



**REGULAR MEETING OF THE
 ARAPAHOE COUNTY PLANNING COMMISSION
 TUESDAY, MARCH 15, 2016 @ 6:30 P.M.**

GENERAL BUSINESS ITEMS

APPROVAL OF THE MINUTES FROM FEBRUARY 2, 2016 <i>(Click here to view the draft minutes)</i>	VOTE:
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REGULAR ITEMS

ITEM 1: <i>(Click here to view packet)</i>	Z15-004, Xenia Street Townhomes / Preliminary Development Plan (PDP) – Continued from February 16, 2016	
LOCATION:	8850 E. Mississippi Ave.	VOTE:
ACREAGE:	1.48	<input type="checkbox"/> IN FAVOR
EXISTING ZONING:	R-A	<input type="checkbox"/> OPPOSED
PROPOSED USE:	R-PH - Townhomes	<input type="checkbox"/> ABSENT
APPLICANT:	Scott Alpert, Alpert Development	<input type="checkbox"/> ABSTAIN
CASE MANAGERS:	Planner, Bill Skinner; Engineer, Spencer M. Smith	
REQUEST:	Give a positive recommendation to the Board of County Commissioners.	<input type="checkbox"/> CONTINUED TO:
MOTION SUMMARY:		Date:
ITEM 2: <i>(Click here to view packet)</i>	P15-008, Centennial East Corporate Center #10 [Freedom Service Dogs] / Final Development Plan	
LOCATION:	7193 & 7173 S. Dillon Ct.	VOTE:
ACREAGE:	2.6	<input type="checkbox"/> IN FAVOR
EXISTING ZONING:	MU-PUD	<input type="checkbox"/> OPPOSED
PROPOSED USE:	Offices and service dog training facility.	<input type="checkbox"/> ABSENT
APPLICANT:	Amanda Sawicki on behalf Freedom Service Dogs	<input type="checkbox"/> ABSTAIN
CASE MANAGERS:	Planner, Sherman Feher; Engineer, Sarah L. White	
REQUEST:	Give a positive recommendation to the Board of County Commissioners.	<input type="checkbox"/> CONTINUED TO:
MOTION SUMMARY:		Date:
ITEM 3: <i>(Click here to view packet)</i>	L16-001, Rangeview Metropolitan District Water Pipeline / Location & Extent (L&E) Plan	
LOCATION:	34501 E. Quincy Ave (South End) through 29520 E. 6 th Ave (North End) – Multiple Parcels	VOTE:
ACREAGE:	37	<input type="checkbox"/> IN FAVOR
EXISTING ZONING:	MU-PUD, A-1, and O	<input type="checkbox"/> OPPOSED
PROPOSED USE:	Water Pipeline	<input type="checkbox"/> ABSENT
APPLICANT:	Melinda Lundquist, CVL Consultants, on behalf of Rangeview Metropolitan District	<input type="checkbox"/> ABSTAIN
CASE MANAGERS:	Planner, Sherman Feher; Engineer, Sue Liu	
REQUEST:	Request approval of the water pipeline L&E.	<input type="checkbox"/> CONTINUED TO:
MOTION SUMMARY:		Date:

ANNOUNCEMENTS:

- The next regular Planning Commission meeting is scheduled for April 5, 2016.
- Planning Commission agendas, Board of County Commissioner agendas, and other important Arapahoe County information may be viewed online at www.arapahoegov.com or you may contact the Planning Division at 720-874-6650.

