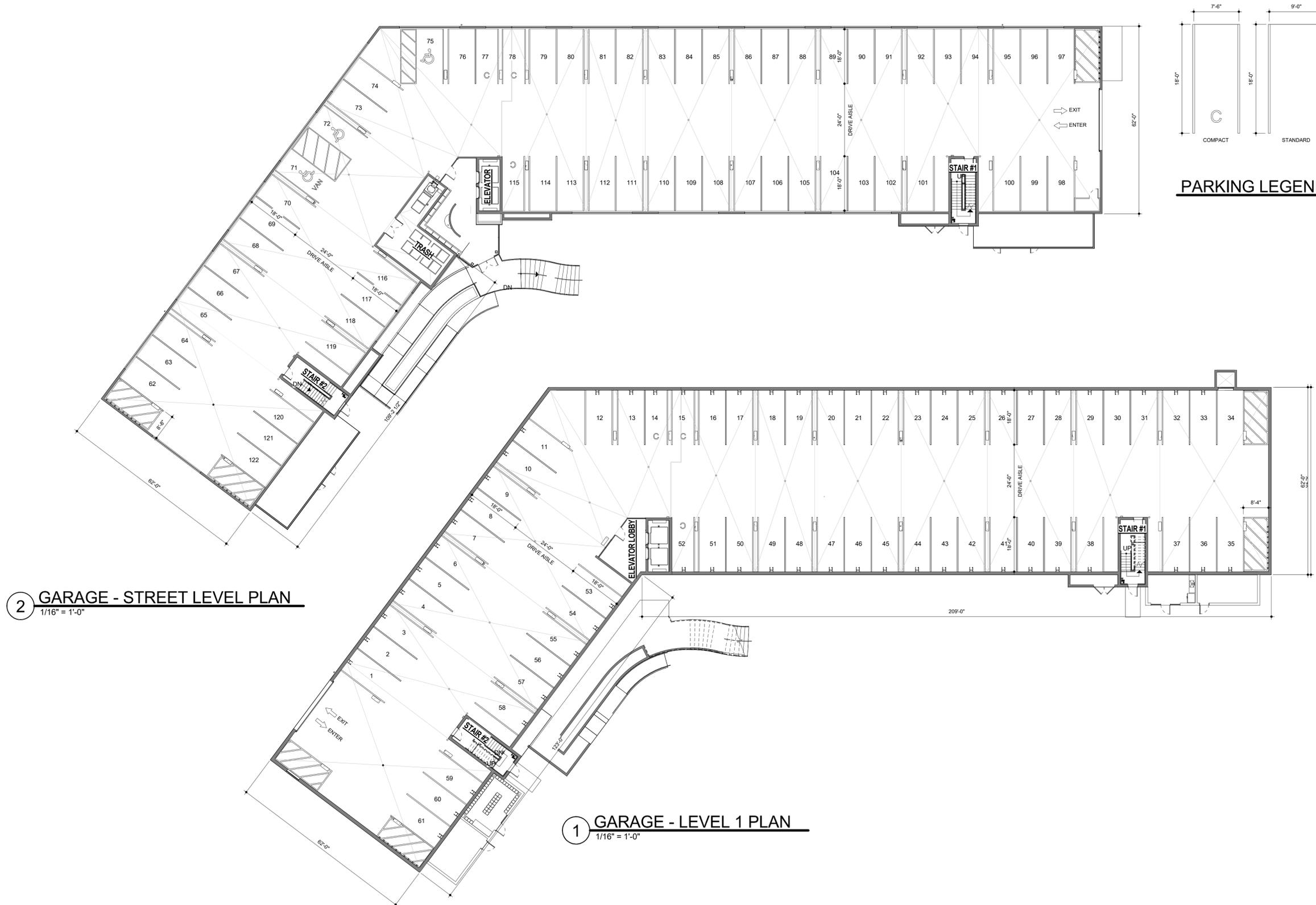


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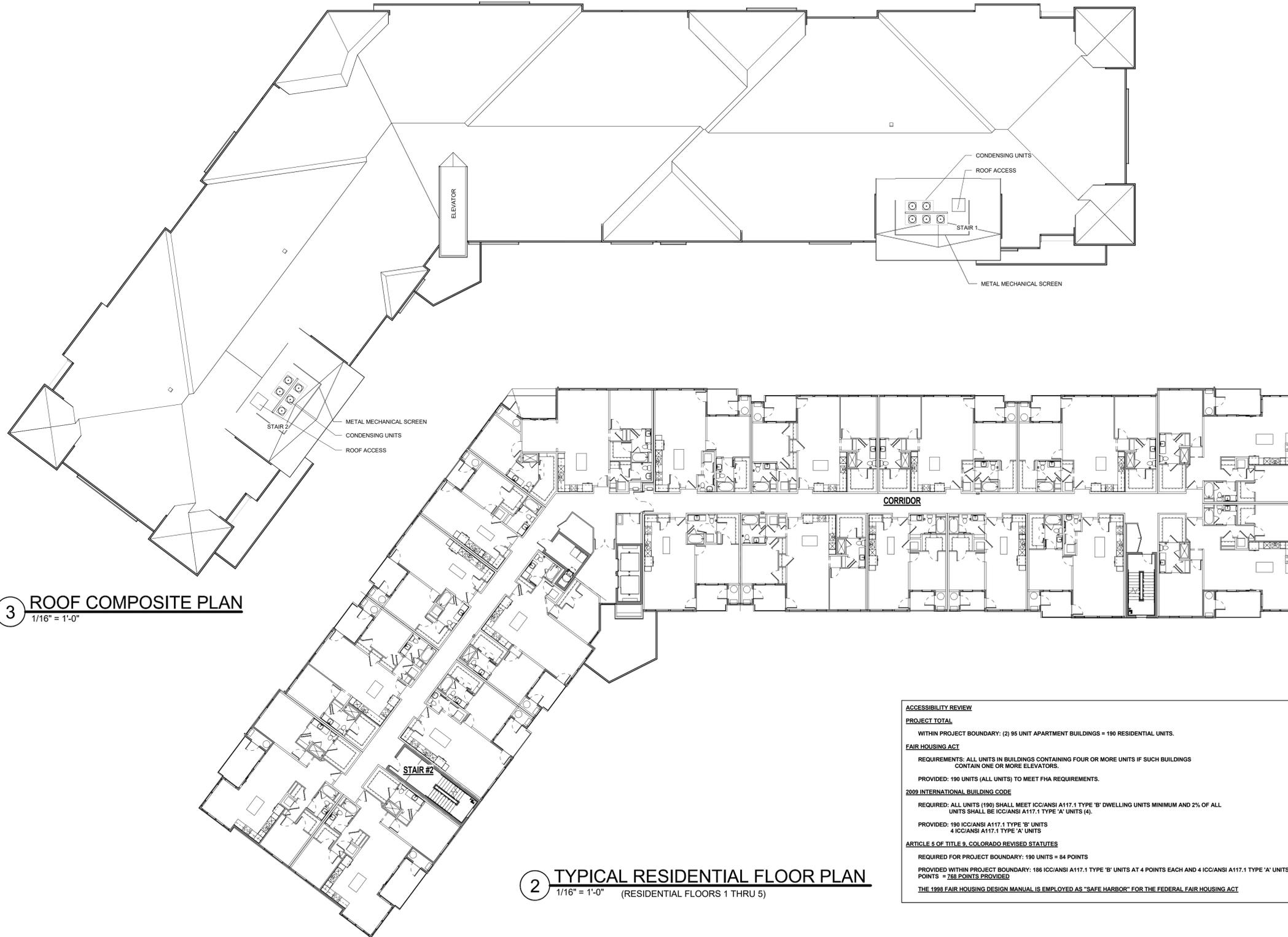
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 COUNTY OF ARAPAHOE, STATE OF COLORADO



SKY MARK APARTMENTS

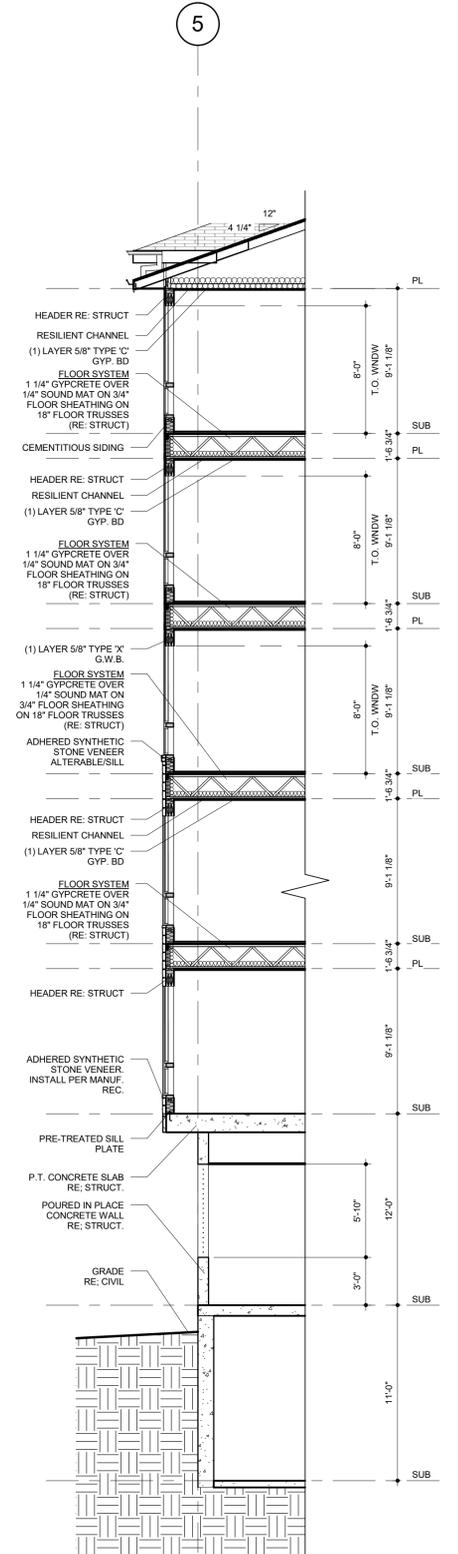
FINAL DEVELOPMENT PLAN
 LOT 1, BLOCK 1 SKY MARK SUBDIVISION FILING NO. 1
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 21
 TOWNSHIP 4 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO



3 ROOF COMPOSITE PLAN
 1/16" = 1'-0"

2 TYPICAL RESIDENTIAL FLOOR PLAN
 1/16" = 1'-0" (RESIDENTIAL FLOORS 1 THRU 5)

ACCESSIBILITY REVIEW
PROJECT TOTAL
 WITHIN PROJECT BOUNDARY: (2) 95 UNIT APARTMENT BUILDINGS = 190 RESIDENTIAL UNITS.
FAIR HOUSING ACT
 REQUIREMENTS: ALL UNITS IN BUILDINGS CONTAINING FOUR OR MORE UNITS IF SUCH BUILDINGS CONTAIN ONE OR MORE ELEVATORS.
 PROVIDED: 190 UNITS (ALL UNITS) TO MEET FHA REQUIREMENTS.
2009 INTERNATIONAL BUILDING CODE
 REQUIRED: ALL UNITS (190) SHALL MEET ICC/ANSI A117.1 TYPE 'B' DWELLING UNITS MINIMUM AND 2% OF ALL UNITS SHALL BE ICC/ANSI A117.1 TYPE 'A' UNITS (4).
 PROVIDED: 190 ICC/ANSI A117.1 TYPE 'B' UNITS
 4 ICC/ANSI A117.1 TYPE 'A' UNITS
ARTICLE 5 OF TITLE 9, COLORADO REVISED STATUTES
 REQUIRED FOR PROJECT BOUNDARY: 190 UNITS = 84 POINTS
 PROVIDED WITHIN PROJECT BOUNDARY: 186 ICC/ANSI A117.1 TYPE 'B' UNITS AT 4 POINTS EACH AND 4 ICC/ANSI A117.1 TYPE 'A' UNITS AT 6 POINTS = 788 POINTS PROVIDED
 THE 1998 FAIR HOUSING DESIGN MANUAL IS EMPLOYED AS "SAFE HARBOR" FOR THE FEDERAL FAIR HOUSING ACT



1 TYPICAL WALL SECTION
 3/16" = 1'-0"

SKY MARK APARTMENTS

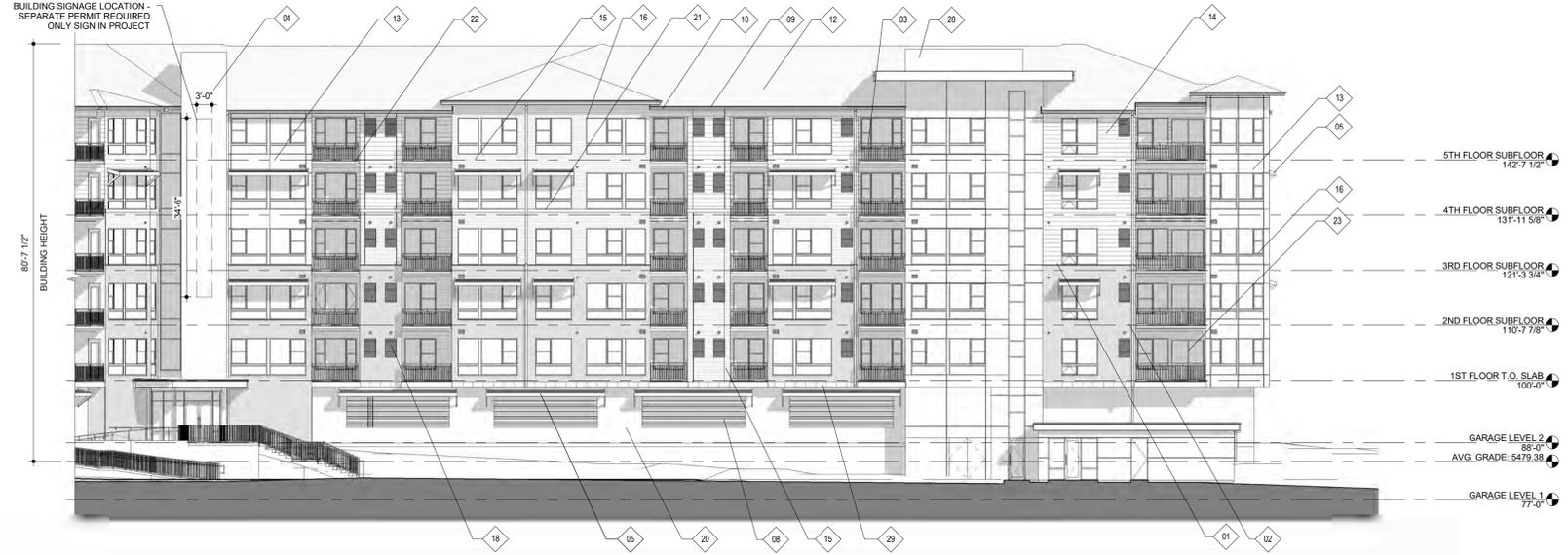
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 TOWNSHIP 4 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO

NOTE:
 * SIGNAGE TO BE SUBMITTED UNDER SEPARATE APPLICATION

#	NOTE
01	ADHERED MASONRY VENEER ACCESSORY CAP - GREY BY SUNSET STONE OR APPROVED EQUAL.
02	ADHERED MASONRY VENEER - DEL NORTE STACKED STONE BY SUNSET STONE OR APPROVED EQUAL.
03	METAL RAILING, POWDER COAT BLACK
04	FLATLOCK METAL PANELS - PIGMENTO BLUE BY VM ZINC OR APPROVED EQUAL
05	METAL SUN SHADE, POWDER COAT SW 7014 EIDER WHITE BY SHERWIN WILLIAMS OR APPROVED EQUAL.
08	STAINLESS STEEL CABLE SECURITY GRILL
09	METAL GUTTER, PAINT TO MATCH FASCIA
10	CEMENTITIOUS FASCIA BOARD - SW 7014 EIDER WHITE BY SHERWIN WILLIAMS OR APPROVED EQUAL
12	COMPOSITE SHINGLES - WEATHERED WOOD OR APPROVED EQUAL.
13	CEMENTITIOUS PANEL SIDING - SW 6417 TUPELO TREE BY SHERWIN WILLIAMS OR APPROVED EQUAL
14	CEMENTITIOUS LAP SIDING, SMOOTH, 10" EXPOSURE - SW 7014 EIDER WHITE BY SHERWIN WILLIAMS OR APPROVED EQUAL.
15	CEMENTITIOUS LAP SIDING, SMOOTH, 4" EXPOSURE - SW 7018 DOVETAIL BY SHERWIN WILLIAMS OR APPROVED EQUAL
16	VINYL WINDOW W/ LOW E INSUL. GLAZING - BLACK
17	THERMALLY BROKEN STOREFRONT SYSTEM - BLACK
18	THRU-WALL HVAC UNIT, PAINT TO MATCH ADJACENT FINISH
20	ARCHITECTURAL CONCRETE WALL - FORMLINER 16020 ROUGH SAWN PLANK BY FITZGERALD FORMLINERS OR APPROVED EQUAL PLACED IN A HORIZONTAL ORIENTATION
21	CEMENTITIOUS BELL Y BAND - SW 7014 EIDER WHITE BY SHERWIN WILLIAMS OR APPROVED EQUAL
22	PRECAST CONCRETE DECK
23	VINYL SLIDING DOOR - BLACK
24	OVERHEAD FABRIC DOOR - BLACK
28	METAL MECHANICAL EQUIPMENT SCREEN - SW 7014 EIDER WHITE BY SHERWIN WILLIAMS OR APPROVED EQUAL
29	ADHERED MASONRY VENEER SMOOTH STONE - GRANITE BY SUNSET STONE OR APPROVED EQUAL
30	METAL LOUVER - BLACK.



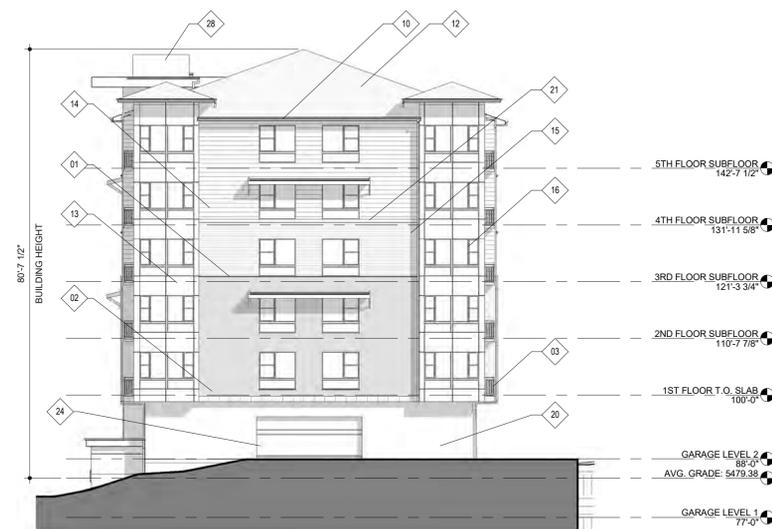
2 FRONT ELEVATION 2
 1/16" = 1'-0"



1 FRONT ELEVATION 1
 1/16" = 1'-0"



4 LEFT ELEVATION
 1/16" = 1'-0"



3 RIGHT ELEVATION
 1/16" = 1'-0"

SKY MARK APARTMENTS

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16	VINYL WINDOW W/ LOW E INSUL. GLAZING - BLACK
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20	ARCHITECTURAL CONCRETE WALL, FORMLINER 16020 ROUGH SAWN PLANK BY FITZGERALD FORMLINERS OR APPROVED EQUAL PLACED IN A HORIZONTAL ORIENTATION.
21	CEMENTITIOUS BELLY BAND - SW 7014 EIDER WHITE BY SHERWIN WILLIAMS OR APPROVED EQUAL.
22	PRECAST CONCRETE DECK
23	VINYL SLIDING DOOR - BLACK
24	OVERHEAD FABRIC DOOR - BLACK



2 REAR ELEVATION 2
 1/16" = 1'-0"



1 REAR ELEVATION 1
 1/16" = 1'-0"

SKY MARK APARTMENTS

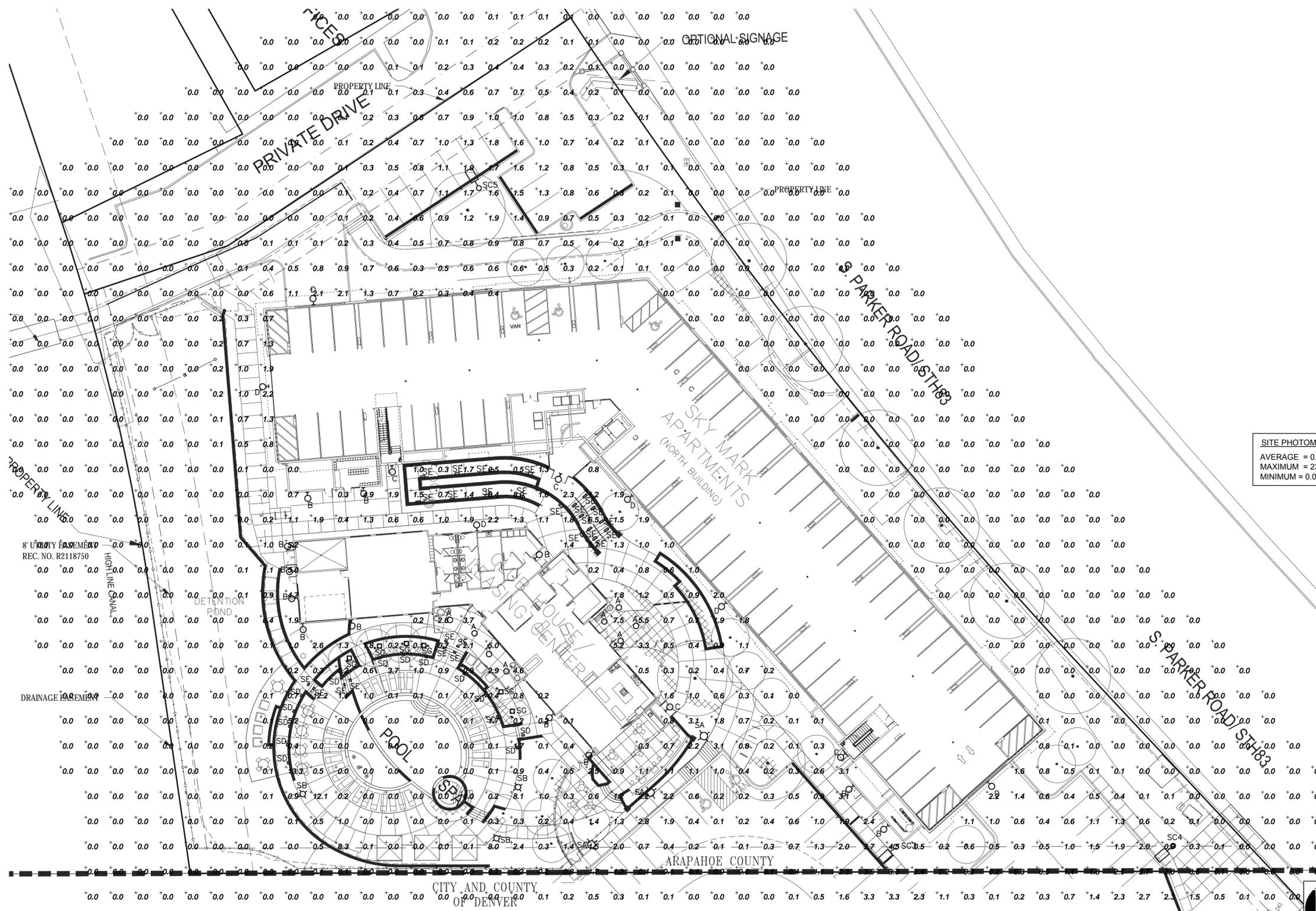
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LOCATED IN THE NORTHWEST QUARTER OF SECTION 21

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COUNTY OF ARAPAHOE, STATE OF COLORADO



SITE PHOTOMETRIC SUMMARY
AVERAGE = 0.4 FT. CANDLE
MAXIMUM = 23.2 FT. CANDLE
MINIMUM = 0.0 FT. CANDLE

SITE PHOTOMETRIC PLAN

SCALE: 1" = 20'
0 10' 20' 40'

NOT FOR CONSTRUCTION

ARAPAHOE COUNTY CASE NO. P16-010



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186
www.norris-design.com

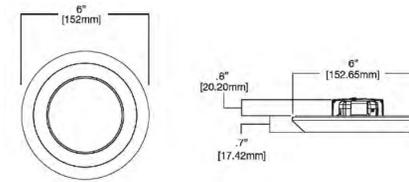


2555 WALNUT ST. SUITE B., DENVER, CO 80205
(303) 355-5534 (tel) walter@regcinc.com

SKY MARK APARTMENTS

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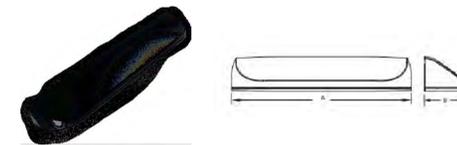
LIGHTING FIXTURE SCHEDULE					
ITEM	MANUFACTURER	CAT. NO.	LAMPS	WATT	DESCRIPTION
A	HALO LIGHTING	SLD606830WH	4000K LED 700 LUMENS	12.5	6" DIA. EXTERIOR SURFACE SLIM LED SOFFIT DOWN LIGHT. WET LOCATION RATED
B	LUMARK	XTOR1A	5000K LED 722 LUMENS	7	FULL CUT OFF MINIATURE LED FULL CUT OFF WALL LIGHT INSTALLED AT +7.5' ABOVE GRADE
C	LUMINAIRE LED	AEOCC2410W120-2774000KDPEMB20R	4000K LED 809 LUMENS	10	EXTERIOR WET LOCATION LED WALL LIGHT CENTERED ABOVE THE DOOR 2 FT WIDE, FULL CUT OFF, WITH REMOTE EMERGENCY MODULE
D	GARDCO LIGHTING	121-3-26LA-NW-120	4000K LED 2,485 LUMENS	26	WET LOCATION EXTERIOR WALL MOUNTED FULL CUT OFF LIGHT INSTALLED +10' ABOVE GRADE
SA	KIM LIGHTING	BNM LED-PT-BNS1HS27L4K LG	4200K LED 4,500 LUMENS	30	POST TOP PEDESTRIAN DECORATIVE LIGHT ON 10 FT. ROUND POLE TYPE V INDIRECT BOUNCE OPTICS
SB	KIM LIGHTING	BNB1-18L4KUV-LG	4200K LED 2,838 LUMENS	30	30" HIGH BOLLARD LIGHT, TYPE V INDIRECT OPTICS
SC3	GARDCO LIGHTING	P21-A1-1-3-70LA-NW-UNV-NP	4000K LED 7,354 LUMENS	69	SINGLE HEAD FULL CUT OFF POLE LIGHT ON 18 FT. ROUND POLE TYPE III OPTICS
SC4	GARDCO LIGHTING	P21-A1-1-4-70LA-NW-UNV-NP	4000K LED 7,284 LUMENS	69	SINGLE HEAD FULL CUT OFF POLE LIGHT ON 18 FT. ROUND POLE TYPE IV OPTICS
SC5	GARDCO LIGHTING	P21-A1-1-5W-70LA-NW-UNV-NP	4000K LED 8,360 LUMENS	70	SINGLE HEAD FULL CUT OFF POLE LIGHT ON 18 FT. ROUND POLE TYPE V OPTICS
SD	JUNO	LMSW-41K-M-BZ	4100K LED 70 LUMENS	3	WALL MOUNT LANDSCAPE GUIDE LIGHT AT 18" ABOVE GRADE
SE	JUNO	IC1 15LEDHSG-838LED-13-41K-BZ	4100K LED 250 LUMENS	14	RECESSED STEP LIGHT AT +18" ABOVE GRADE
SG	LSI LIGHTING	XIG-B-LED-19-350UE-FL40-NB	5400K LED	25	GROUND MOUNT TREE UP-LIGHT



FIXTURE 'A'



**XTOR
CROSSTOUR LED
FIXTURE 'B'**



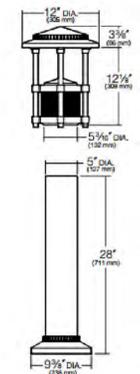
FIXTURE 'C'



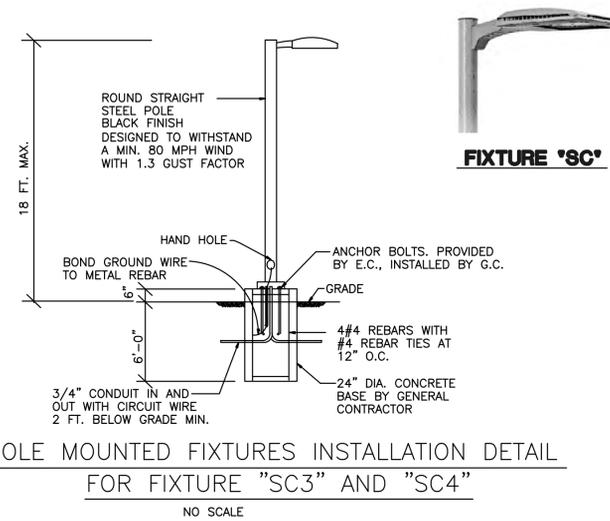
FIXTURE 'D'



ON 10' POLE
FIXTURE 'SA'



FIXTURE 'SB'



FIXTURE 'SC'



FIXTURE 'SG'



FIXTURE 'SE'



FIXTURE 'SD'

NOT FOR CONSTRUCTION

ARAPAHOE COUNTY PLANNING COMMISSION

PUBLIC HEARING

AUGUST 16, 2016

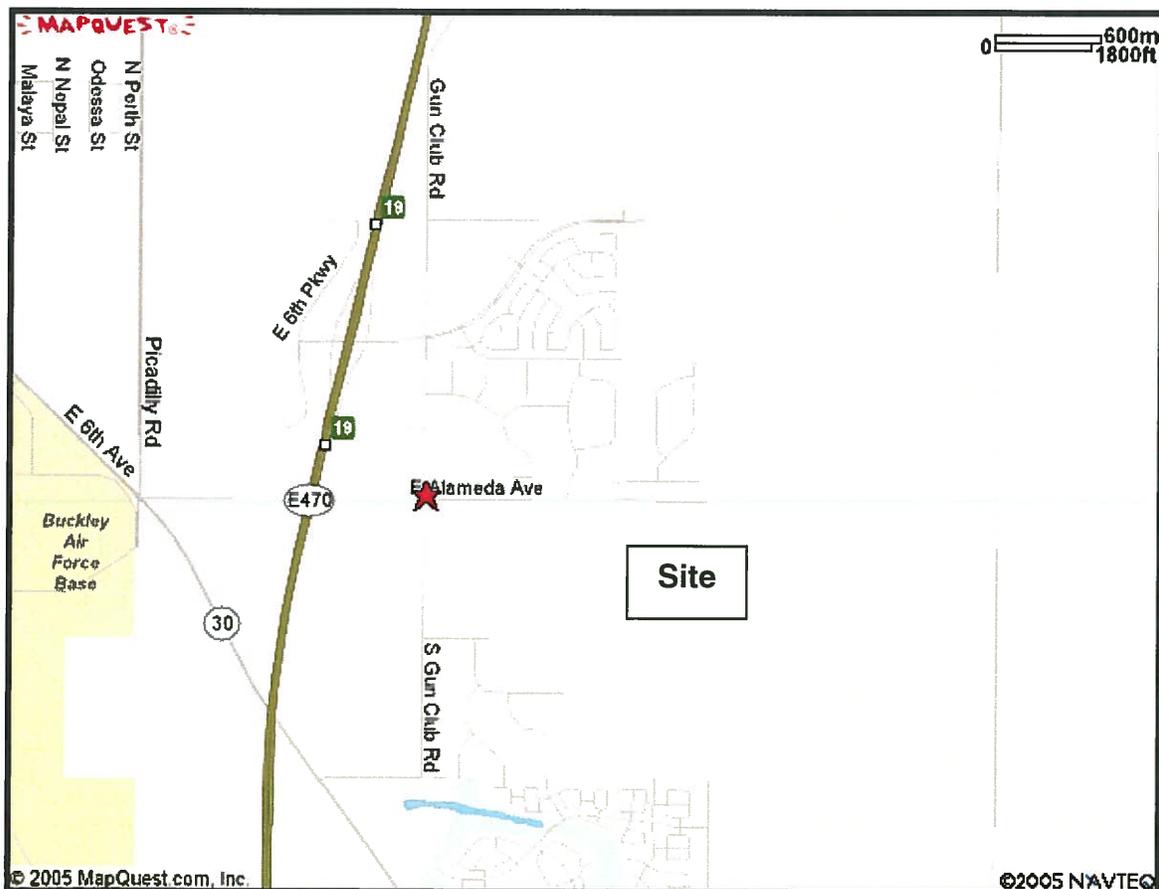
6:30 P.M.

SUBJECT: L16-003 – SOUTH HARVEST MILE METER STATION LOCATION & EXTENT AMENDMENT NO. 1

Sherman Feher, Senior Planner

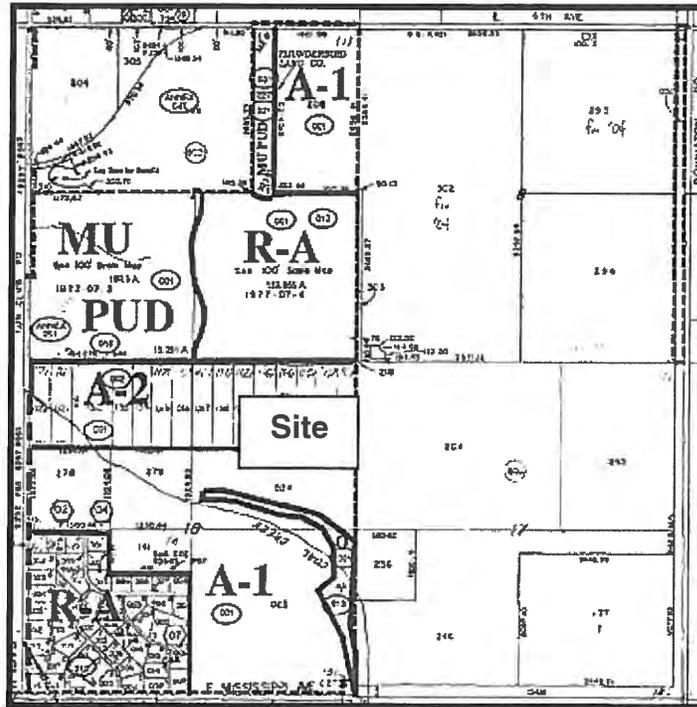
August 8, 2016

VICINITY MAP: The property is located to the east of the intersection of East Alameda Avenue and South Harvest Mile Road.



VICINITY MAP

LOCATION: This proposal is in Commissioner District #3. The property is located near the intersection of East Alameda Avenue and South Harvest Mile Road.



Zoning Map

ADJACENT SUBDIVISIONS, ZONING, AND LAND USES:

-
- North - None; A-2; Agriculture and home
 - South - None; A-1; Agriculture
 - East - City of Aurora, Zoned for Residential; Vacant/Agriculture
 - West - None; A-2; Agriculture and home



Looking SSE over site



Looking South Towards Site From Alameda

PROPOSAL:

Jesse Vallegos on behalf of Public Service Co. of Colorado./ Xcel Energy is requesting approval of a Location and Extent Amendment to develop a natural gas regulator station in the unincorporated part of Arapahoe County. The station will be on a parcel that is no larger than 0.55 acres; other parts of the L&E (roads) will be on easements.

RECOMMENDATION:

Staff: Staff is recommending approval of this application with conditions, based on the findings listed in the staff report.

I. BACKGROUND

Historic Zoning

The property is currently zoned A-2. The BOCC approved the A-2 zoning on February 18, 1964. The original Location and Extent case for this property (L05-006) was approved by the Planning Commission on December 6, 2005.

II. DISCUSSION

Staff review of this application included a comparison of the project to policies and goals outlined in the Comprehensive Plan, a review of pertinent zoning regulations, background activity, and analysis of referral comments.

1. The Comprehensive Plan

The Comprehensive Plan designates this site as "Employment Center." Natural gas is needed to help develop this area as an Employment Center.

2. Regulatory Review and additional Background Information

Section 13-700 of the Land Development Code, covers the policy and regulatory aspects of a Location and Extent. This includes a specific review of – Location and Extent, Subsection 13-702 – General Requirements and Procedure. A Location and Extent does not have specific approval criteria but may be approved upon the finding that:

13-702.01 A: No road, park, public way, ground, or space, no public building or structure, and no major facility of a public utility shall be constructed or authorized in the unincorporated areas of Arapahoe County unless and until the proposed location and extent thereof has been submitted to and approved by the Arapahoe County Planning Commission.

13-702.01 B: The Planning Commission and the Board of County Commissioners, when applicable, may approve the facilities as submitted, approve it with conditions, or deny the facility. The conditions to be imposed are those necessary, in the discretion of the Planning Commission and Board of County Commissioners, to mitigate or eliminate any adverse impacts of the proposed facility on the surrounding area, and may include the posting of sufficient performance guarantees with the County to guarantee the construction of any improvements.

Section 13-703 SUBMITTAL REQUIREMENTS -The applicant has met the intent of Section 13-703, of The Location and Extent Plan requirements by generally submitting the required materials.

3. Other Issues:

LANDSCAPING: Section 13-703.01 M of the Arapahoe County Land Development Code indicates that an L&E application should have an illustrative landscape plan showing locations, general types and sizes of all proposed landscaping materials, fences, walls, planters and any other landscaping features. The Land Development Code requires 20% open space with 1 tree and 10 shrubs per 1000 square feet of open space for industrial uses. Given the nature of this development and the location, Staff is supportive of covering most of the amendment area with gravel.

4. Referral Comments

The following chart is an overview of the comments. A copy of all referral comments to date follows the staff report.

County Engineer	-	Recommends favorably subject to addressing all Engineering and SEMSWA comments and concerns. <i>The applicant has addressed all Engineering and SEMSWA comments or will address comments as a condition of approval</i>
Mapping	-	Needs to respond to a number of comments. <i>Applicant has addressed or will address mapper's comments as a condition of approval.</i>
Sheriff	-	No comments
County Assessor	-	No response
Zoning Administrator	-	No response

Sable Altura Fire District	-	No response
Corps of Engineers	-	No response
West Arapahoe Soil Conservation Service	-	No response
Urban Drainage	-	No response
SEMSWA	-	Comments addressed through Engineering.
City of Aurora	-	No response
Tri-County Health	-	No comments

III. Staff Findings

Staff has visited the site, reviewed the plans and supporting documentation and referral comments. Based upon review of applicable policies and approval standards in the Land Development Code and analysis of referral comments, our findings include:

1. The application appears to generally comply with the Arapahoe County Comprehensive Plan.
2. Staff finds that the request for approval of Location and Extent Amendment for a natural gas regulator station appears to be in conformance with policies, regulations and goals outlined in the Land Development Code for a Location & Extent Amendment.
3. The applicant needs to address and resolve other comments and issues raised in the various Engineering Staff Reports.

IV. RECOMMENDATION:

Considering the findings and other information provided herein, the staff recommends approval of this case (No. L16-003), subject to the following conditions:

1. The applicant makes any minor modifications to plans, as requested by the Public Works and Development Department.
2. The applicant agrees to address all Division of Engineering and SEMSWA comments and concerns as identified within the various Engineering reports.

This is based upon:

- The proposed use is acceptable and consistent with the standards as determined by the Land Development Code.
- The proposed use generally conforms to the Comprehensive Plan.

V. DRAFT MOTIONS:

A. In the case of L16-003, South Harvest Mile Meter Station Location and Extent Amendment No. 1, we have read the staff report and received testimony at the public hearing. We find ourselves in agreement with staff findings including all plans and attachments as set forth in the staff report dated August 4, 2016, and move to approve this case, subject to the following conditions:

1. The applicant makes any minor modifications to plans, as requested by the Public Works and Development Department.
2. The applicant agrees to address all Division of Engineering and SEMSWA comments and concerns as identified within the various Engineering reports.

OR

B. DENIAL (This recommendation would not be consistent with the Staff recommendation. Any alternate motion must include new findings and conditions in support of the motion for Approval where those differ from the Staff-recommended findings and conditions):

In the case of L16-003, South Harvest Mile Meter Station Location and Extent, we have read the staff report and received testimony at the public hearing. We find ourselves not in agreement with staff findings regarding the draft plan and attachments as set forth in the staff report dated August 4, 2016, and move to DENY the Location and Extent case.

Findings:

1. State new or amended findings to support Planning Commission recommendation of "Denial" as part of the motion.
- 2.

OR

C. CONTINUE: *In the case of L16-003, South Harvest Mile Meter Station Location and Extent, I move to continue the decision on this request to [DATE], 2016, date certain, at 6:30 p.m., at this same location [to receive further information] [to further consider information presented during the hearing].*

Attachments: Application
 Response Letter
 Referral Letters
 Location and Extent Exhibit



Public Works and Development
 6924 S. Lima Street
 Centennial, Colorado 80112
 Phone: 720-874-6650
www.arapahoegov.com

Land Development Application
 Form must be complete

Land Development Application materials received after 2pm shall be date stamped received the following working day.

APPLICANT/REPRESENTATIVE: Jesse Vallejos, Public Service Company of Colorado	ADDRESS: 1123 W. 3rd Avenue, Denver, CO 80223 PHONE: 303.571.3304 FAX: 303.571.3284 EMAIL: jesse.m.vallejos@xcelenergy.com	SIGNATURE: NAME: TITLE:
OWNER(S) OF RECORD: Public Service Company of Colorado	ADDRESS: Same as above PHONE: FAX: EMAIL:	SIGNATURE: NAME: Same as above TITLE:
ENGINEERING FIRM: Merrick	ADDRESS: 5970 Greenwood Plaza Blvd., Greenwood Village, CO PHONE: 303.353.3695 FAX: None EMAIL: kriswiest@merrick.com	CONTACT PERSON: Kristofer Wiest

Pre-Submittal Case Number: **Q15-074** Pre-Submittal Planner: **Sherman Feher** Pre-Submittal Engineer: **Sarah White**

Parcel ID no. (AIN no.)	1977-18-1-01-001
Parcel Address or Cross Streets:	E. Alameda and Harvest Mile Road
Subdivision Name & Filing No.:	N/A
Related Case Numbers: (Preliminary/Final Development Plan, Rezoning, and / or Plat)	Preliminary
	EXISTING
	PROPOSED
Zoning:	Residential?
Case/Project/Subdivision Name:	Harvest Mile Station
Site Area (Acres):	0.459 AC
Floor Area Ratio (FAR):	20,000?
Density (Dwelling Units/Acre):	1
Building Square Footage:	598 sq. ft.
Disturbed Area (Acres):	

CASE TYPE (Administrative Case types are shaded in Gray)

<input type="checkbox"/> Preliminary Development Plan or Major Amendment	<input checked="" type="checkbox"/> Location & Extent or Major Amendment	<input type="checkbox"/> Administrative Site Plan	<input type="checkbox"/> Preliminary Plat
<input type="checkbox"/> Master Development Plan or Major Amendment	<input type="checkbox"/> Rezoning - Conventional	<input type="checkbox"/> Administrative Amendment to _____ (PDP, FDP, etc.)	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Final Development Plan or Major Amendment	<input type="checkbox"/> Land Development Code Amendment	<input type="checkbox"/> Technical Amendment to _____ (PDP, FDP, etc.)	<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Planned Sign Program or Major Amendment	<input type="checkbox"/> Use by Special Review or Major Amendment	<input type="checkbox"/> Commercial Mobile Radio Service (CMRS/cellular antennas)	<input type="checkbox"/> Subdivision Exemption
<input type="checkbox"/> Vacation of Right of Way/Easement/Plat	<input type="checkbox"/> Use by Special Review - Oil and Gas	<input type="checkbox"/> Plat Correction	<input type="checkbox"/> Replat (Major)
<input type="checkbox"/> 1041 - Areas & Activities of State Interest - Use by Special Review	<input type="checkbox"/> Special District Title 30 Title 32	<input type="checkbox"/> Administrative Oil & Gas Use by Special Review (AOGUSR)	<input type="checkbox"/> Administrative Replat
<input type="checkbox"/> Comprehensive Plan	<input type="checkbox"/> Rural Cluster	<input type="checkbox"/> Street Name Change	<input type="checkbox"/> _____

THIS SECTION FOR OFFICE USE ONLY

Case No:	L16-003	Planning Manager:	Sherman	Engineering Manager:	Sarah
Planning Fee:	<input checked="" type="checkbox"/> N \$ 4,500.⁰⁰	Engineering Fee:	<input checked="" type="checkbox"/> N \$ 3,500.⁰⁰	TCHD Fee?	<input type="checkbox"/> \$ 55.⁰⁰

This application shall be submitted with all applicable application fees. Submittal of this application does not establish a vested property right in accordance with C.R.S. 24-68-105(1). Processing and review of this application may require the submittal of additional information, subsequent reviews, and/or meetings as outlined in the Arapahoe County Land Development Code.

\$1,740 to SEMSWA

RECEIVED

FEB 23 2016

Harvest Mile Project

Public Service Company of Colorado, (PSCo), an Xcel Energy Company, is the owner and operating company for the electric and gas systems throughout Colorado serving Aurora and the surrounding area in Arapahoe County. PSCo permitted and purchased the Harvest Mile Meter Station site [Case No. Q 15 - 074] which is located on fee owned property [parcel # 1977 – 18 – 1 – 01 – 001]. The site is located east of Gun Club Road and south of E. Alameda Ave. near the proposed alignment of S. Harvest Mile Road and E. Virginia Ave in the West ½ of the East 1/2 of the Northeast 1/4 of the Northeast 1/4 of Section 18, Township 4 South, Range 65 West of the 6th Principal Meridian, Arapahoe County, Colorado.

The construction of this site was part of a natural gas reinforcement project with Colorado Interstate Gas Company (CIG) as the gas transmission company providing the source of natural gas to PSCo. This project was required to bring additional supplies of natural gas into the PSCo gas distribution system, which was necessary to provide natural gas to the area due to the extensive growth, development and proposed residential developments in the area. The CIG facility was constructed but the PSCo portion of the project was never constructed as proposed due primarily to the down turn in the economy, slow housing development and alternatives made to the gas distribution system in place of the development of the site.

Currently a new Public Service Company of Colorado gas pressure regulation station is needed to supply additional natural gas to the east Aurora gas distribution system with construction being proposed on the Harvest Mile site. The natural gas supply to the area currently comes from an existing regulator station at 24680 E Alameda Ave but the location will not allow for expansion to a larger site. This regulator station can no longer provide a sufficient supply of natural gas to the customers in the area and therefore needs to be replaced. A proposed regulator station is being planned for construction on the Harvest Mile site, which is located at 24774 E Alameda Ave.. This station will be removed and the property reclaimed. When completed, the new regulator station will provide a solution to both the short (4 square miles) and long term (16 square miles) gas demand challenges in the east Aurora area.

The new gas regulator station is proposed to be installed on the PSCo Harvest Mile site in Arapahoe County. The existing GIG gas facility will supply the natural gas to the new PSCo system. The proposed facility will be designed by professional engineers following all appropriate regulations and standards. The construction of the regulator station will include the installation of both underground and above ground piping, above ground valves, a prefabricated metal building set on a permanent concrete foundation. The site will be enclosed with a chain-link security fence and gated for access. The site will be finished graded and re-surfaced. An access agreement between PSCo and the property owner at 24600 E. Alameda Ave. will provide temporary access to the new station. The permanent access road has yet to be constructed. Access to the site was originally proposed from E. Virginia Ave and Harvest Mile Road. PSCo acquired pipeline and access easements from Alameda Avenue along the Harvest Mile Road corridor, then west along the alignment of E. Virginia Ave to the site and will be a gated access road when Harvest Mile Road is constructed. It is anticipated that this project will be constructed in 2016 and in operation in 2017.



5970 Greenwood Plaza Blvd
Greenwood Village, CO 80111
Phone: 303-751-0741
Fax: 303-752-4451
www.merrick.com

June 15, 2016
Merrick Project No. 65119002

Sarah White
Arapahoe County
Engineering Services Division
6924 S. Lima Street
Centennial, CO 80112

RE: L16-003; South Harvest Mile Road Meter Station; Location & Extent Plan – 1st Amendment

Ms. White,

Merrick & Company has reviewed the comments received on April 21, 2016 regarding the Harvest Mile Road Meter Station Project. The following summarizes Merrick's response to the comments provided by Arapahoe County.

STAFF COMMENTS

General

1. The application was referred to SEMSWA for review. SEMSWA's redlines and comment letter are included with the hard copies of this Staff Report. A response to comment letter is required for all comments issued by the County and by the Southeast Metro Storm Water Authority (SEMSWA). Please see that the required number of copies of the response to comments letter is included with your Engineering resubmittal. The number of copies is listed on the last page of this report. Note that SEMSWA's approval must be obtained prior to final County approvals.

Response: Understood

2. This parcel is in the Coal Creek drainage basin. Drainage basin fees have been established by the Southeast Metro Stormwater Authority (SEMSWA) for development in this watershed. Note that this fee will be assessed and collected by SEMSWA as a condition of Grading, Erosion, and Sediment Control (GESC) approval.

Response: Understood

3. **RESUBMITTAL PROCEDURE** - Attached to this report is an instruction checklist to the applicant regarding resubmittal of documents. The number of documents also includes documents requested by SEMSWA. Staff will forward the applicable documents; please do not submit directly to SEMSWA. The applicant and their consultants must follow these instructions explicitly to avoid delays in processing of this case.

Response: Understood

Location and Extent

4. This will be the first amendment to the existing “South Harvest Mile Meter Station – Location and Extent Plan” – please label as “Amendment No. 1” and include the amendment history to cover page.

Response: Revised name and included amendment history.

5. Title report submitted was from 2005, will need updated report to show any exceptions to the property that may exist. Please include new report with resubmittal documents.

Response: New Title Report included with submittal

6. Include the width of access drive in label

Response: Included

7. Show location of all existing and proposed utility lines and appurtenances.

Response: Added

8. Include dimensions of all existing and proposed structures, the use(s) to be located herein, building elevations, gross floor area and location of entrances and loading points as applicable.

Response: Revised

9. See redlines for additional comments.

Response: Addressed additional redline comments.

Phase III Drainage Study

10. Include ‘Arapahoe County Case No. L16-003’ on the cover page and lower left corner of the drainage map.

Response: Included

11. Include the submittal date on the cover page

Response: Included

12. Include the legal description per updated title on the cover page

Response: Included

13. Please note the entire ‘lot’ of the L&E include the land to the west and south – in the site location section, include a comment to this effect.

Response: Noted

14. Within description of property and proposed improvements, include discussion of site material improvements as well – after grading will site be returned to same conditions or altered?

Response: Revised report narrative.

15. Please update values for C within section II.B Minor Drainage Basins – C values don’t match values provided in calculations or drainage plan

Response: C Values updated.

16. Please confirm these values are correct with the updated UDFCD manual - there are new equations to calculate C - update applicably

Response: Updated C values per updated UDFCD manual.

17. As per TRC variance request - need to consider the rooftop drains and gutter so no point source discharges cause erosion and/or ponding - please discuss how this will be accomplished

Response: Revised report narrative.

18. Discuss site constraints - site constraints led to the WQ and detention variance

Response: Revised report narrative.

19. See redlines for additional comments.

Response: Additional redline comments addressed.

Construction Drawings

20. Include 'Arapahoe County Case No. L16-003' on bottom left corner of all pages.

Response: Included

21. Include scale for vicinity map and label all nearby drainageways.

Response: Included

22. Update County contact for the Public Works Office.

Response: Updated

23. The construction drawing cover sheet must have the engineer's certification as shown in Section 3.1.2 of the Arapahoe County Infrastructure Design and Construction Standards (IDCS) and as provided below. This statement shall be signed, stamped, and dated by the State of Colorado Registered Professional Engineer who prepared or directed the preparation of the plans. The professional engineer must also sign, seal, and date all sheets of the construction drawing set at final submission. Confirm that the plans are updated accordingly.

"I HEREBY AFFIRM THAT THESE (PRELIMINARY/FINAL) CONSTRUCTION PLANS FOR (NAME OF SUBDIVISION, DEVELOPMENT OR PROJECT) WERE PREPARED BY ME (OR UNDER MY DIRECT SUPERVISION) IN ACCORDANCE WITH THE REQUIREMENTS OF THE INFRASTRUCTURE DESIGN AND CONSTRUCTION STANDARDS AND THE STORMWATER MANAGEMENT MANUAL."

Name of Engineer

PE Number

Name of Engineering Firm

Response: Included

24. An approval block, as shown in Figure 3.1 of the Arapahoe County IDCS shall be placed in the lower, right hand corner on the cover sheet. Confirm the approval block is included.

Response: Included

25. Confirm that the standard and additional notes are included on the Cover Sheet:

Response: Included

26. The following note shall appear on each design sheet on the construction plans:

Arapahoe County shall not be responsible for the maintenance of roadway and appurtenant improvements, including storm drainage structures and pipes, for the shown private drives or roads.

Response: Included

27. Provide a detail and profile of the road/drive

Response: Provided section and additional grading information. Length and use of drive does not warrant a profile per discussion with County Staff. Verified width of drive with SableAltura Fire

28. See redlines for additional comments.

Response: Additional redlines comments addressed.

Grading, Erosion and Sediment Control (GESC) Documents

29. Include 'Arapahoe County Case No. L16-003' on bottom left corner of all pages.

Response: Included

30. See redlines for additional comments.

Response: Additional redlines comments addressed.

We hope we have adequately addressed your comments. If you have any questions, or need further clarification concerning the resubmitted plans, please don't hesitate to give me a call at 303-353-3695.

Respectfully submitted,
MERRICK & COMPANY



Kris Wiest, P.E.
Project Engineer



ARAPAHOE COUNTY
COLORADO'S FIRST

Arapahoe County Public Works & Development
6924 South Lima St.
Centennial, Colorado 80112
Phone: 720-874-6500

Planning Commission Engineering Summary Report

Date: August 8, 2016

To: Arapahoe County Planning Commissioners

Via: Sherman Feher
Planning Division

From: Sarah White
Engineering Services Division

Re: L16-003
South Harvest Mile Road Meter Station
Location & Extent Plan – 1st Amendment

Scope/Location:

Merrick & Company, on behalf of the property owner, Xcel Energy, is requesting approval of the 1st Amendment to an approved Location and Extent Plan of South Harvest Mile Road Meter Station Project. The project proposes a new gas pressure regulation station.

The site is located within the South Harvest Mile Road Meter Station Subdivision Exemption southwest of the intersection of East Alameda Avenue and South Harvest Road. The site lies within the Coal Creek drainage basin.

Application Documents:

Location and Extent Plan
Phase III Drainage Study
Construction Drawings
Grading, Erosion and Sediment Control (GESC) Documents

Cc: *Chuck Haskins, Division Manager, Engineering Services Division*
Case File # L16-003

Purpose and Recommendation

The purpose of this report is to provide the Engineering Services Division Staff findings, comments, and recommendations regarding the above-referenced land use application(s).

Engineering Services Division Staff (Staff) has reviewed the above-referenced land use application(s) and has the following findings and comments:

1. This parcel is in the Coal Creek drainage basin. Drainage basin fees have been established by the Southeast Metro Stormwater Authority (SEMSWA) for development in this watershed. Arapahoe County does not collect these fees.
2. This development lies within the boundaries of the Southeast Metro Stormwater Authority (SEMSWA).
3. Engineering Fees for this case review have been paid.
4. Applicant has request a waiver for detention and water quality requirements. The waiver requested was granted by the Technical Review Committee (TRC). Waiver requests and approval letter has been made a part of the Drainage Report.
5. City of Aurora is requesting one jurisdiction to complete GESC review, approval and inspections during construction. An Intergovernmental Agreement, Memorandum of Understanding or Approval Letter will need to be executed between County, Aurora and SEMSWA, who typically handles the GESC approval, permitting and inspections during construction.

Engineering Services Division Staff is recommending this land use application favorably subject to the following conditions:

1. The applicant agrees to address the Division of Engineering Services' comments and concerns as identified within this report.
2. The applicant agrees to address comments issued by the Southeast Metro Stormwater Authority (SEMSWA).
3. GESC plans show a gas line installation that is not shown on the L&E and construction plans. Utility line installations are not part of the L&E process. This installation will need to be removed from the GESC plans and submit a separate utility installation case (E-Case) for installation within the County ROW.
4. Construction site access is through Aurora, permits and approval will need to be obtained from the City of Aurora.
5. Arapahoe County, City of Aurora and SEMSWA execute an agreement to allow County/SEMSWA plan review, permitting and inspections for Grading, Erosion and Sediment Control during construction.



Public Works and Development

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

www.co.arapahoe.co.us

**Planning Division
Referral Routing**

Case Number / Case Name:	L16-003, South Harvest Mile Meter Station / Location and Extent (L&E)
Planner:	Sherman Feher
Engineer:	Sarah White
Date:	04-14-2016
Date to be returned:	04-28-2016

Arapahoe County Agencies			Citizen's Organizations		
<input checked="" type="checkbox"/>	Assessor / Arapahoe County	Beverly Reynolds	<input type="checkbox"/>	CCNA-Cherry Creek Neighborhoods Ass.	
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/>	CECON-(Within Centennial)	
<input type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/>	Four Square mile Neighborhood	
<input type="checkbox"/>	Engineering / Arapahoe County	Sarah White	<input type="checkbox"/>	South Metro Chamber of Commerce	
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	Conservation District		
<input type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	<input type="checkbox"/>	Deer Trail Conservation District	
<input type="checkbox"/>	Open Space / Arapahoe County	Shannon Carter	<input checked="" type="checkbox"/>	West Arapahoe Conservation District	Tasha Chevarria
<input type="checkbox"/>	Planning / Arapahoe County	Sherman Feher	Transportation		
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	<input type="checkbox"/>	CDOT / State Highway Dept- Region 1	Rick Solomon
<input type="checkbox"/>	Weed Control / Arapahoe County	Russell Johnson	<input type="checkbox"/>	E-470 Authority	Peggy Davenport
<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input type="checkbox"/>	RTD	Chris Quinn
Referral Agencies			Utilities: Gas, Electric & Phone		
<input type="checkbox"/>	Architectural Review Committee		<input type="checkbox"/>	Centurylink/Phone	Charles Place
<input type="checkbox"/>	Airport or Military Base		<input type="checkbox"/>	Conoco Phillips / Gas Pipeline	Donna George
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input type="checkbox"/>	XCEL	
<input checked="" type="checkbox"/>	City / Town	Aurora	<input type="checkbox"/>	IREA	
<input type="checkbox"/>	Colorado Parks and Wildlife	Travis Harris	Water / Sanitation / Stormwater / Wetlands		
<input type="checkbox"/>	County		<input type="checkbox"/>	ACWWA	
<input type="checkbox"/>	DRCOG		<input checked="" type="checkbox"/>	U.S. Army Corp. of Engineer	Kiel Downing
<input checked="" type="checkbox"/>	Sable Altura Fire Protection District		<input type="checkbox"/>	CCBWQA	
<input type="checkbox"/>	Metro District		<input type="checkbox"/>	Colorado Division of Water Resources	Joanne Williams
<input type="checkbox"/>	Post Office Growth Coordinator	J. Hernandez	<input checked="" type="checkbox"/>	SEMSWA	Paul Danley
<input type="checkbox"/>	Reap I-70 Regional Economic Advancement Partnership	1 to Matt Reay 1 to Jack Kever	<input type="checkbox"/>	ECCVW&S	Chris Douglass
<input type="checkbox"/>	Recreation District / Park District (External)		<input checked="" type="checkbox"/>	Urban Drainage	David Mallory
<input type="checkbox"/>	School District		<input type="checkbox"/>	Other / 5 Sets East End Adv. Committee	
<input type="checkbox"/>	Special District				
<input checked="" type="checkbox"/>	Tri-County Health Dept.	Sheila Lynch			
<input type="checkbox"/>	HOA/Homeowners Associations				

The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate line and return to the Arapahoe County Planning Office on or before the date indicated above.

	COMMENTS:	SIGNATURE
<input checked="" type="checkbox"/>	Have NO Comments to make on the case as submitted	Glenn B. Thompson, Bureau Chief 4/13/16
<input type="checkbox"/>	Have the following comments to make related to the case:	



Public Works and Development

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

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Planning Division

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Arapahoe County Agencies		Citizen's Organizations		
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<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/> CCNA-Cherry Creek Neighborhoods Ass.	
<input type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/> CECON-(Within Centennial)	
<input type="checkbox"/>	Engineering / Arapahoe County	Sarah White	<input type="checkbox"/> Four Square mile Neighborhood	
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	<input type="checkbox"/> South Metro Chamber of Commerce	
<input type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	Conservation District	
<input type="checkbox"/>	Open Space / Arapahoe County	Shannon Carter	<input type="checkbox"/> Deer Trail Conservation District	
<input type="checkbox"/>	Planning / Arapahoe County	Sherman Feher	<input checked="" type="checkbox"/> West Arapahoe Conservation District	Tasha Chevarria
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	Transportation	
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Referral Agencies			<input type="checkbox"/> RTD	Chris Quinn
<input type="checkbox"/>	Architectural Review Committee		<input type="checkbox"/>	
<input type="checkbox"/>	Airport or Military Base		Utilities: Gas, Electric & Phone	
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input type="checkbox"/> Centurylink/Phone	Charles Place
<input checked="" type="checkbox"/>	City / Town	Aurora	<input type="checkbox"/> Conoco Phillips / Gas Pipeline	
<input type="checkbox"/>	Colorado Parks and Wildlife	Travis Harris	<input type="checkbox"/> XCEL	Donna George
<input type="checkbox"/>	County		<input type="checkbox"/> IREA	
<input type="checkbox"/>	DRCOG		Water / Sanitation / Stormwater / Wetlands	
<input checked="" type="checkbox"/>	Sable Altura Fire Protection District		<input type="checkbox"/> ACWWA	
<input type="checkbox"/>	Metro District		<input checked="" type="checkbox"/> U.S. Army Corp. of Engineer	Kiel Downing
<input type="checkbox"/>	Post Office Growth Coordinator	J. Hernandez	<input type="checkbox"/> CCBWQA	
<input type="checkbox"/>	Reap I-70 Regional Economic Advancement Partnership	1 to Matt Reay 1 to Jack Keever	<input type="checkbox"/> Colorado Division of Water Resources	Joanne Williams
<input type="checkbox"/>	Recreation District / Park District (External)		<input checked="" type="checkbox"/> SEMSWA	Paul Danley
<input type="checkbox"/>	School District		<input type="checkbox"/> ECCVW&S	Chris Douglass
<input type="checkbox"/>	Special District		<input checked="" type="checkbox"/> Urban Drainage	David Mallory
<input checked="" type="checkbox"/>	Tri-County Health Dept.	Sheila Lynch	<input type="checkbox"/> Other / 5 Sets East End Adv. Committee	
<input type="checkbox"/>	HOA/Homeowners Associations			

The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate line and return to the Arapahoe County Planning Office on or before the date indicated above.

COMMENTS:	SIGNATURE
<input type="checkbox"/> Have NO Comments to make on the case as submitted	
<input checked="" type="checkbox"/> Have the following comments to make related to the case:	Michelle Lantz 4/13/2016
1. <u>Building does not provide setbacks, elevations or height. A-2 set backs are 25' side and 25' rear.</u>	
2. <u>Are there landscape requirements?</u>	
3. <u>Need fencing detail? If fence is over 8' in height, a building permit will be required.</u>	



April 22, 2016

Sherman Feher
Arapahoe County
6924 S. Lima Street
Centennial, CO 80112

RE: South Harvest Mile Meter Station, #L16-003
TCHD Case 3885

Dear Mr. Feher:

Thank you for the opportunity to review and comment on South Harvest Mile Meter Station for the construction of a new natural gas regulator station at 24774 E Alameda Ave. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations. After reviewing the application, TCHD has no comments.

Please feel free to contact me at 720-200-1593 or mweakley@tchd.org if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Weakley", written in a cursive style.

Michael Weakley
Water Program Supervisor

CC: Sheila Lynch, Steve Chevalier, TCHD



Public Works and Development

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

www.co.arapahoe.co.us

Planning Division

Referral Routing

Case Number / Case Name:	L16-003, South Harvest Mile Meter Station / Location and Extent (L&E)
Planner:	Sherman Feher
Engineer:	Sarah White
Date:	04-14-2016
Date to be returned:	04-28-2016

Arapahoe County Agencies			Citizen's Organizations		
<input checked="" type="checkbox"/>	Assessor / Arapahoe County	Beverly Reynolds	<input type="checkbox"/>	CCNA-Cherry Creek Neighborhoods Ass.	
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/>	CECON-(Within Centennial)	
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<input type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	<input type="checkbox"/>	Deer Trail Conservation District	
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<input type="checkbox"/>	Planning / Arapahoe County	Sherman Feher	Transportation		
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	<input type="checkbox"/>	CDOT / State Highway Dept- Region 1	Rick Solomon
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<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input type="checkbox"/>	RTD	Chris Quinn
Referral Agencies			<input type="checkbox"/>		
<input type="checkbox"/>	Architectural Review Committee		<input type="checkbox"/>		
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<input type="checkbox"/>	School District		<input type="checkbox"/>	ECCVW&S	Chris Douglass
<input type="checkbox"/>	Special District		<input checked="" type="checkbox"/>	Urban Drainage	David Mallory
<input checked="" type="checkbox"/>	Tri-County Health Dept.	Sheila Lynch	<input type="checkbox"/>	Other / 5 Sets East End Adv. Committee	
<input type="checkbox"/>	HOA/Homeowners Associations				

The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate line and return to the Arapahoe County Planning Office on or before the date indicated above.

COMMENTS:	SIGNATURE
<input type="checkbox"/> Have NO Comments to make on the case as submitted	
<input checked="" type="checkbox"/> Have the following comments to make related to the case:	<i>SEE REDLINE COMMENTS IN BLUE BEAM KIK 4-19-16</i>



7437 South Fairplay Street
Centennial, CO 80112-4486

March 11, 2016
Ms Sarah White
Arapahoe County Land Development Services
Public Works and Development
6924 S Lima Street
Centennial, Colorado 80112

RE: Harvest Road Substation
SEMSWA No. DPR16-00017, County Case No. L16-003

Dear Ms White,

Thank you for your referral request to the Southeast Metro Stormwater Authority (SEMSWA) regarding the proposed Harvest Road Substation Project. SEMSWA appreciates the opportunity to review the Phase III Drainage Report, Construction Documents, GESC Plan, Site Plan and offers the following comments:

General Comments:

1. This project is located within the Coal Creek drainage basin. System Development Fees (SDFs) have been established for development in this drainage basin. Please note SDFs will be assessed at the time of approval and are based on added impervious area. The SDF fee for this basin is \$7,169 per added impervious acre. These fees shall be paid prior to any permits being issued by SEMSWA.
2. Please note that permits are required prior to construction commencing on this site. Permits necessary for construction may include the Grading, Erosion and Sediment Control (GESC) Permit. There are permit fees and collateral required for these permits which are assessed at the time of approval. All fees and collateral shall be paid prior to any permits being issued by SEMSWA.
3. Please note: if it is necessary for SEMSWA to review the submittal documents more than three times, additional review fees will be required and assessed at half of the original review fees paid. The additional review fees shall be paid prior to any subsequent review.
4. Please submit a response letter to the comments with the re-submittal. Response letter is required for further review.

7437 South Fairplay Street, Centennial, CO 80112-4486
Phone: 303-858-8844 Fax: 303-649-2149 www.semswa.org

Phase III Drainage Report Comments:

1. Please quantify impervious area that will be added by this project.
2. Please refer to sand Creek Colfax to Yale MDP (2013).
3. Please address water quality by stating that flows from the new building and gravel yard will flow over vegetation and ASTM D2321 Class 1 gravel will be used to reduce compaction, which will promote infiltration.
4. Please describe where stormwater flows after leaving the site.
5. On the drainage map, please include north arrow & scale, show any existing utilities, and label adjacent ownerships and all easements.
6. Please see redlines for additional comments and make necessary revisions.

Construction Documents Comments:

7. Remove GESC plans from sheet index. GESC Plans are a stand-alone plan set. Add note to cover sheet: Construction drawings are not complete without most recently approved GESC Plans.
8. Please see redlines for additional comments and make necessary revisions.

GESC Plan Comments:

9. The GESC Plans and Report are to be stand-alone documents and not a part of the Construction Drawings. Please provide a GESC cover sheet with the GESC plan set with all elements provided as noted in the Arapahoe County GESC Drawing and Report Checklist. Please replace the SEMSWA GESC Standard Notes and Details (4 sheets) with the Arapahoe County GESC Standard Notes and Details (3 sheets). The GESC Submittal requires a GESC Report containing information as outlined in the County GESC Drawing and Report Checklist.
10. Please add SEMSWA Case No. DPR16-00017 and Arapahoe County Case No. L16-003 to the GESC Report cover sheet and to the lower left corner of the GESC Plan sheets.

Site Plan Comments:

11. No comments.

Thank you for the opportunity to review and comment on this application. We look forward to continued coordination on this project. Please feel free to contact me if you have any questions.

Sincerely,

A handwritten signature in blue ink that reads "Angela Howard". The signature is written in a cursive, flowing style.

Angela Howard, PE, CFM
Land Development Engineer

cc: John McCarty, P.E., PWLF, Executive Director, SEMSWA
Paul Danley, P.E., Director, Engineering & Construction Division, SEMSWA
Dan Olsen, Stormwater Inspector Manager, SEMSWA
Carrie Mugglestone, Business Support Specialist, SEMSWA
Case File

**SEMSWA RESUBMITTAL PROCEDURE
THIS SHEET MUST BE ATTACHED TO THE RESUBMITTAL
TO THE CASE ENGINEER**

SEMSWA No: DPR16-00017
Case No: L16-003

Case Engineer: Angela Howard

In order to expedite this case in an efficient manner, the following procedure for resubmitting information to Arapahoe County be followed.

Incomplete resubmittal packages should not be forwarded to the SEMSWA case engineer for review until all of the information requested on this form has been provided.

RESUBMITTAL CHECKLIST

The items checked below have been identified in the SEMSWA referral letter as requiring revision and or resubmittal.

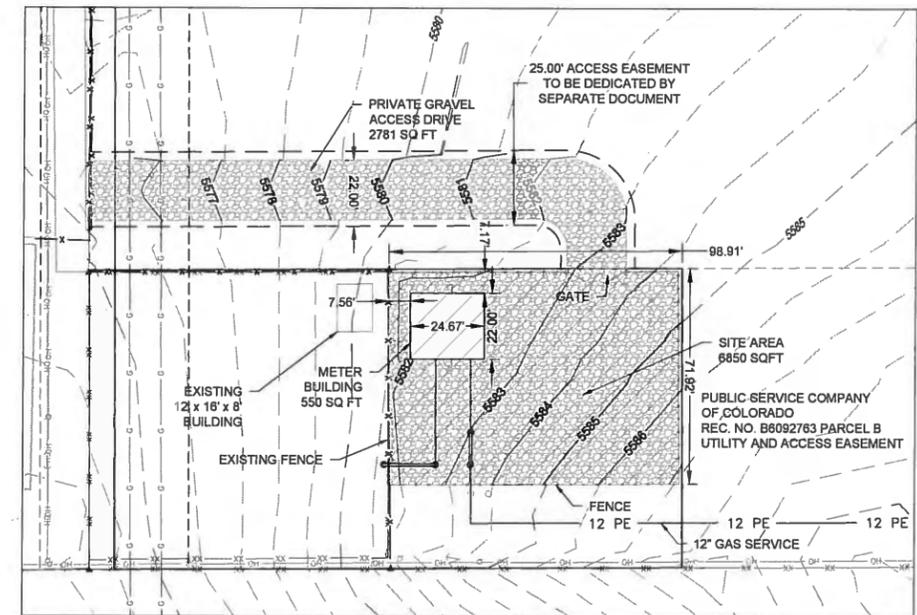
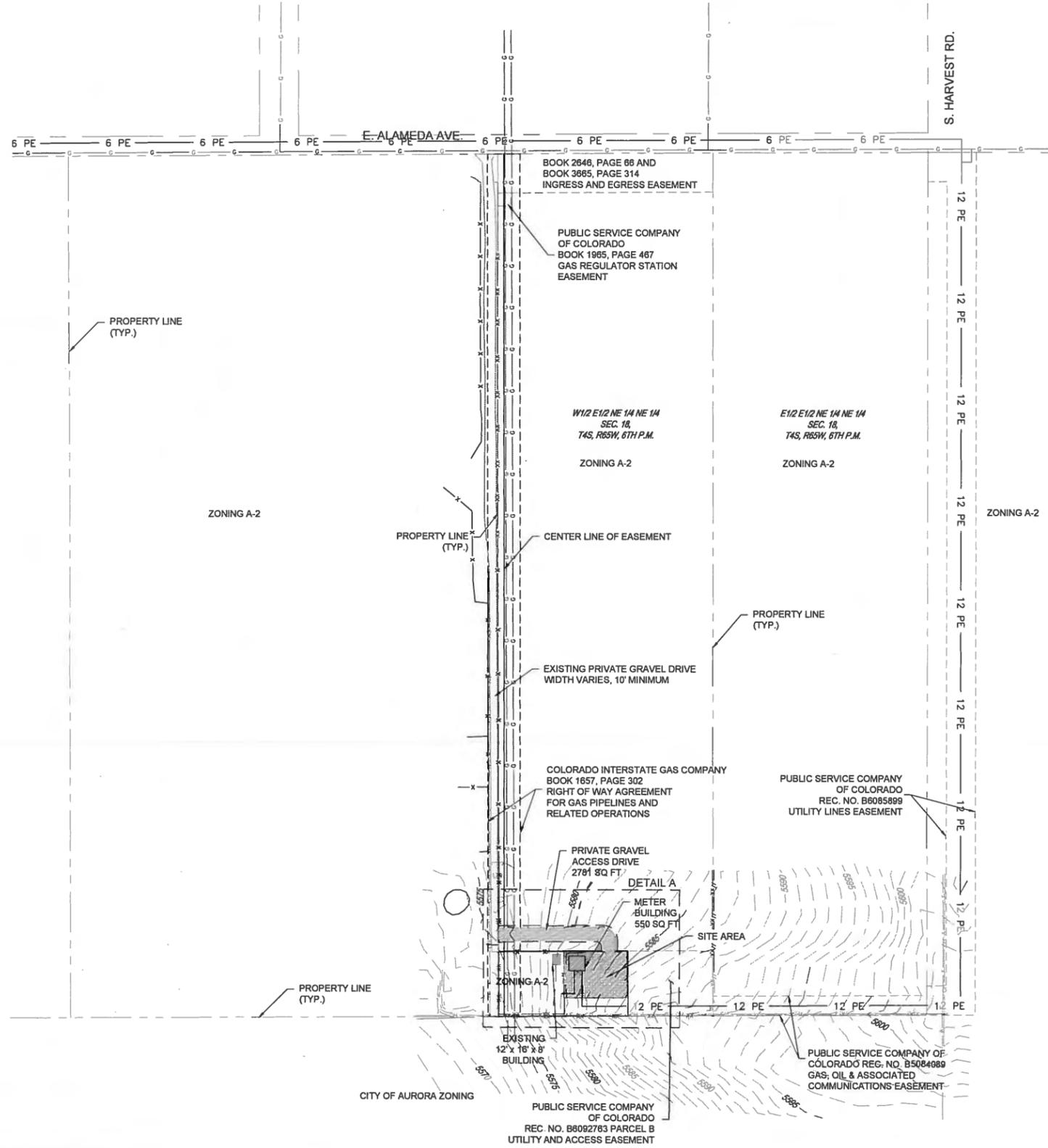
	SEMSWA Documents Required with Resubmittal	# of
<input checked="" type="checkbox"/>	A copy of this Resubmittal Checklist	1
<input checked="" type="checkbox"/>	Construction Plans	X
<input checked="" type="checkbox"/>	GESC Plan and Report	X
<input type="checkbox"/>	Phase I Drainage Study	
<input type="checkbox"/>	Phase II Drainage Study	
<input checked="" type="checkbox"/>	Phase III Drainage Study /Letter of no impacts	X
<input type="checkbox"/>	Drainage Letter of Compliance/Technical Letter	
<input type="checkbox"/>	Engineering Cost Estimate for Public Improvements	
<input type="checkbox"/>	SIA	
<input type="checkbox"/>	Redline(s) for: GESC	
<input checked="" type="checkbox"/>	Letter of point by point response	X
<input type="checkbox"/>	O/M Manual	
<input type="checkbox"/>	Maintenance Agreement	
<input type="checkbox"/>	Floodplain Documents	
<input checked="" type="checkbox"/>	Site Plan	X
<input type="checkbox"/>		
<input type="checkbox"/>		

LOCATION AND EXTENT PLAN - AMENDMENT NO. 1

SOUTH HARVEST MILE METER STATION

A PORTION OF THE NORTHEAST QUARTER OF SECTION 18, TOWNSHIP 4 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF ARAPAHOE, STATE OF COLORADO

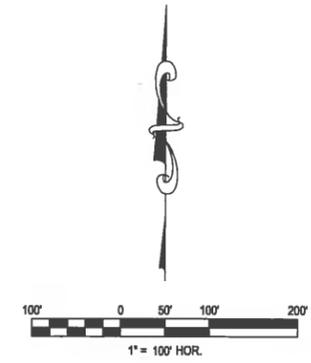
- LEGEND**
- ▲ FOUND PROPERTY MONUMENT
 - ⊕ LIGHT POLE
 - └ GUY LINE
 - PROPOSED FENCE
 - EX ROAD TO BE REPAIRED
 - ▨ PROPOSED GRAVEL ROAD BASE
 - XX — EX FENCE
 - X — EX FENCE
 - OH — EX OVERHEAD ELECTRIC LINE
 - 5410 — PROPOSED MAJOR CONTOUR
 - 5411 — PROPOSED MINOR CONTOUR
 - 5410 — EXISTING MAJOR CONTOUR
 - 5411 — EXISTING MINOR CONTOUR
 - - - EXISTING EASEMENT LINE
 - - - SECTION LINE
 - — — PROPERTY BOUNDARY
 - — — GAS SERVICE APPURTENANCE



DETAIL A
SCALE 1" = 30'

LAND USE SUMMARY TABLE	
USE	AREA (SQ. FT.)
PRIVATE ACCESS DRIVE	3900
METER BUILDING	543
SITE AREA (LESS METER BUILDING)	6307

METER BUILDING SUMMARY TABLE	
BUILDING MAX HEIGHT	10' - 3"
BUILDING DIMENSIONS	22' x 24' - 8"



- NOTE:
- METER BUILDING TO HOUSE PROPOSED GAS PSCo GAS METER AND RELATED APPURTENANCES.
 - PROPOSED METER BUILDING EXTERIOR TO CONSIST OF 26 GAGE PRO PANEL II STYLE PANELS, CARLSBAD CANYON COLOR.
 - GRAVEL TO BE USED ONSITE AND WITHIN 20' PRIVATE DRIVE TO BE 1" TO 1-1/2" WASHED MOUNTAIN GRANITE ROAD BASE



REVISIONS:

NO.	DATE	BY	DESCRIPTION
A	01/19/16	TW	ISSUED FOR REVIEW
B	01/19/16	KW	COUNTY REVISIONS

DESIGN BY:	TW
DRAWN BY:	TW
CHECKED BY:	KW
APPROVED BY:	KW

HARVEST MILE METER
STATION

LOCATION EXTENTS PLAN
SITE PLAN

JOB NO:	65119002
DATE:	02/19/16
SHEET:	2

Plot Date: 12/31/2015 Last Saved By: JDURAN File Location: C:\DEN\Projects\6002-00-Harvest Mile\Design\CDs\Civil\Location Extents\6002 - LE COVER & SITE PLAN.dwg

ARAPAHOE COUNTY PLANNING COMMISSION
PUBLIC HEARING
AUGUST 16, 2016
6:30 P.M.

Case No. P15-002, Centennial E Corporate Center Filing 3, Lot 8 Final
Development Plan, commonly known as Jasko Enterprises

BILL SKINNER, SENIOR PLANNER

AUGUST 5, 2016

LOCATION: This proposal is for Lot 8 of the Centennial East Corporate Center which is located north of the intersection of Fremont Avenue and Dillon Court. This property is in Commissioner District 2.



Vicinity Map

ADJACENT SUBDIVISIONS, ZONING, AND LAND USES:

North of the site is an occupied lot in the Centennial East Corporate Center Subdivision MU-PUD. A light industrial building with outdoor storage and parking occupies this site.

South of the site is a vacant lot in the Centennial East Corporate Center Subdivision MU-PUD. No construction has occurred on this property.

West of the Site across Dillion Court are vacant lots in the Centennial East Corporate Center Subdivision MU-PUD. A service dog training facility has been approved for one of these properties.

East of the Site is a light industrial building on property in the City of Centennial. The City of Centennial zoning for that property is Industrial.

PROPOSAL:

The applicant, Ethos Construction, on behalf of the property owner, Jasko Holdings, LLC, has submitted final development plan application P15-002. This application proposes a 6,000 sf. building intended to house the offices for a local trucking company.

Architecture

The proposed building is similar to other structures in this area, but has enhanced architecture befitting its status as the a company headquarters. The building is similar in bulk and mass as other buildings on Dillion Court. The Staff have received no comments pertaining to the design of the building.

The property is within the Centennial Airport Environs Planning Area (CAEPA). The building satisfies the CAEPA enhanced architecture criteria buildings enhanced design standards by incorporating the following features into the buildings design:

- Variations in the arrangement of windows;
- Recognizable changes in texture, materials, or surface colors;
- The building has an apparent base, body and top;
- The entrance is enhanced through the application of a projected entrance;
- The exterior finish does not use any of the 3 building materials prohibited in the CAEPA regulations;
- Variations of the features sited above are employed on all four side of the building as required.

Parking

The proposed 6,000 building will include 3,500 sf. of office, and 2,500 sf. of warehouse space. Arapahoe County parking requirements for these uses are:

3,500 sf. of office	x 3 spaces per 1000 sf. = 10.5 spaces required	
<u>2,500 sf. of warehouse</u>	<u>x 1 spacers per 1000 sf. = 2.5 spaces required</u>	
		13 spaces total
		15 spaces are provided

The proposal supplies 15 spaces which exceeds the PDP requirements

Neighborhood Concerns

No individuals or organizations have expressed any objections to this proposal.

BACKGROUND:

The property was originally zoned A-1 in 1961. The latest Centennial East Corporate Center MU-PUD PDP Amendment for this property was approved on September 7, 1999 (Case No. Z99-003).

The proposed FDP is located within the Centennial Airport Environs Planning Area (CAEPA) which has more stringent development standards (LDC Section 10-200). The property conforms to CAEPA requirements.

DISCUSSION AND FINDINGS:

Staff review of this application included a comparison of the application to policies and goals outlined in the Comprehensive Plan, a review of pertinent zoning regulations and background activity, site visits, and an analysis of referral comments.

1. The Comprehensive Plan

The Arapahoe County Comprehensive Plan categorizes this site as “Employment Center.” The Comprehensive Plan recommends primary uses be “Workplace uses such as research and development offices, major service and office center complexes, etc.” The proposed corporate headquarters for a local trucking company use conforms to the intent and goals of the Employment Center section of the County’s Comprehensive Plan as stated above.

The proposed FDP is also aligned with the following County Comprehensive Plan Policies and Goals:

Policy GM 1.2 – Encourage Urban Development to locate in Designated Growth areas (such as the Urban Growth Area).

Policy GM 4.1 - Encourage a Compact Urban Development Pattern in the Urban Service Area.

Policy GM 4 .3 – Promote Infill development and Redevelopment in the Urban Service Area.

Policy PFS 4.4 - Manage Stormwater to Conserve Water Quality in the Urban Service Area.

Policy EC 1.1 – Support Employment and Commercial Development in Growth Areas.

Policy EC 2.1 – Promote a High Quality Urban Environment in All New and Redevelopment Employment Centers and Commercial and Industrial Development.

2. Ordinance Review and Additional Background Information

Part 13-100 of the Planned Unit Development (P.U.D.) section of the zoning regulations states that "the P.U.D. process is intended to prevent the creation of a monotonous urban landscape by allowing for the mixture of uses which might otherwise be considered non-compatible, through the establishment of flexible development standards", provided said standards:

- a. **Recognize the limitations of existing and planned infrastructure, by thorough examination of the availability and capability of water, sewer, drainage, and transportation systems to serve present and future land uses.**

The P15-002 FDP has been reviewed for compliance and compatibility with approved standards and existing utilities and infrastructure. No concerns have been raised by those agencies.

- b. **Assure compatibility between the proposed development, surrounding land uses, and the natural environment.**

This P15-002 FDP proposes a site design for one of nine similarly sized and situated lots that all exist on S. Dillon Court, and that are all zoned by the same Z99-003 PDP. The P15-002 FDP meets the standards set in the Z99-003 PDP, and as such is compatible with underlying zoning as well as the existing development of the surrounding lots on S. Dillon Court. The lot east of this site is not zoned by the Z99-003 PDP, but has been developed in a similar fashion to the project proposed for the subject lot in the P15-002 FDP.

- c. **Allow for the efficient and adequate provision of public services. Applicable public services include, but are not limited to police, fire, school, parks, and libraries.**

As submitted the proposal can be adequately served by existing public services as evidenced by the absence of any objection from the service provider agencies that were part of the outside referral process.

- d. **Enhance convenience for the present and future residents of Arapahoe County by ensuring that appropriate supporting activities, such as employment, housing, leisure-time, and retail centers are in close proximity to one another.**

The proposed FDP may enhance convenience for the present and future residents of Arapahoe County by providing for employment in close proximity to housing, and that is easily accessed by streets and sidewalks.

- e. **Ensure that public health and safety is adequately protected against natural and man-made hazards, which include but are not limited to traffic noise, water pollution, airport hazards, and flooding.**

No internal or external agencies have expressed concerns that the proposal does not adequately protect against natural and man-made hazards.

- f. **Provide for accessibility within the proposed development, and between the development and existing adjacent uses. Adequate on-site interior traffic circulation, public transit, pedestrian avenues, parking and thoroughfare connections are all factors to be examined when determining the accessibility of a site.**

County Public Works Staff, in unison with interested referral agencies have evaluated the accessibility of the proposal and have determined that it has adequate access. The single lot nature of this FDP does not indicate a need for an internal transportation system.

- g. **Minimize disruption to existing physiographic features, including vegetation, streams, lakes, soil types, and other relevant topographical elements.**

No significant physiographic features exist on or adjacent to this site.

- h. **Ensure that the amenities provided adequately enhance the quality of life in the area, by creating a comfortable and aesthetically enjoyable environment through conventions such as, the preservation of mountain views, the creation of landscaped open areas, and the establishment of recreational activities.**

The proposal does not impact mountain views more or less than what is typical of development in the Denver Metro Area. Open space and landscaping have been provided in accordance with the underlying PDP requirements.

- i. **Enhance the usable open spaces in Arapahoe County, and provide sufficient unobstructed open spaces and recreational areas to accommodate a project's residents and employees.**

The FDP provides 27% open space which exceeds the 25% open space required by the underlying PDP

The criteria just stated must be addressed prior to approval of these requests, and are intended to provide clarity of purpose and direction for applicants, neighbors, concerned citizens, and Arapahoe County decision-makers.

3. Referral Comments from outside agencies

Comments received during the referral process are as follows:

Engineering	Comments have been addressed.
Mapping	Comments have been addressed.
Arapahoe County Assessor	No response.
Arapahoe County Zoning	No comments.
Arapahoe County Sheriff	No comments.
Army Corps of Engineers	No response.
Urban Drainage	No response.
SEMSWA	Comments have been addressed.
South Metro Fire Protection District	No comments.
Centennial East Corporate Center Architectural Review Committee	No response.
Xcel Energy	Comments are being addressed. (If need be, a condition of approval will be added to the Board Summary Report at that time)
City of Centennial	No response.
ACCWA	No response to staff, but the applicant is speaking directly to ACWWA regarding the acquisition of tap connections.
Post Office Coordinator	No response.
Cherry Creek Water Quality Basin Authority	No response.
Tri-County Health	No comments.
CDOT	No response.
Century Link/Phone	No response.

III. ADDITIONAL STAFF FINDINGS:

Staff has visited the site, reviewed the plans and supporting documentation, referral comments, as well as citizen input in response to this application. Based upon review of applicable policies and goals in the Comprehensive Plan, review of the development regulations, and analysis of referral comments, our findings include:

1. The proposed FDP appears to be in conformance with the goals and intent of Arapahoe County Comprehensive Plan.
2. The FDP is consistent with development standards enumerated in the Arapahoe County Land Development Code and the approved Z99-003 PDP.
3. The proposed FDP meets the FDP plan exhibit requirements listed in Section 13-108 of the Land Development Code.

RECOMMENDATION:

Considering the findings and other information provided herein, staff recommends approval of case number P15-002, Centennial E Corporate Center Filing 3, Lot 8 FDP subject to the following condition of approval.

- 1) Prior to signature of the final mylar copy of these plans, all minor modifications shall be made as required by the Arapahoe County Public Works & Development Department.

(draft motions are provided on the following page)

DRAFT MOTIONS for the Planning Commission:

Recommend Conditional Approval:

(This motion is consistent with the staff recommendation):

In the case of P15-002, Centennial E Corporate Center Filing 3, Lot 8 FDP, we have read the staff report and received testimony at the public hearing. We find ourselves in agreement with staff findings 1 through 3, including all plans and attachments as set forth in the staff report dated August 5, 2016 and recommend this case favorably to the Board of County Commissioners subject to the following condition(s) of approval:

- 1) Prior to signature of the final copy of these plans, all minor modifications shall be made as required by the Arapahoe County Public Works & Development Department.

Recommend Denial:

(This motion is not consistent with the staff recommendation):

In the case of P15-002, Centennial E Corporate Center Filing 3, Lot 8 FDP, the Planning Commission have read the staff report dated August 5, 2016 and received testimony at the public hearing. Based on the information presented and considered during a public hearing, recommend denial to the Board of County Commissioners based on the following findings:

- a. *State new findings as part of the motion.*
- b. ...

Continue to Date Certain:

In the case of P15-002, Centennial E Corporate Center Filing 3, Lot 8 FDP, I move to continue the hearing to [date], 6:30 p.m., to obtain additional information and to further consider the information presented.

Attachments

Application
Engineering Staff Report
Referral Comments
Exhibits



Public Works and Development
 6924 S. Lima Street
 Centennial, Colorado 80112
 Phone: 720-874-6650 FAX 720-874-6611
www.arapahoe.gov

**Land Development Application
 Formal**
 Form must be complete

APPLICANT/REPRESENTATIVE:	ADDRESS: PHONE: _____ FAX: _____ EMAIL: _____	SIGNATURE: NAME: TITLE:
OWNER(S) OF RECORD:	ADDRESS: PHONE: _____ FAX: _____ EMAIL: _____	SIGNATURE: NAME: TITLE:
ENGINEERING FIRM: BROWN CIVIL ENGINEERING	ADDRESS: 1300 Plaza Court North, Suite 101 Lafayette, Colorado 80026 PHONE: (303) 551-8910 FAX: _____ EMAIL: jprinster@browncivilengineering.com	CONTACT PERSON: Joseph Prinster

Pre-Submittal Case Number: _____ Pre-Submittal Planner: _____ Pre-Submittal Engineer: _____

Parcel ID number:	LOT 8, BLOCK 1
Address:	7145 S DILLON ST ENGLEWOOD, CO 80112
Subdivision Name:	CENTENNIAL CORPORATE CENTER

	EXISTING	PROPOSED
Zoning:	M.U. - P.U.D	
Project/Subdivision Name:	CENTENNIAL CORPORATE CENTER	
Site Area (Acres):	1.272 ACRES	
Floor Area Ratio (FAR):	10.8%	
Density (Dwelling Units/Acre):	0	
Building Square Footage:	6,000 SF	
Disturbed Area (Acres):	N/A	
Related Case Numbers: (Final/Preliminary Development Plan, Rezoning, and/or Plat)		

CASE TYPE				
1041- Areas & Activities of State Interest	Location & Extent	Preliminary Development Plan	Special District/Title 30	
1041- Areas & Activities of State Interest – Use by Special Review	Location & Extent – Major Amendment	Preliminary Development Plan – Major Amendment	Special District/Title 32	
Comprehensive Plan	Master Development Plan	Preliminary Plat	Street Name Change	
Final Development Plan	Master Development Plan – Major Amendment	Replat - Major	Use by Special Review	
Final Development Plan – Major Amendment	Minor Subdivision	Rural Cluster	Use by Special Review – Major Amendment	
Final Plat	Planned Sign Program	Rezoning Conventional	Use by Special Review – Oil & Gas	
Land Development Code Amendment	Planned Sign Program – Major Amendment	Rezoning Conventional – Major Amendment	Vacation of Right-of-Way/Easement/Plat	

THIS SECTION FOR OFFICE USE ONLY

Case No:	_____	Planning Manager:	_____	Engineering Manager:	_____
Planning Fee:	Y N \$	Engineering Fee:	Y N \$		

This application shall be submitted with all applicable application fees. Submittal of this application does not establish a vested property right in accordance with C.R.S. 24-68-105(1). Processing and review of this application may require the submittal of additional information, subsequent reviews, and/or meetings, as outlined in the Arapahoe County Land Development Code.



DL

Letter of Authorization

Ethos Construction, LLC
501 High Dr.
Castle Rock, CO 80104
(719) 659-7249
Nick@ethosconstruction.net

Date: 5/7/15

The property located at 7154 Dillon Court, Englewood, CO 80112 is owned by Jasko Holdings LLC. We propose construction of a new business headquarters. Jasmin Maljanovic is the owner of Jasko Holdings LLC. Jasmin Maljanovic authorizes Ethos Construction to act on his behalf regarding this project.

Sincerely,

A handwritten signature in black ink that reads 'Jasmin Maljanovic'.

Jasmin Maljanovic
Jasko Holdings
1025 S Perry St Suite 103
Castle Rock, CO 80104
(303) 503-4112

RECEIVED

MAY 12 2015

ARAPAHOE COUNTY
PLANNING DIVISION

Planning Commission Summary Report

Date: August 5, 2016 *SMS*

To: Arapahoe County Planning Commission

Through: Bill Skinner
Planning Division, Case Planner

Through: Chuck Haskins, PE
Engineering Services Division, Manager

From: Spencer M. Smith, PE
Engineering Services Division, Case Engineer

Case name: P15-002 - Centennial Corporate Center #03 / L8 B1
Jasko Enterprises Trucking Facility - Final Development Plan (FDP)

Purpose and Recommendation

The purpose of this report is to communicate the Engineering Staff findings, comments, and recommendations regarding the land use application identified above.

Engineering Staff has reviewed the land use application and has the following findings:

1. Access
 - a. Access to the site will utilize an existing access to S. Dillon Ct. The access is shared with Lot 7 directly north of the Jasko property (7124 S. Dillon Ct.). Additionally, there is an existing access easement along the east side of the property that provides access to E. Fremont Ave. (through Lot 9, 7184 S. Dillon Ct.).
2. Drainage
 - a. The site is tributary to Windmill Creek. Stormwater detention is provided in the W6/W7 Regional Detention and Water Quality facility.
 - b. This site predated the County's current water quality standards, therefore water quality capture volume was not anticipated in the overall drainage plan. To provide some water quality treatment, the applicant is being required to install a water quality enhancement (swale).
3. Traffic
 - a. The site met criteria for a Traffic Impact Study waiver.

4. Variances

- a. Several variances were requested by the applicant and approved for this project. Approved variances are as follows:
 - i. Use of a Modified Sand Infiltration Swale BMP to provide Enhanced Water Quality
 - ii. Use of a sidewalk chase to discharge runoff from water quality swale to the flowline of S. Dillon Ct.
 - iii. Widening of existing access to S. Dillon Ct. so that large trucks are able to make the turning movement into the site.

Engineering Staff is recommending the land use application favorably subject to the following conditions:

- 1. Applicant addresses all Arapahoe County Engineering Services Division comments.
- 2. Applicant obtains all necessary approvals and permits.
- 3. Applicant enters into an SIA and provides collateral to the County for all public improvements associated with the project.



ARAPAHOE COUNTY
COLORADO'S FIRST

Arapahoe County Public Works and Development - Planning Division

6924 S. Lima Street, Centennial, CO 80112

Phone: 720-874-6650 | Fax: 720-874-6611

www.arapahoegov.com

Phase II Referral Routing

Agency Receiving Referral:	
Agency Contact Person:	
<p>Case Number: P15-002 FDP</p> <p>Case Name: JASKO Trucking</p> <p>Case Planner: Bill Skinner - BSkinner@arapahoegov.com</p> <p>Case Engineer: Spencer Smith - SSmith@arapahoegov.com</p>	
<p>Date Sent:</p> <p>Date to be Returned:</p>	
<p>INSTRUCTIONS: The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate box, sign, add comments as necessary and return to the Arapahoe County Planning Office on or before the date indicated above.</p>	
COMMENTS:	Reviewer First & Last Name:
<input type="checkbox"/> Have NO Comments to make on the case as submitted	
<input type="checkbox"/> Have the following comments to make related to the case:	



SOUTH METRO FIRE RESCUE AUTHORITY

LIFE SAFETY BUREAU

9195 E Mineral Ave, Centennial, CO 80112
PHONE: 720.989.2230 www.southmetro.org FAX: 720.989.2130

Bill Skinner
Case Planner
Arapahoe County
6924 S. Lima St
Centennial, CO 80112
720-874-6650
720-874-6611 Fax

File #/Name: JASKO Trucking / P15-002
Project Type: **Final Development Plan**

S Metro Review # REFFDP15-00221
Plan reviewer: Chip Kerkhove

Narrative: New 1 story 6000sqft office / warehouse building.

Code Reference: 2009 International Fire Code, 2009 International Building Code

South Metro Fire Rescue's Life Safety Division has reviewed the above project and has **approved** the plans based with the following comments:

UNRESOLVED ISSUES:

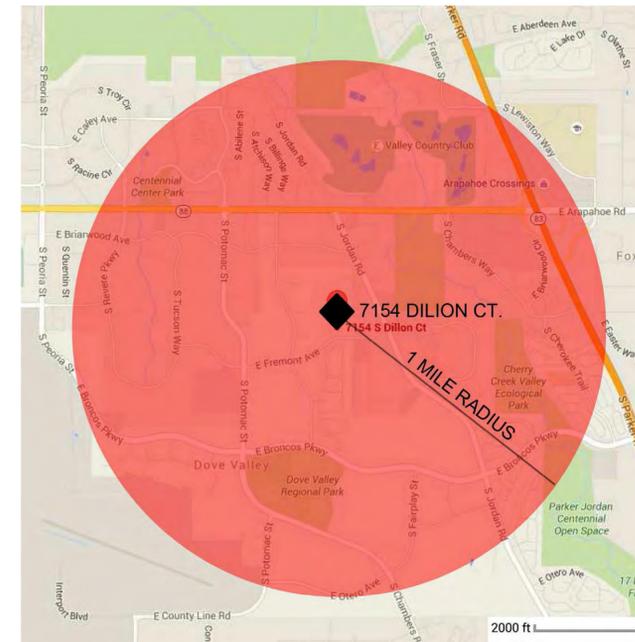
Need a meeting with the owner/developer to discuss hydrants and site access. They can contact me at chip.kerkhove@southmetro.org or 720-989-2247 to set up a meeting. Thanks.

LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

FINAL DEVELOPMENT PLAN
 LOT 8, BLOCK 1, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 3,
 LOCATED IN W1/2 OF SEC 30, T5S, R66W OF THE 6TH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO

DEVELOPMENT CRITERIA CHART

CASE NUMBER	Z99-003 (PDP)	P15-002 (FDP)
AREA	DEVELOPMENT AREA "B" 89.8 ACRES 12.759 ACRES	
ZONING	MIXED USE - PLANNED UNIT DEVELOPMENT (M.U. - P.U.D.)	MIXED USE - PLANNED UNIT DEVELOPMENT (M.U. - P.U.D.)
ALLOWABLE USES (FDP)	<ol style="list-style-type: none"> ADMINISTRATIVE PROFESSIONAL OFFICES INCLUDING MEDICAL AND DENTAL FACILITIES. LIGHT INDUSTRIAL FACILITIES INCLUDING MINI STORAGE, MANUFACTURE, FABRICATION PROCESSING OR ASSEMBLING OF PRODUCTS. RESEARCH AND DEVELOPMENT FACILITIES. WAREHOUSING AND DISTRIBUTION FACILITIES. WHOLESALE MERCHANDISE DISPLAY AND SALES. HOTELS, MOTELS, CONFERENCE AND MEETING FACILITIES. RECREATION FACILITIES, PUBLIC OR PRIVATE. EDUCATIONAL AND VOCATIONAL TRAINING INSTITUTIONS IF USE FALLS OUTSIDE OF AIRPORT TRAFFIC PATTERN AREA. ALL TEMPORARY AND ACCESSORY USES ASSOCIATED WITH THE ABOVE CELLULAR FACILITIES. OUTDOOR STORAGE ASSOCIATED WITH THE BUSINESS USE ON SITE WITHIN THIS DEVELOPMENT AREA SHALL BE ALLOWED AS LONG AS ADEQUATE VISUAL SCREENING IS CONSTRUCTED. ONLY ALLOWED NORTH OF FREMONT AVENUE. CORRECTIONAL FACILITY (ADULT COMMUNITY CORRECTIONS) LIMITED TO A 3 ACRE PARCEL LOCATED BETWEEN THE EAST BOUNDARY AND THE PROPOSED DRAINAGE CHANNEL, NORTH OF THE PROPOSED ALIGNMENT OF E. FREMONT AVE. USES NOT SPECIFICALLY LISTED ABOVE, MAY BE PERMITTED IF, IN THE OPINION OF THE ZONING ADMINISTRATION, THEY ARE SIMILAR IN CHARACTER TO THE USES STATED ABOVE AND IN CONFORMANCE WITH THE INTENT OF THIS PRELIMINARY DEVELOPMENT PLAN. 	<ol style="list-style-type: none"> ADMINISTRATIVE PROFESSIONAL OFFICES INCLUDING MEDICAL AND DENTAL FACILITIES. LIGHT INDUSTRIAL FACILITIES INCLUDING MINI STORAGE/ INDOOR STORAGE, MANUFACTURE, FABRICATION PROCESSING OR ASSEMBLING OF PRODUCTS. RESEARCH AND DEVELOPMENT FACILITIES. WAREHOUSING AND DISTRIBUTION FACILITIES. WHOLESALE MERCHANDISE DISPLAY AND SALES. ALL TEMPORARY AND ACCESSORY USES ASSOCIATED WITH THE ABOVE OUTDOOR STORAGE ASSOCIATED WITH THE BUSINESS USE ON SITE WITHIN THIS DEVELOPMENT AREA SHALL BE ALLOWED AS LONG AS ADEQUATE VISUAL SCREENING IS CONSTRUCTED. ONLY ALLOWED NORTH OF FREMONT AVENUE. RECREATIONAL AND CELLULAR USES MAY BE PERMITTED IF, IN THE OPINION OF THE ZONING ADMINISTRATION, THEY ARE SIMILAR IN CHARACTER TO THE USES STATED ABOVE AND IN CONFORMANCE WITH THE INTENT OF THIS PRELIMINARY DEVELOPMENT PLAN.
MINIMUM LOT SIZE	1.0 ACRE MINIMUM	1.272 ACRES
DEVELOPMENT DENSITY AND LOT COVERAGE	OFFICE/LIGHT INDUST.	
1. MAXIMUM FLOOR AREA RATIO (F.A.R.):	.75: 1	.11: 1
2. MINIMUM OPEN SPACE:	25%	89.1%
SETBACKS - PRINCIPAL BUILDINGS		
1. MINIMUM FRONT SETBACK FROM PUBLIC RIGHT-OF-WAY:	30'	30'
2. ADJACENT PROPERTY LINES	25'	25'
3. INTERIOR LOT LINES	10'	10'
4. SIDE-CORNER	15'	15'
SETBACK - ACCESSORY BUILDINGS	1.0 ACRE MINIMUM	1.0 ACRE MINIMUM
1. MINIMUM FRONT SETBACK FROM PUBLIC RIGHT-OF-WAY:	30'	30' (NO ACCESSORY STRUCTURES IN PROPOSAL)
2. ADJACENT PROPERTY LINES	25'	25'
3. INTERIOR LOT LINES	10'	10'
4. SIDE-CORNER	15'	15'
MINIMUM PARKING SETBACKS		
FROM STREET RIGHT-OF-WAY	10'	10'
MINIMUM BUILDING SEPARATION	EXISTING PDP CASE NO. Z96 - 018 APPROVED 1/20/98	PROPOSED FIRST AMENDMENTS PDP
MINIMUM PRINCIPAL BUILDING SEPARATION:	35'	35'
MINIMUM PRINCIPAL AND ACCESSORY SEPARATION:	10'	10'
MINIMUM ACCESSORY BUILDING SEPARATION: (GARAGES, SHEDS, STORAGE BUILDINGS, AND RECREATION FACILITIES):	20'	20'
MAXIMUM BUILDING HEIGHT	100'	100'
PUBLIC ROADWAYS		
1. COLLECTOR STREET		
A. R.O.W.	60'	60'
B. PAVEMENT SECTION:	44'	44'
2. LOCAL STREETS		
A. R.O.W.	50'	50'
B. PAVEMENT SECTION:	38'	38'
3. TURNAROUNDS		
A. R.O.W.	45' RADIUS	45' RADIUS
B. PAVEMENT SECTION:	38' RADIUS	38' RADIUS
4. PARKING (MIN SPACES PER 1,000 SQ. FT. G.F.A.)		
A. OFFICE USES:	3	3
B. COMMERCIAL/RETAIL:	4	4
C. WAREHOUSING:	AS DETERMINED BY FINAL DEVELOPMENT PLAN	AS DETERMINED BY FINAL DEVELOPMENT PLAN
D. OTHER NON-RESIDENTIAL USES:	N.A.	N.A.
E. RESIDENTIAL USES:	N.A.	N.A.



INDEX OF DRAWINGS (FDP)

Sheet Number	Sheet Name	Sort Order	Sort Order Name
FDP100	COVER SHEET	1	FDP
FDP101	GENERAL NOTES	1	FDP
FDP102	SITE AND GRADING PLAN	1	FDP
FDP103	LANDSCAPE PLAN	1	FDP
FDP104	LANDSCAPE DETAILS	1	FDP
FDP105	EXTERIOR ELEVATIONS	1	FDP
FDP106	EXTERIOR ELEVATIONS	1	FDP
FDP107	ELECTRICAL SITE PLAN - PHOTOMETRICS	1	FDP
FDP 108	ELECTRICAL FIXTURE CUT SHEET	1	FDP
FDP 109	SITE DETAILS	1	FDP

CONTACT LIST:

OWNER:
 JASMIN MALJANOVIC
 1025 S. Perry St. Ste 103
 Castle Rock, CO
 PHONE: 877.355.2756
 EMAIL: wes@jaskoEnt.com

ARCHITECT:
 ROOT ARCHITECTURE AND DEVELOPMENT, LLC
 ZEKE FREEMAN, R.A., G.C.
 710 W. COLFAX
 DENVER CO, 80202
 PHONE: 720.498.1925
 EMAIL: zfreeman@root-ad.com

CIVIL:
 BROWN CIVIL ENGINEERING
 MWBE, SBE, DBE
 JOSEPH C. PRINSTER, PE, CFM, LEED GREEN ASSOCIATE
 PHONE: 303.551.8913
 EMAIL: jprinster@BrownCivilEngineering.com

STRUCTURAL:
 THE SMITH GROUP, INC.
 TRAVIS SMITH, SE, PE
 2339 BITTERROOT LANE
 SUITE 100
 GOLDEN, CO 80401
 PHONE: 720.220.8311
 EMAIL: travis@SmithGroupEng.com

MEP:
 JCAA CONSULTING ENGINEERS LLC
 JOSEPH GAUMOND
 13772 DENVER WEST PARKWAY
 SUITE 200
 LAKEWOOD CO 80401
 PHONE: 303.985.3260
 EMAIL: jgaumond@jcaace.com

SITE COVERAGE DATA

TOTAL LOT SIZE: 55,435 SF
 TOTAL NON-PERVIOUS AREA: 40,538 SF
 TOTAL PERVIOUS AREA: 14,897 SF (27%)

PARKING CRITERIA

MIN. PARKING SPACE SIZE 9'x18'

3 SPACES PER 1000 SF OF FLOOR AREA

3 SPACES/1000 SF X 3,500 SF = 10

1 SPACE PER 1,000 SF OF FLOOR AREA

1 SPACE/1,000 SF X 2,500 SF = 3

TOTAL REQUIRED = 13
 TOTAL PROVIDED = 15

CERTIFICATE OF OWNERSHIP

I, _____ HEREBY AFFIRM THAT I AM THE OWNER OR AUTHORIZED AGENT OF ALL INDIVIDUALS HAVING OWNERSHIP INTEREST IN THE PROPERTY DESCRIBED HEREIN, KNOWN AS LOT 8 - JASKO ENTERPRISES, FINAL DEVELOPMENT PLAN. CASE NO. P15-002

OWNER OF RECORD OR AUTHORIZED AGENT

STATE OF _____

COUNTY OF _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY

OF _____ AD., 20__

BY _____ AS _____

OR _____ AN AUTHORIZED SIGNATORY.

BY _____ WITNESS MY HAND AND SEAL

 MY COMMISSION EXPIRES _____

CITY STATE ZIP CODE

PLANNING COMMISSION RECOMMENDATION

RECOMMENDED BY THE ARAPAHOE COUNTY PLANNING COMMISSION, THIS ____ DAY OF _____ A.D., 2015

CHAIR _____

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ARAPAHOE COUNTY BOARD OF COMMISSIONERS, THIS ____ DAY OF _____ A.D., 2015

CHAIR _____

PROJECT: CASE No. P15-002
 CENTENNIAL EAST COPORATE CENTER #03
 (JASKO ENTERPRISES TRUCKING FACILITY)
 7154 S. DILLON CT.



ARCHITECTURAL
 ROOT ARCHITECTURE AND DEVELOPMENT, LLC
 ZEKE FREEMAN, R.A., G.C.
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 DENVER CO, 80202
 PHONE: 720.498.1925
 EMAIL: zfreeman@root-ad.com

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JASKO ENTERPRISES TRUCKING FACILITY
 7154 S. DILLON CT.
 ENGLEWOOD, CO 80112

ISSUED FOR:
 PERMIT DOCUMENTS
 PROJ. NO. 15004
 DRAWN: ZF
 CHECKED: ZF

DATE: 04/19/2016
 PERMIT SUBMITTAL 11-08-2015
 ADD-01 02-09-2016
 ADD-02 04-19-2016

SHEET TITLE:
COVER SHEET
 SHEET NUMBER
FDP100

LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

FINAL DEVELOPMENT PLAN
LOT 8, BLOCK 1, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 3,
LOCATED IN W1/2 OF SEC 30, T5S, R66W OF THE 6TH PRINCIPAL MERIDIAN
COUNTY OF ARAPAHOE, STATE OF COLORADO



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JASKO
ENTERPRISES
TRUCKING FACILITY
7154 S. DILLON CT.
ENGLEWOOD, CO 80112

ISSUED FOR:
PERMIT DOCUMENTS
PROJ. NO. 15004
DRAWN: ZF
CHECKED: ZF
DATE: 04/19/2016
PERMIT SUBMITTAL 11-08-2015
ADD-01 02-09-2016
ADD-02 04-19-2016

SHEET TITLE:
GENERAL
NOTES
SHEET NUMBER
FDP101

LEGAL DESCRIPTION

FINAL DEVELOPMENT PLAN
LOT 8, BLOCK 1, CENTENNIAL CORPORATE CENTER, FILING NO. 3,
COUNTY OF ARAPAHOE, STATE OF COLORADO

STANDARD NOTES

THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDER(S) OF THE FINAL DEVELOPMENT PLAN KNOWN AS LOT 8 JASKO ENTERPRISE TRUCKING FACILITY, THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

1. STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAN/PLAT WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED, AND PROVIDED CONSTRUCTION OF SAID ROADWAYS IS STARTED WITHIN ONE YEAR OF THE CONSTRUCTION PLAN APPROVAL. THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

2. DRAINAGE MAINTENANCE

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENT. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. ARAPAHOE COUNTY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

3. EMERGENCY ACCESS NOTE

EMERGENCY ACCESS IS GRANTED HERewith OVER AND ACROSS ALL PAVED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES.

4. DRIVES, PARKING AREAS, AND UTILITY EASEMENTS MAINTENANCE

THE OWNERS OF THIS PLAN OR PLAT, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS, AND EASEMENTS, I.E.: CROSS-ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.

5. PRIVATE STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE PRIVATE ROADWAYS SHOWN ON THIS PLAT/PLAN ARE NOT IN CONFORMANCE WITH ARAPAHOE COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION. THE OWNERS, DEVELOPERS, AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

6. DRAINAGE LIABILITY

IT IS THE POLICY OF ARAPAHOE COUNTY THAT IT DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY BROWN CIVIL ENGINEERING, ARAPAHOE COUNTY REVIEWS DRAINAGE PLANS PURSUANT TO COLORADO REVISED STATUTES TITLE 30, ARTICLE 28, BUT CANNOT ON BEHALF OF JASMIN MALJANOVIC GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW WILL ABSOLVE JASMIN MALJANOVIC AND/OR THEIR SUCCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN. IT IS THE POLICY OF ARAPAHOE COUNTY THAT APPROVAL OF THE FINAL PLAT AND/OR FINAL DEVELOPMENT PLAN DOES NOT IMPLY APPROVAL OF BROWN CIVIL ENGINEERING DRAINAGE DESIGN.

7. LANDSCAPE MAINTENANCE

THE OWNERS OF THIS PLAN OR PLAT, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNER'S ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.

8. SIGHT TRIANGLE MAINTENANCE

THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN SAID TRIANGLE.

9. PUBLIC IMPROVEMENTS NOTE

AFTER FINAL DEVELOPMENT PLAN/FINAL PLAT APPROVAL, ISSUANCE OF INDIVIDUAL BUILDING PERMITS WILL BE SUBJECT TO THE FOLLOWING STIPULATIONS AND/OR CONDITIONS PRECEDENT, WHICH OWNER AGREES TO IN CONJUNCTION WITH APPROVAL OF THE FINAL DEVELOPMENT PLAN AND/OR FINAL PLAT. SUCH BUILDING PERMITS WILL BE ISSUED ONLY AFTER THE OWNERS GUARANTEE PUBLIC IMPROVEMENTS IN A FORM ACCEPTABLE TO THE BOARD OF COUNTY COMMISSIONERS PURSUANT TO STATE STATUTE.

10. DRAINAGE MASTER PLAN NOTE

THE POLICY OF THE COUNTY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW:
1. DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE PHASE III DRAINAGE REPORT AND PLAN.
2. DESIGN AND CONSTRUCT THE CONNECTION OF THE SUBDIVISION DRAINAGE SYSTEM TO A DRAINAGEWAY OF ESTABLISHED CONVEYANCE CAPACITY SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGEWAY. THE COUNTY WILL REQUIRE THAT THE CONNECTION OF THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFFSITE FLOWS) LEAVING THE SPECIFIC DEVELOPMENT SITE. TO MINIMIZE OVERALL CAPITAL COSTS, THE COUNTY ENCOURAGES ADJACENT DEVELOPMENTS TO JOIN IN DESIGNING AND CONSTRUCTING CONNECTION SYSTEMS. ALSO, THE COUNTY MAY CHOOSE TO PARTICIPATE WITH A DEVELOPER IN THE DESIGN AND CONSTRUCTION OF THE CONNECTION SYSTEM.
3. EQUITABLE PARTICIPATION IN THE DESIGN AND CONSTRUCTION OF THE MAJOR DRAINAGEWAY SYSTEM THAT SERVES THE DEVELOPMENT AS DEFINED BY ADOPTED MASTER DRAINAGEWAY PLANS (SECTION 3.4 OF THE ARAPAHOE COUNTY STORMWATER MANAGEMENT MANUAL) OR AS REQUIRED BY THE COUNTY AND DESIGNATED IN THE PHASE III DRAINAGE REPORT.

AIRPORT INFLUENCE AREA NOTE (OFF-SITE IMPROVEMENTS)

TO CARRY OUT ONE OR MORE OF THE FOLLOWING AS MAY BE REQUIRED BY THE BOARD OF COUNTY COMMISSIONERS:

- 1) TO INCLUDE SAID DEVELOPMENT WITHIN A SPECIAL DISTRICT FOR THE PURPOSE OF PARTICIPATION IN THE CONSTRUCTION OF NECESSARY OFF-SITE IMPROVEMENTS AT THE TIME OF APPROVAL OF FINAL DEVELOPMENT PLANS.
- 2) TO COOPERATE WITH OTHER OWNERS OF OTHER PARCELS AND/OR OTHER SPECIAL DISTRICTS IN OFF-SITE ROADWAY IMPROVEMENTS AS NECESSITATED BY THE DEVELOPMENT IMPACTS AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.
- 3) TO COMPLETE SUCH OTHER IMPROVEMENTS TO PUBLIC ROADWAYS BROUGHT ABOUT OR IMPACTED BY THIS DEVELOPMENT AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.
- 4) TO PARTICIPATE AND COOPERATE IN ANY TRANSPORTATION MANAGEMENT PROGRAM AS SPECIFIED IN THE AIRPORT INFLUENCE AREA TRANSPORTATION STUDY, IF SUCH A PROGRAM IS APPROVED AND/OR ADOPTED BY THE BOARD OF COUNTY COMMISSIONERS.

SPECIFIC NOTES

1. AIRPORT INFLUENCE AREA NOTE (EASEMENT/HAZARD EASEMENT)

AN AVIATION AND HAZARD EASEMENT AFFECTING ALL PROPERTY CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN HAS BEEN LEGALLY EXECUTED. SAID EASEMENT DOCUMENT CAN BE FOUND AT RECEPTION NO. A8093463 OF THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER.

THE LANDS CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN LIE WITHIN THE AIRPORT INFLUENCE AREA. AN AREA WHICH IS LIKELY TO BE AFFECTED BY AIRCRAFT OPERATIONS AND THEIR POTENTIAL NOISE AND/OR CRASH HAZARDS TO A GREATER DEGREE THAN LANDS SITUATED OUTSIDE OF THE INFLUENCE AREA. ALL LANDS CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN SHALL COMPLY WITH F.A.R. PART 77, "HEIGHT AND OBSTRUCTIONS CRITERIA".

3. STREET LIGHTING

ALL LOTS ARE SUBJECT TO AND BOUND BY TARIFFS WHICH ARE NOW AND MAY IN THE FUTURE BE FILED WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO RELATING TO STREET LIGHTING IN THIS PLAN OR PLAT, TOGETHER WITH RATES, RULES, AND REGULATIONS THEREIN PROVIDED AND SUBJECT TO ALL FUTURE AMENDMENTS AND CHANGES THERETO. THE OWNER OR OWNERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL PAY AS BILLED, A PORTION OF THE COST OF PUBLIC STREET LIGHTING IN THE PLAN OR PLAT ACCORDING TO APPLICABLE RATES, RULES, AND REGULATIONS, INCLUDING FUTURE AMENDMENTS AND CHANGES ON FILE WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO.

6. STORMWATER MAINTENANCE

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT BEST MANAGEMENT PRACTICES (BMP'S) AND STORMWATER FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENTS AND THE OPERATIONS AND MAINTENANCE (O AND M) GUIDE IN THE CASE OF PERMANENT BMP'S. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, MAINTAINING THE SPECIFIED BMP'S CONTAINED IN THE O AND M MANUAL RECORDED AT RECEPTION NUMBER AND THE STORMWATER FACILITIES SHOWN IN THE APPROVED PHASE III DRAINAGE REPORT AND SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL PERMANENT BMP'S AND/OR STORMWATER FACILITIES ASSOCIATED WITH THIS DEVELOPMENT. IF THE PERMANENT BMP'S AND STORMWATER FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

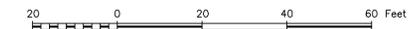
LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

FINAL DEVELOPMENT PLAN
 LOT 8, BLOCK 1, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 3,
 LOCATED IN W1/2 OF SEC 30, T5S, R66W OF THE 6TH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO



NORTH

SCALE: 1" = 20'

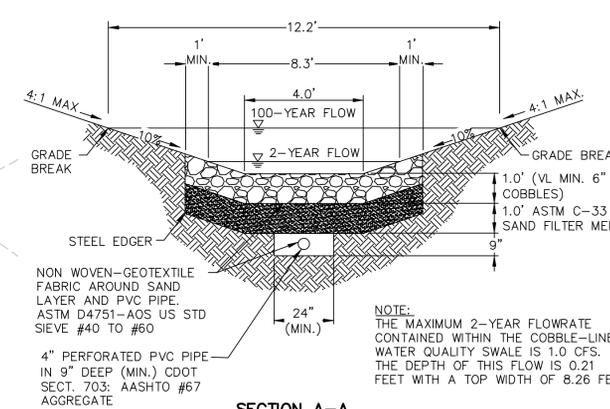
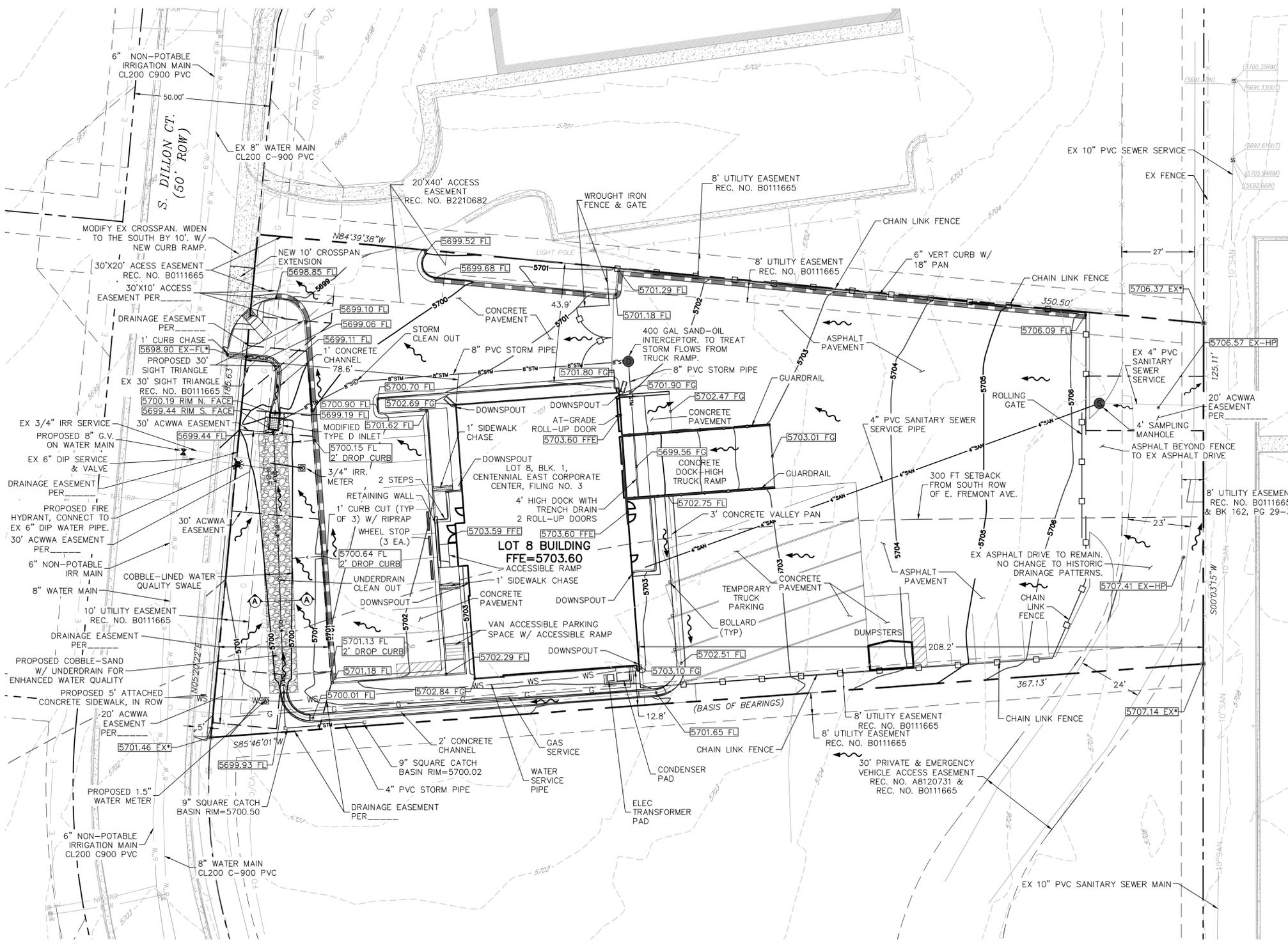


GRADING LEGEND

5200.00 FL	- PROPOSED SPOT ELEVATION
FL	- FLOW LINE
G	- GRADE
GB	- GRADE BREAK
TC	- TOP OF CURB
HP	- HIGH POINT
LP	- LOW POINT
EOP	- EDGE OF PAVEMENT
FG	- FINISHED GRADE
*	- FIELD VERIFY ELEVATION
5025	- PROPOSED MAJOR CONTOUR
5027	- PROPOSED MINOR CONTOUR
5025	- EXISTING MAJOR CONTOUR
5027	- EXISTING MINOR CONTOUR
2.0%	- PROPOSED SURFACE SLOPE
~	- DRAINAGE DIRECTION
▭	- SPLASH BLOCK
▬	- PROPOSED CATCH CURB, PROVIDE SPILL CURB ELSEWHERE

EXISTING LEGEND

W	- EXISTING WATER LINE
10" SAN	- EXISTING SEWER LINE
⊙	- EXISTING SEWER MANHOLE
⊙	- EXISTING LIGHTPOLE
⊗	- EXISTING WATER VALVE
NP-IRR	- NON-POTABLE IRRIGATION
G	- EX GAS
FO/CA	- FIBER OPTIC/CABLE



NOTES

- REGIONAL POND W6/W7 IS THE EXISTING STORMWATER MANAGEMENT FACILITY THAT WILL PROVIDE DETENTION AND PERMANENT WATER QUALITY FOR THE SITE.
- FOR APPROXIMATE 100-YR FLOODPLAIN DELINEATION OF WINDMILL CREEK CHANNEL SEE PHASE III DRAINAGE REPORT APPENDIX.
- THE JASKO TRUCKING FACILITY SITE IS NOT LOCATED WITHIN A FEMA 100-YR FLOODPLAIN. THE SITE IS LOCATED WITHIN ZONE X OF FIRM 08005C0479K, REV. DECEMBER 17, 2010.
- ALL WATER & SANITARY SEWER CONSTRUCTION & MATERIALS TO CONFORM TO ARAPAHOE COUNTY WATER & WASTEWATER AUTHORITY STANDARDS.
- ALL MATERIALS AND CONSTRUCTION WITHIN THE PUBLIC RIGHT OF WAY TO CONFORM TO ARAPAHOE COUNTY STANDARDS.

Call 2-business days in advance before you dig, grade or excavate.



BENCH MARK
 THE ELEVATIONS SHOWN HEREON ARE BASED UPON CITY OF AURORA BENCH MARK "JR-135", 3" BRASS CAP LOCATED AT NORTHEASTERLY RIGHT-OF-WAY OF JORDAN ROAD, 1 FOOT SOUTHWEST OF NORTHEASTERLY RIGHT-OF-WAY OF 8 FOOT HIGH STONE COLUMN AND WOOD FENCE LINE, BEING SOUTHEAST OF DRIVEWAY ENTRANCE FOR RECYCLING FACILITY SOUTH OF EASTER AVENUE.
 ELEVATION = 5698.85 FEET (NAVD 1988)



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JASKO ENTERPRISES TRUCKING FACILITY
 7154 S DILLON CT
 ENGLEWOOD, CO 80112

ISSUED FOR:
 FINAL DEVELOPMENT PLAN
 PROJ. NO. 15004
 DRAWN: DEJ
 CHECKED: JCP
 DATE: 04-19-2016
 PERMIT SUBMITTAL: 11-08-2015
 ADD-01: 02-09-2016
 ADD-02: 04-19-2016

SHEET TITLE:
SITE AND GRADING PLAN
 SHEET NUMBER:
FDP102

LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

FINAL DEVELOPMENT PLAN
 LOT 8, BLOCK 1, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 3,
 LOCATED IN W1/2 OF SEC 30, T5S, R66W OF THE 6TH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO



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JASKO
 ENTERPRISES
 TRUCKING FACILITY
 7154 S. DILLON CT.
 ENGLEWOOD, CO 80112

ISSUED FOR:
 PERMIT DOCUMENTS
 PROJ. NO. 15004
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DATE: 04/19/2016
 PERMIT SUBMITTAL 11-08-2015
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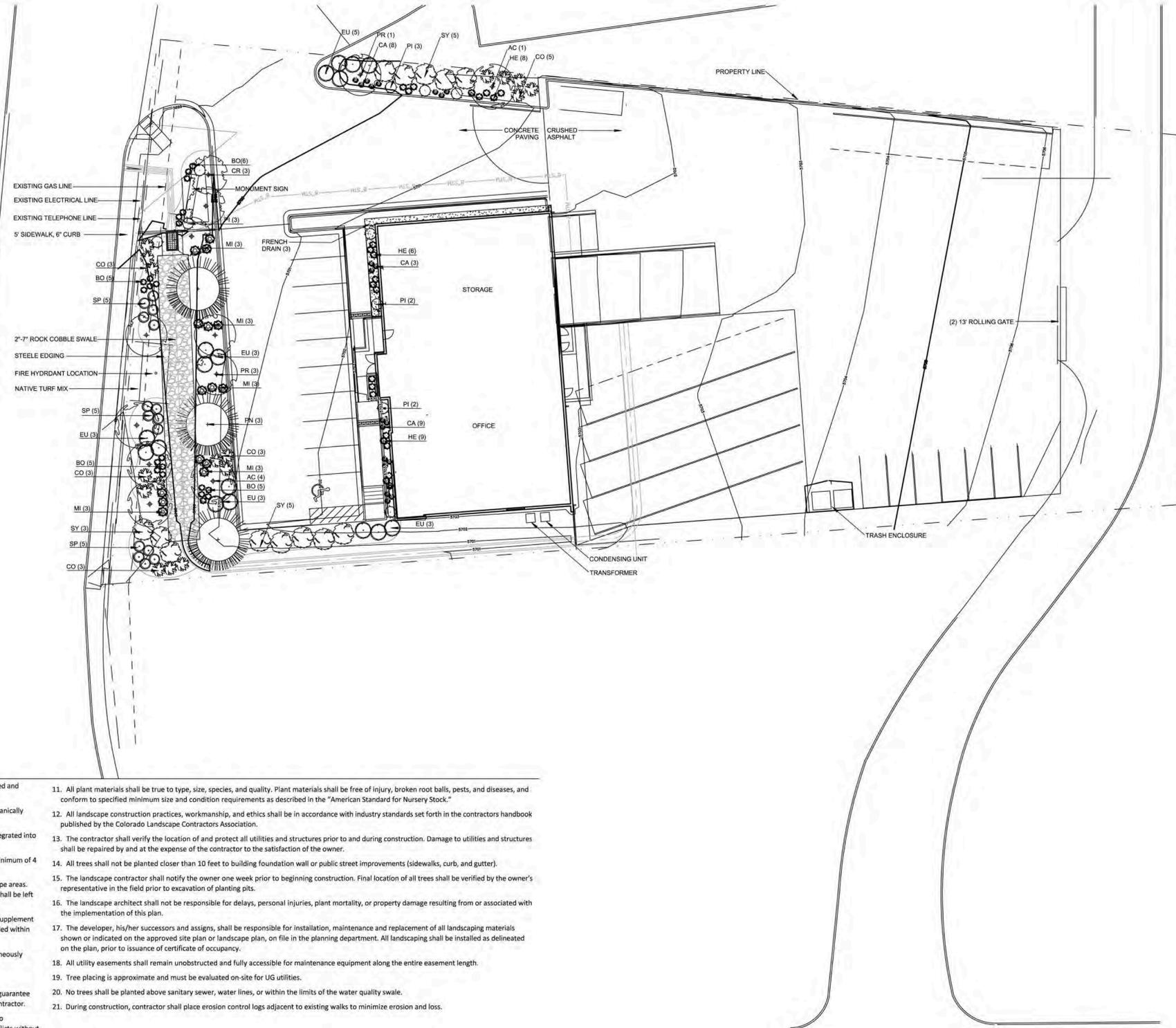
SHEET TITLE:
 LANDSCAPE
 PLAN
 SHEET NUMBER
FDP103

ICON	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.
DECIDUOUS TREES					
AC	AC	Acer ginnala	Amur Maple	2"	5
PR	PR	Prunus virginiana 'Canada Red'	Chokcherry, Canada Red	2"	4
ORNAMENTAL TREES					
CR	CR	Crataegus crusgalli inermis	Hawthorn, Thornless Cockspur	1.5"	3
EVERGREEN TREES					
PN	PN	Pinus edulis	Pinion Pine	2"	3
DECIDUOUS SHRUBS					
EU	EU	Euonymus alatus	Burning Bush	#5	17
CO	CO	Cornus alba 'Elegantissima'	Red Twig Dogwood, Variegated	#5	17
SP	SP	Spiraea x bumalda 'Anthony Waterer'	Spirea, Anthony Waterer	#5	15
SY	SY	Syringa vulgaris	Common Lilac, Purple	#5	13
EVERGREEN SHRUBS					
PI	PI	Picea pungens 'Globosa'	Blue Spruce, Globe	#5	10
ORNAMENTAL GRASSES					
BO	BO	Bouteloua gracilis 'Blonde Ambition'	Blue Grama, Blonde Ambition	#5	21
CA	CA	Calamagrostis brachytricha	Feather Reed Grass, Korean	#5	20
HE	HE	Helictotrichon sempervirens	Blue Oat Grass	#5	23
MI	MI	Miscanthus sinensis purpurascens	Maiden Grass, Purple Flame	#5	15

LANDSCAPE CALCULATIONS	
Total lot area:	55,435 SF
Total landscape area:	14,897 SF (27%)
Landscape requirements per Arapahoe county landscape code (12-1406)	
B. Within a required landscaped area for commercial, industrial and business development, the following ratios apply:	
1. One (1) tree and ten (10) shrubs, or an acceptable combination of trees and shrubs, for every 1,000 square feet of landscaped area.	
2. Ornamental clump grasses may be exchanged for up to fifty percent of the required shrubs at a ratio of three ornamental clump grasses for one shrub if one gallon clump grasses are selected.	
3. Ornamental clump grasses may be exchanged for up to fifty percent of the required shrubs at a ratio of one ornamental clump grass for one shrub if five gallon clump grasses are selected.	
1 Tree/1,000 SF x 14,442 SF =	15 Trees Required
	15 Trees Provided
10 Shrubs/1,000 SF x 14,442 SF =	150 Shrubs or #5 Ornamental Grasses
	72 Shrubs and 79 #5 Ornamental Grasses Provided

GENERAL LANDSCAPE NOTES

- All landscape improvements and related appurtenances placed or relocated within the Arapahoe County Rights-of-Way must be reviewed and approved by the Arapahoe County Division of Engineering.
- All topsoil shall be amended with compost at a rate of 5 cubic yards per thousand square feet of landscape area. Compost shall be mechanically integrated into the top 6" of soil using tiller or ripper teeth equipment.
- Soil amendment fertilizer shall have the chemical analysis of Nitrogen-18, Phosphorous-46, Potash-0. Fertilizer shall be mechanically integrated into the amended soil-compost mixture at a rate of 5 pounds per thousand square feet.
- All edging shall be 6" painted steel with protective cap. All edging shall overlap at joints a minimum of 6" and shall be fastened with a minimum of 4 pins per 10' section.
- After all planting is complete, contractor shall install landscape fabric and the specified landscape mulch throughout all exposed landscape areas. Contractor should use small bark mulch or shredded cedar mulch installed at a depth of no less than 3". Absolutely no exposed ground shall be left showing anywhere on the project after mulch has been installed.
- All grass, trees, and shrubs shall be irrigated by automatic irrigation system using sprinkler and drip emitters as required to adequately supplement moisture requirements. Landscape and irrigation plans for areas included within Rights-of-Way and Public Use Easements shall be included within construction documents.
- All planting pits shall be dug double the container size and amended with a minimum of 1/3 peat moss or other organic matter homogeneously mixed into topsoil.
- No substitutions of plant material shall be made without written consent of the owner.
- All trees, shrubs, and grasses shall be guaranteed to remain alive and healthy for a 12 month period after initial acceptance. During the guarantee period, the contractor shall notify the owner, in writing, of any maintenance deficiencies. All replacement costs shall be borne by the contractor.
- The contractor shall be responsible for visiting the site prior to bidding. It is further recommended the contractor test soils to ensure no contamination is present. Verify static water pressure for irrigation system requirements, and review plans for conflicts. Any and all conflicts without exception shall be reported to developer immediately.
- All plant materials shall be true to type, size, species, and quality. Plant materials shall be free of injury, broken root balls, pests, and diseases, and conform to specified minimum size and condition requirements as described in the "American Standard for Nursery Stock."
- All landscape construction practices, workmanship, and ethics shall be in accordance with industry standards set forth in the contractors handbook published by the Colorado Landscape Contractors Association.
- The contractor shall verify the location of and protect all utilities and structures prior to and during construction. Damage to utilities and structures shall be repaired by and at the expense of the contractor to the satisfaction of the owner.
- All trees shall not be planted closer than 10 feet to building foundation wall or public street improvements (sidewalks, curb, and gutter).
- The landscape contractor shall notify the owner one week prior to beginning construction. Final location of all trees shall be verified by the owner's representative in the field prior to excavation of planting pits.
- The landscape architect shall not be responsible for delays, personal injuries, plant mortality, or property damage resulting from or associated with the implementation of this plan.
- The developer, his/her successors and assigns, shall be responsible for installation, maintenance and replacement of all landscaping materials shown or indicated on the approved site plan or landscape plan, on file in the planning department. All landscaping shall be installed as delineated on the plan, prior to issuance of certificate of occupancy.
- All utility easements shall remain unobstructed and fully accessible for maintenance equipment along the entire easement length.
- Tree placing is approximate and must be evaluated on-site for UG utilities.
- No trees shall be planted above sanitary sewer, water lines, or within the limits of the water quality swale.
- During construction, contractor shall place erosion control logs adjacent to existing walks to minimize erosion and loss.



LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

FINAL DEVELOPMENT PLAN
 LOT 8, BLOCK 1, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 3,
 LOCATED IN W1/2 OF SEC 30, T5S, R66W OF THE 6TH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO



ARCHITECTURAL
 ROOT ARCHITECTURE AND
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 2339 BITTERROOT LANE, SUITE 100
 GOLDEN, CO, 80401
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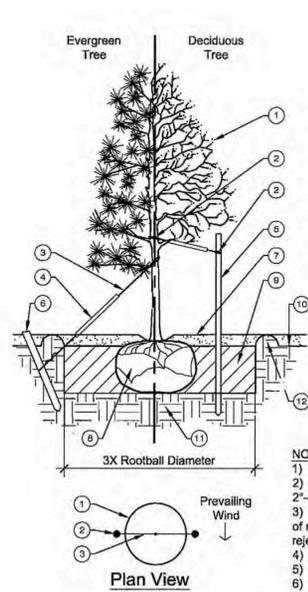
CIVIL:
 BROWN CIVIL ENGINEERING
 MNWE, SBE, DBE
 JOSEPH C. PRINSTER, PE, CFM,
 LEED GREEN ASSOCIATE
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MEP:
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 EMAIL: jgaumond@jcaace.com

JASKO ENTERPRISES TRUCKING FACILITY
 7154 S. DILLON CT.
 ENGLEWOOD, CO 80112

Planting notes:

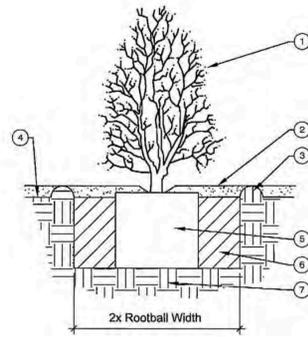
1. Call UNCC at (303) 232-1991 prior to any excavation.
2. All work shall conform to applicable local codes.
3. The contractor shall make himself aware of the locations of existing and proposed utilities, and shall be responsible for any damage to the utilities and/or any injury to any person.
4. The contractor shall take extreme care not to damage any existing plant material. Any plant material damaged by the contractor shall be replaced with the same species, size, and quantity at the contractor's own expense, and as acceptable to the owner.
5. After finish grades have been established, contractor shall have soil samples tested by an established soil testing laboratory for the following: soil fertility, organic matter content, agricultural stability, and lime, salt, and boron content. Each sample submitted shall contain no less than one quart of soil. Contractor shall also submit the project's plant list to the laboratory along with the soil samples. The soil report produced by the laboratory shall contain recommendations for the following (as appropriate): general soil preparation and backfill mixes, pre-plant fertilizer applications, and any other soil related issues. The report shall also provide a fertilizer program for the establishment period and for long-term maintenance.
6. The contractor shall install soil amendments and fertilizers per the soils report recommendations, and after receiving a change order from the owner. Any change in cost due to the soil report recommendations shall be submitted to the owner with the report, refer to specifications for soil preparation methods.
7. For bidding purposes only, the soil preparation shall consist of the following:
 Trees, Shrubs, and Perennials- Backfill Only
 6 parts by volume on-site soil
 2 parts by volume nitrogen stabilized organic amendment
 10 lbs. 12-12-12 fertilizer per cu. Yd.
 10 lbs. agricultural gypsum per cu. Yd.
 2 lbs. iron sulphate per cu. Yd.
8. A pre-emergent herbicide is recommended in areas not receiving seeded material or ornamental grasses.
9. All plant locations are diagrammatic. Actual locations shall be verified with the landscape architect prior to planting.
10. All plant material within a species shall have a similar size, and shall be of a form typical for the species. Any plant deemed unacceptable by the landscape architect shall be immediately removed from the site and shall be replaced with an acceptable plant of like type and size at the contractor's own expense. The landscape architect shall be the sole judge as to the acceptability of the plant material.
11. Trees with central leaders will not be accepted if leader is damaged or removed.
12. All planting areas less shall receive a layer of mulch. The mulch shall be spread evenly throughout all planting areas unless otherwise specified on the plan. The mulch shall be 2" deep within all tree and shrub watering basins. Absolutely no bare ground shall be showing.
13. All planting areas on slopes over 4:1 shall receive coconut fiber erosion control netting from rolls. Install and stake per manufacturers specifications.
14. The contractor shall maintain the project in a healthy and weed-free condition for a period of 90 days.
15. The contractor shall guarantee all trees, shrubs, and grasses for a period of one year. The contractor shall replace, at his own expense, any plants which die in that time. After the 90 maintenance period, the contractor shall only be responsible for replacement of plant materials when plant death cannot be attributed directly to overwatering or other damage by human actions.



- 1 Tree Canopy.
- 2 Nylon Tree Straps at Ends of Wire. Secure Strap to Stake or Deadman with Nails.
- 3 12 Gauge Galvanized Wire. Secure to Trunk Just Above Lowest Major Branches.
- 4 24" x 3/4" P.V.C. Markers Over Wires.
- 5 Pressure-Treated Wood Stake, 2" Diameter. Extend Stakes 12" Min. into Undisturbed Soil.
- 6 Pressure-Treated Wood Deadman, Two per Tree (Min.). Bury Outside of Planting Pit and 18" Min. Below Finish Grade.
- 7 Mulch - Depth and Type per Plans and Specs. Do Not Mulch Within 3" of Trunk.
- 8 Root Ball.
- 9 Backfill - Amend and Add Fertilizers Only as Recommended in Soil Fertility Analysis.
- 10 Finish Grade.
- 11 Undisturbed Native Soil.
- 12 4" High Earthen Watering Basin.

NOTES:
 1) Scarify sides of planting pit prior to setting tree.
 2) The rootball shall rest on undisturbed soil. The top of the rootball shall be 2"-4" above finish grade.
 3) Remove wire baskets from rootballs. Remove burlap and rope from top 1/2 of root ball when tree is set in planting hole. Trees with broken rootballs will be rejected.
 4) Remove all nursery stakes.
 5) Wrap trunk of deciduous trees to lowest major branch.
 6) For trees over 3" caliper, use three stakes (deciduous trees) or deadmen (evergreen trees) spaced evenly around the tree.

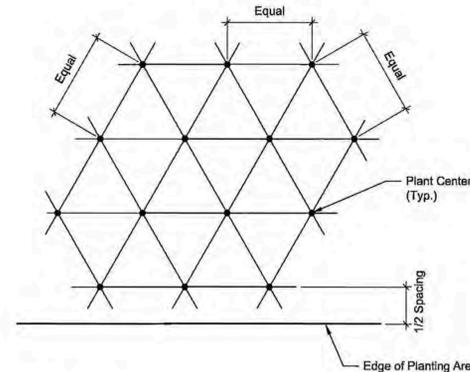
1 EVERGREEN AND DECIDUOUS TREE
 SCALE: NTS



- 1 Plant.
- 2 Mulch - Depth and Type per Plans and Specs. Do Not Mulch Within 3" of Trunk.
- 3 3" High Earthen Watering Basin.
- 4 Finish Grade.
- 5 Root Ball.
- 6 Backfill - Amend and Add Fertilizers Only as Recommended in Soil Fertility Analysis.
- 7 Undisturbed Native Soil.

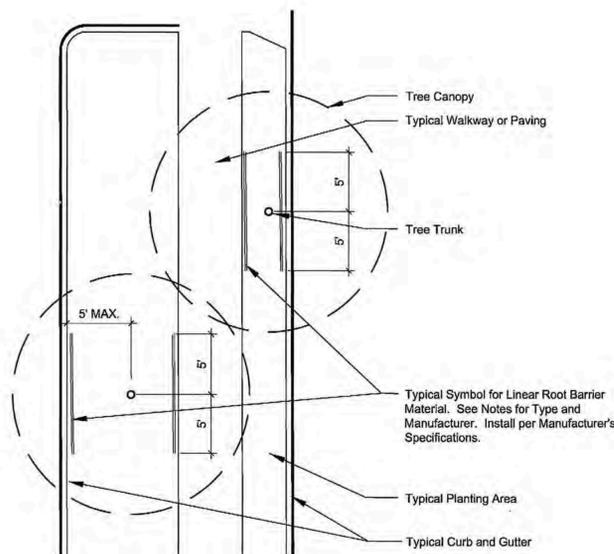
NOTES:
 1) Scarify sides of planting pit prior to setting plant.
 2) The rootball shall rest on undisturbed soil. The top of the rootball shall be 2" above finish grade.
 3) Plants with broken rootballs will be rejected.

2 SHRUB, PERENNIAL, AND ORNAMENTAL GRASS
 SCALE: NTS

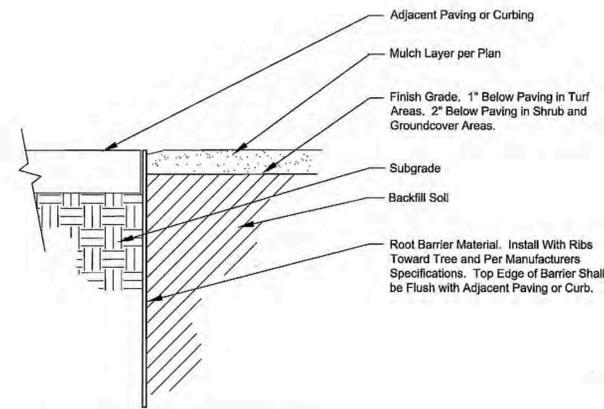


NOTE: All plants to be planted at equal triangular spacing (except where shown on plans as informal groupings). Refer to plant legend for spacing of plants.

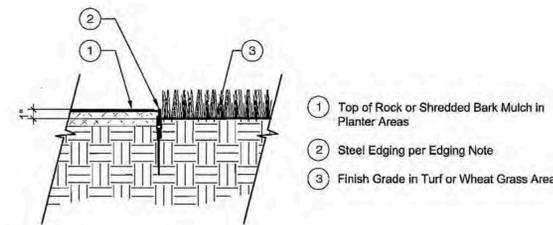
3 TYPICAL PLANT SPACING
 SCALE: NTS



4 ROOT BARRIER DETAIL
 SCALE: NTS



5 ROOT BARRIER DETAIL
 SCALE: NTS



6 STEEL EDGING
 SCALE: NTS

Disclaimer

The Landscape Architect has prepared these plans from the base information provided to him through Root Architecture on 4/30/2015. The existence and location of any underground utility pipes, structures and wires shown on these plans were obtained from said base information. Approval of this plan by the owner does not constitute a representation as to the accuracy of location or the existence or non-existence of any underground utility pipe, wire or structure within the limits of this project.
 The contractor shall be responsible for taking all due precautionary measures to protect any existing utility lines not of record or shown on the plans. Contractor shall familiarize himself with these plans for pertinent information relating to construction.

ISSUED FOR:
 PERMIT DOCUMENTS
 PROJ. NO. 15004
 DRAWN: ZF
 CHECKED: ZF

DATE: 04/19/2016
 PERMIT SUBMITTAL: 11-08-2015
 ADD-01: 02-09-2016
 ADD-02: 04-19-2016

SHEET TITLE:
LANDSCAPE DETAILS
 SHEET NUMBER
FDP104

LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

FINAL DEVELOPMENT PLAN
 LOT 8, BLOCK 1, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 3,
 LOCATED IN W1/2 OF SEC 30, T5S, R66W OF THE 6TH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO



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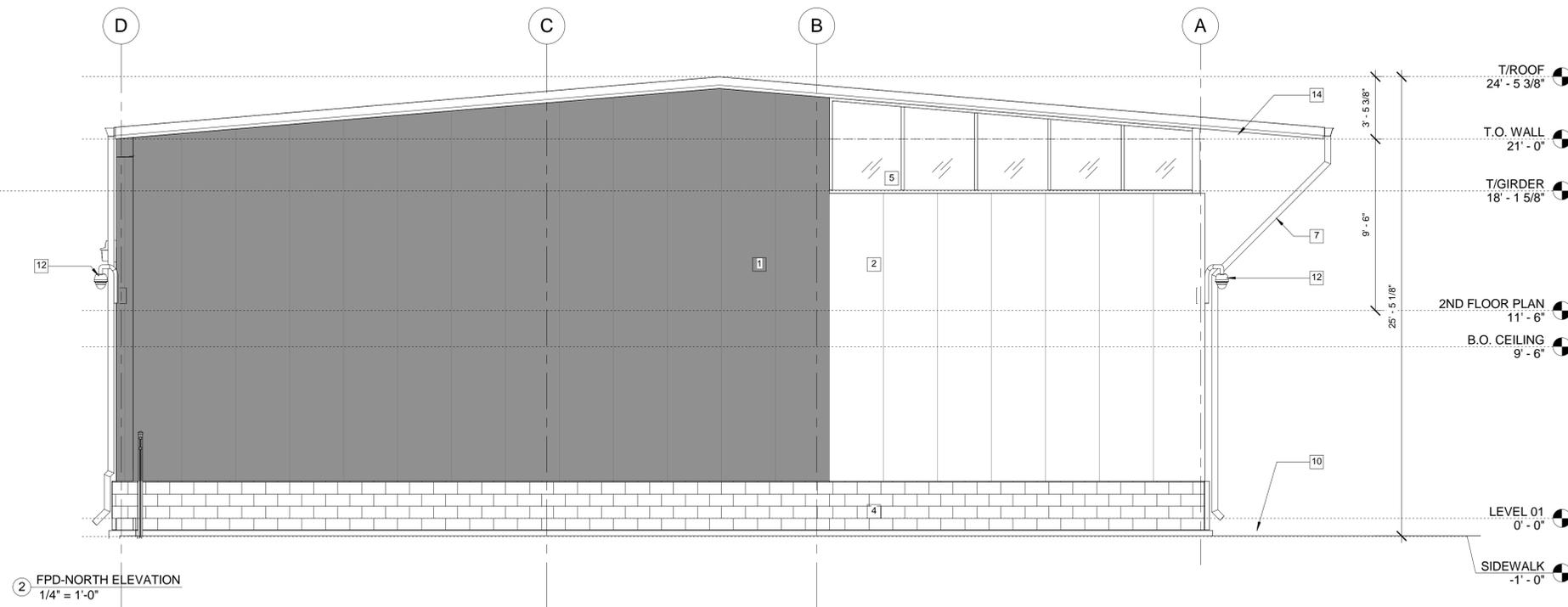
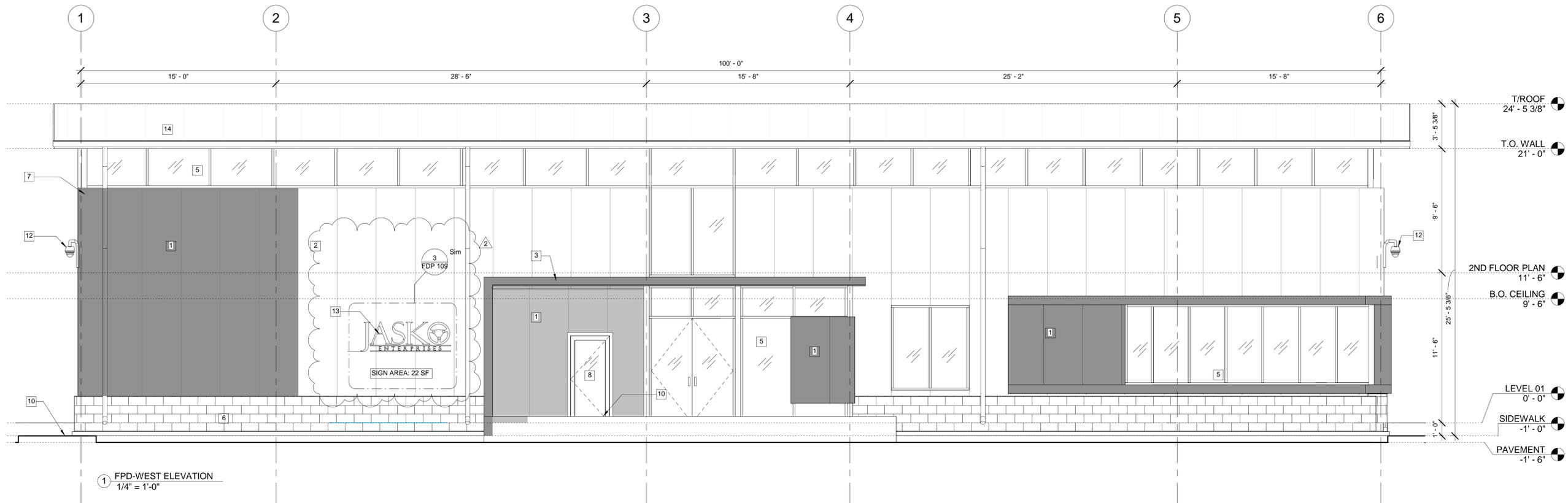
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**JASKO
 ENTERPRISES
 TRUCKING FACILITY**
 7154 S. DILLON CT.
 ENGLEWOOD, CO 80112

ISSUED FOR:
 PERMIT DOCUMENTS
 PROJ. NO. 15004
 DRAWN: ZF
 CHECKED: ZF

DATE: 04/19/2016
 PERMIT SUBMITTAL 11-08-2015
 ADD-01 02-09-2016
 ADD-02 04-19-2016

SHEET TITLE:
**EXTERIOR
 ELEVATIONS**
 SHEET NUMBER
FDP105



LEGEND

- | | |
|---|--|
| 1 INSULATED MTL. PANEL 01
COLOR A - DARK GREY | 9 2'-20" ROLLING IRON GATE |
| 2 INSULATED MTL. PANEL 02
COLOR B - LIGHT GREY | 10 CONCRETE STEPS, SIDEWALK AND RAMP |
| 3 BREAK MTL. PANEL
COLOR A- DARK GREY | 11 EXTERIOR LIGHTING FIXTURE |
| 4 BREAK MTL. PANEL
COLOR A- LIGHT GREY | 12 SECURITY CAMERA |
| 5 ALUMINIUM STOREFRONT
GLAZING SYSTEM | 13 LOGO & SIGN |
| 6 SPLIT FACE CMU BASE | 14 STANDING SEAM METAL ROOFING |
| 7 ALUMINIUM DOWN SPOUT | 15 OVERHEAD DOOR |
| 8 HOLLOW METAL DOOR | 16 BREAK MTL. PANEL
COLOR C- COBALT BLUE |
| | 17 SPANDRELL PANEL |
| | 18 STOREFRONT INSULATED METAL PANEL
TO MATCH COLOR 'A' - BY STOREFRONT
MANUFACTURER. |

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LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

FINAL DEVELOPMENT PLAN
 LOT 8, BLOCK 1, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 3,
 LOCATED IN W1/2 OF SEC 30, T5S, R66W OF THE 6TH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO



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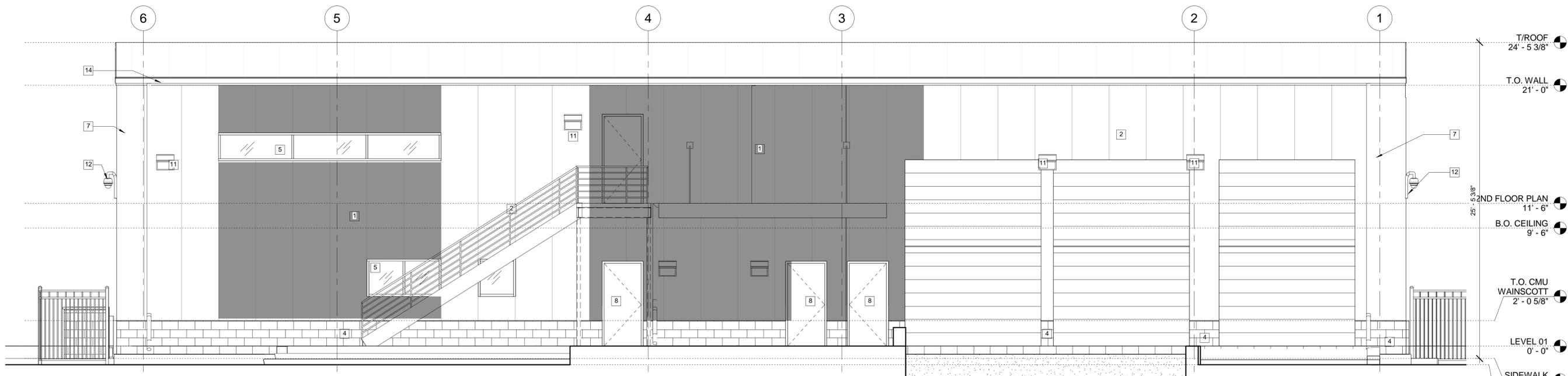
MEP:
 JCAA CONSULTING ENGINEERS LLC
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**JASKO
 ENTERPRISES
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 7154 S. DILLON CT.
 ENGLEWOOD, CO 80112

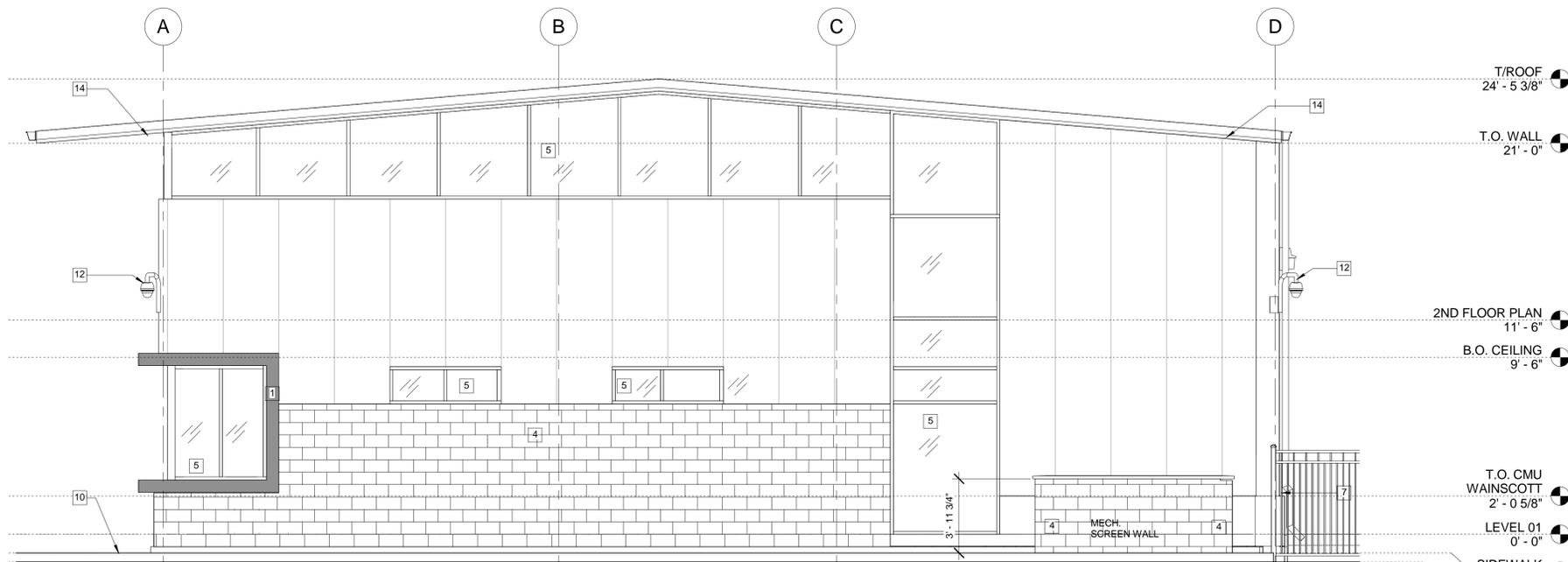
ISSUED FOR:
 PERMIT DOCUMENTS
 PROJ. NO. 15004
 DRAWN: ZF
 CHECKED: ZF

DATE: 04/19/2016
 PERMIT SUBMITTAL 11-08-2015
 ADD-01 02-09-2016
 ADD-02 04-19-2016

SHEET TITLE:
**EXTERIOR
 ELEVATIONS**
 SHEET NUMBER
FDP106



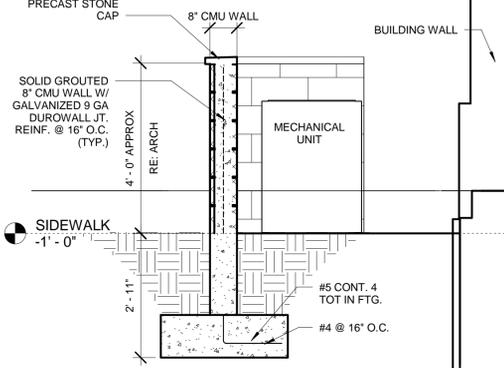
1 FPD-EAST ELEVATION
 1/4" = 1'-0"



2 FPD-SOUTH ELEVATION
 1/4" = 1'-0"

LEGEND

- | | |
|---|--|
| 1 INSULATED MTL. PANEL 01
COLOR A - DARK GREY | 9 2'-20" ROLLING IRON GATE |
| 2 INSULATED MTL. PANEL 02
COLOR B - LIGHT GREY | 10 CONCRETE STEPS, SIDEWALK AND RAMP |
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COLOR A- DARK GREY | 11 EXTERIOR LIGHTING FIXTURE |
| 4 BREAK MTL. PANEL
COLOR A- LIGHT GREY | 12 SECURITY CAMERA |
| 5 ALUMINIUM STOREFRONT
GLAZING SYSTEM | 13 LOGO & SIGN |
| 6 SPLIT FACE CMU BASE | 14 STANDING SEAM METAL ROOFING |
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| 8 HOLLOW METAL DOOR | 16 BREAK MTL. PANEL
COLOR C- COBALT BLUE |
| | 17 SPANDRELL PANEL |
| | 18 STOREFRONT INSULATED METAL PANEL
TO MATCH COLOR 'A' - BY STOREFRONT
MANUFACTURER. |



GENERAL NOTES:

- DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2006 IBC, ACI 318-05. SPECIAL INSPECTION REQUIRED PER IBC REQUIREMENTS. FOOTING AND WALL SHALL BE SEPARATED FROM BUILDING STRUCTURE WITH MIN. 1/2" EXPANSIONS JOINT MATERIAL
- CONCRETE
 28-DAY COMPRESSIVE STRENGTH = 3,000 PSI (FOOTING), 4,000 PSI (STEM WALL)
 AIR ENTRAINMENT = 5%-7%
 MAX. W/C RATIO = 0.48
 TYPE III CEMENT
 GR. 60 REINFORCEMENT
- MASONRY
 TYPE N-1, LIGHTWEIGHT UNITS
 3,000 PSI GROUT
 MIN. FM = 1,500 PSI
 TYPE S MORTAR W/MIN. 1,500 PSI
 SANDSTONE COLOR TO MATCH BUILDING

3 MECHANICAL SCREEN DETAIL
 1/2" = 1'-0"

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LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

FINAL DEVELOPMENT PLAN
 LOT 8, BLOCK 1, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 3,
 LOCATED IN W1/2 OF SEC 30, T5S, R66W OF THE 6TH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO



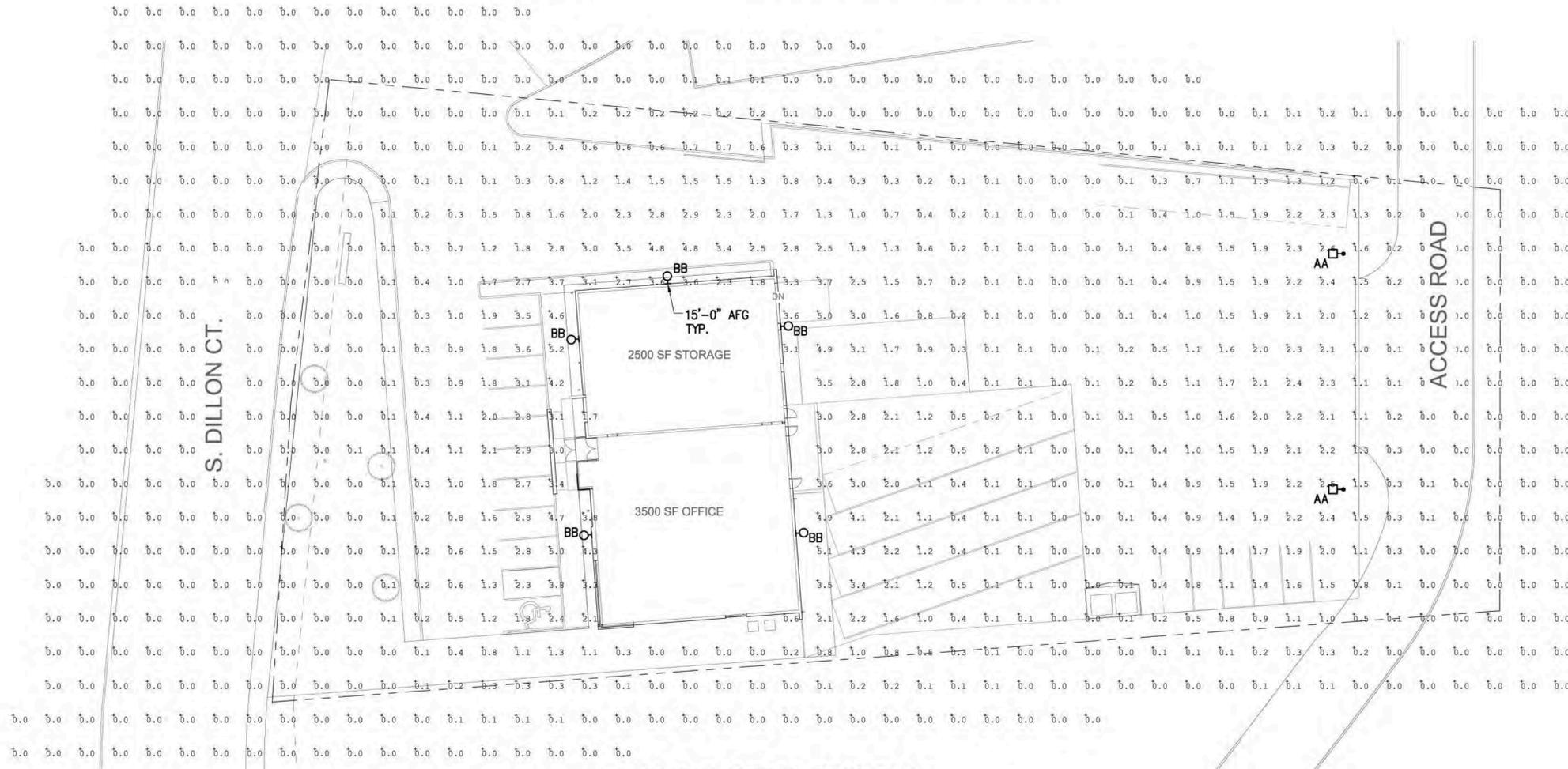
ARCHITECTURAL
 ROOT ARCHITECTURE AND
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 710 W. COLFAX
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 EMAIL: zfreeman@root-ad.com

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JASKO
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 7154 S. DILLON CT.
 ENGLEWOOD, CO 80112



1 SITE PHOTOMETRIC PLAN
 1" = 20'-0"

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
□	2	AA	SINGLE	N.A.	0.940	ECF-4-105LA-4870-NW-IS
○	5	BB	SINGLE	N.A.	0.940	161-4-110LA-9635-NW

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT	Illuminance	Fc	1.26	5.0	0.0	N.A.	N.A.

FIXT. TYPE	MANUFACTURER		FINISH	LAMP DATA	LUMINAIRE WATTS	MOUNTING METHOD	MTG HEIGHT	MTG DEPTH	REMARKS	VOLTS
	NAME	CATALOG NUMBER								
AA	PHILIPS GARDCO	ECF-1-4-105LA-4870-NW-UNV-NP-IS	NATURAL PAINT	48 LEDS BY MFR	105	POLE	20'-0"			120/277
BB	PHILIPS GARDCO	161-APD-4-110LA-9635-NW-UNV-NP-WS	NATURAL PAINT	96 LEDS BY MFR	110	WALL	15'-0"			120/277



ISSUED FOR:
 PERMIT DOCUMENTS
 PROJ. NO. 15004
 DRAWN: ZF
 CHECKED: ZF
 DATE: 04/19/2016
 PERMIT SUBMITTAL 11-08-2015
 ADD-01 02-09-2016
 ADD-02 04-19-2016

SHEET TITLE:
 ELECTRICAL
 SITE PLAN -
 PHOTOMETRICS
FDP107

LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

FINAL DEVELOPMENT PLAN

LOT 8, BLOCK 1, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 3,
 LOCATED IN W1/2 OF SEC 30, T5S, R66W OF THE 6TH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO



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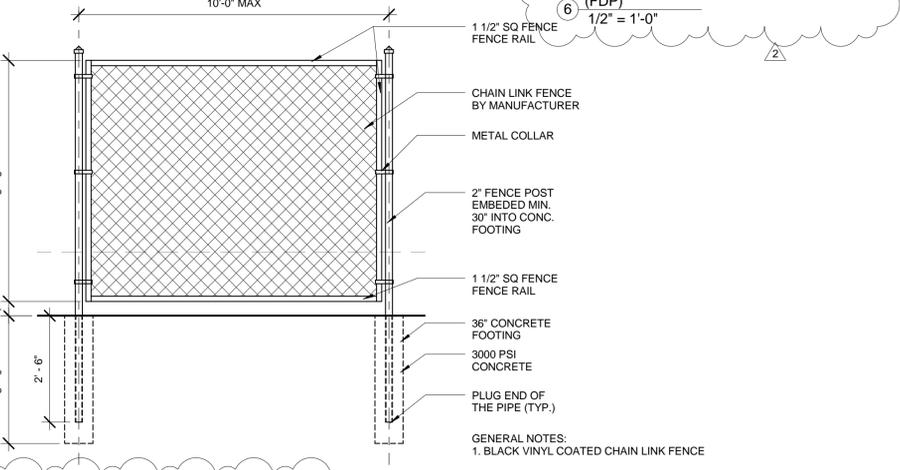
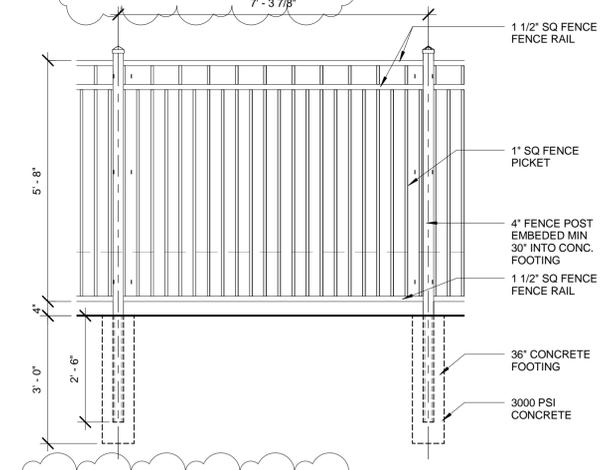
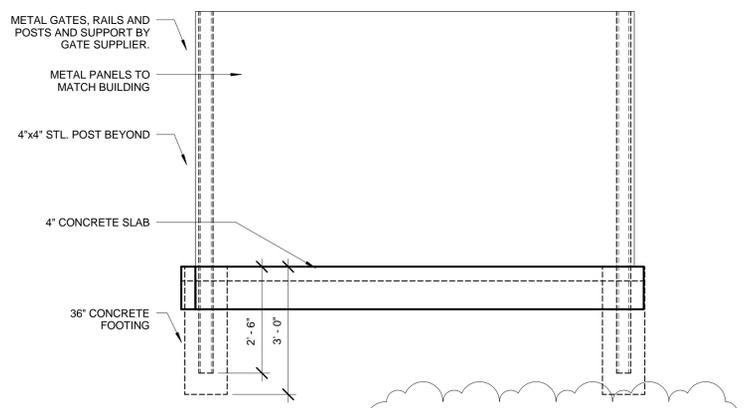
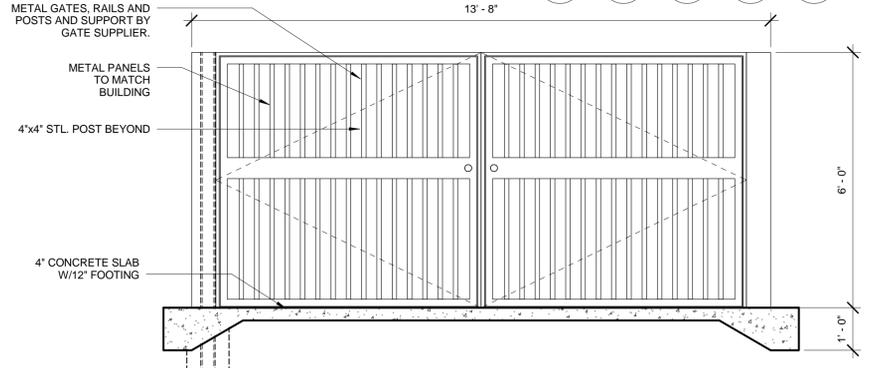
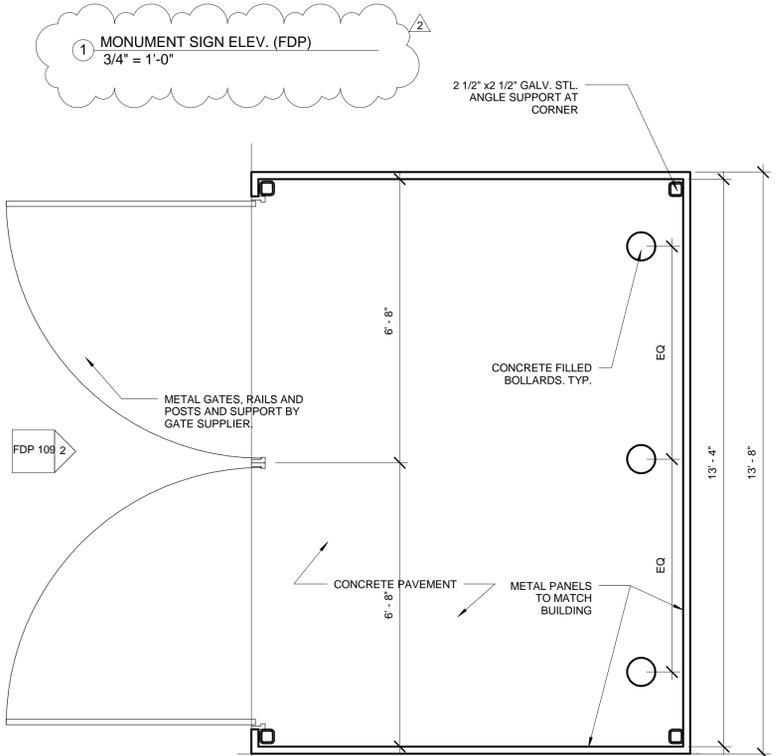
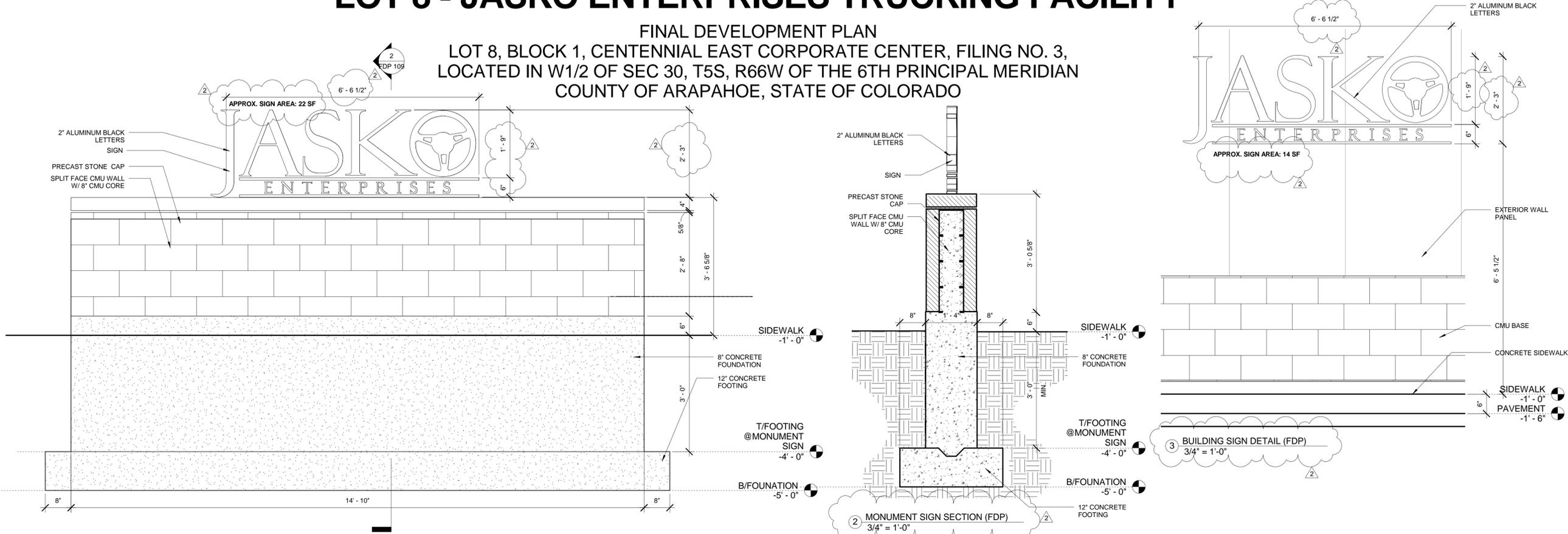
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 ENGLEWOOD, CO 80112

ISSUED FOR:
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 CHECKED: ZF
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 PERMIT SUBMITTAL 11-08-2015
 ADD-01 02-09-2016
 ADD-02 04-19-2016

SHEET TITLE:
SITE DETAILS
 SHEET NUMBER
FDP 109



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CASE NUMBER P15-002