PLANNING COMMISSION MEMBERS:

Mark Brummel -	Richard Rader -	Paul Rosenberg, Chair -
Diane Chaffin -	Jane Rieck -	Richard Sall -
Brian Weiss, Chair Pro-Tem -		

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**MINUTES OF THE REGULAR MEETING OF THE
ARAPAHOE COUNTY PLANNING COMMISSION
TUESDAY, FEBRYARY 2, 2016**

ATTENDANCE	<p>A regular meeting of the Arapahoe County Planning Commission was called and held in accordance with the statutes of the State of Colorado and the Arapahoe County Land Development Code. The following Planning Commission members confirmed their continued qualification to serve:</p> <p>Brian Weiss, Chair; Paul Rosenberg, Chair Pro-Tem; Richard Rader; Jane Rieck; Richard Sall, and Diane Chaffin.</p> <p>Also present were: Robert Hill, Senior Asst. County Attorney; Chuck Haskins, Engineering Services Division Manager; Sarah White, Engineer; Sherman Feher, Senior Planner; Jason Reynolds, Current Planning Program Manager; Diane Kocis, Oil & Gas Specialist; Jan Yeckes, Planning Division Manager, and members of the public.</p>
CALL TO ORDER	<p>Chair Weiss called the meeting to order at 6:30 p.m. and noted a quorum of the Board was present.</p>
DISCLOSURE MATTERS	<p>There were no Planning Commission member conflicts with the matters before them.</p>
GENERAL BUSINESS ITEMS:	
APPROVAL OF THE MINUTES	<p>The motion was made by Mr. Rosenberg and duly seconded by Mr. Sall to accept the minutes from the January 5, 2016 Planning Commission meeting, as presented.</p> <p>The motion passed unanimously.</p>
REGULAR ITEMS:	
Item 1:	<p>Z15-003, Denver Jewish Senior Living / Preliminary Development Plan (PDP) – Molly Orkild-Larson, Senior Planner, Public Works and Development (PWD) – Continued from January 19, 2016</p> <p>Ms. Orkild-Larson noted the case had been continued from January 19, 2016, at the applicant's request, to address the facility's building height and parking. She reported additional information had been provided in the board packets. She explained several email messages had been received from a resident of the Cherry Creek Country Club, which included a letter addressing building</p>

heights, signatures of neighbors, and photographs. She stated that citizen, Mr. Laws, was present for the meeting.

John Griffis, Buccaneer Development, presented a PowerPoint, a copy of which was retained for the record. He indicated the building height and parking were further studied and an update had been provided as part of the Planning Commission (PC) packets. He reported the current agreement with the Denver Jewish Day School was for 28 shared parking spaces in addition to the 28 on-site spaces, for a total of 56 spaces available. He said Land Development Code (LDC) 12-1207 allowed for a 10% administrative reduction by the Planning Division Manager, which had been approved. Mr. Griffis presented building height industry standards, a comparison to other developments in the immediate neighborhood, and the reasons for the additional building height for the proposed three-story facility. He stated Hunters Run Apartments, Highline Glen Apartments, and the Cherry Creek Country Club clubhouse had heights of 45 feet, 45 feet, and 55 feet, respectively. He reported resident expectations led to the decision for ten-foot ceiling heights throughout the building and to maximize windows and light coming into the building. Mr. Griffis provided comparisons to the Memory Care/Assisted Living Case Study Village at Belmar for a three-story building with a 47-ft height with rooftop mechanical equipment.

Nathan Paul, architect for the project in Lakewood, explained the building profile for that facility including architectural supports, trusses for a low-slope (“flat” roof) and screened mechanical equipment. He reported the building sloped from 44 feet to 42 feet, and the RTU equipment increased the total height to 47 feet for only a portion of the building. He explained the first-floor height and the plate-to-plate floor heights for the second and third stories. Mr. Paul also explained the Denver Jewish Senior Living project was proposed to have a flat roof with a parapet to surround.

Mr. Rosenberg noted the history of the school and said schools sometimes closed and were changed to other uses. He asked whether the parking spaces would be deeded to Denver Jewish Senior Living if that occurred.

Mr. Griffis stated he did not believe that kind of change was likely in the foreseeable future; however, in that case, the owners would work with the school prior to the sale of the property to ensure continued access necessary parking spaces.

Mr. Weiss asked whether the parking spaces for Denver Jewish

Senior Living could be signed as reserved for them.

Mr. Griffis believed it could be done. He, again, noted the rooftop mechanical equipment would require only a limited fraction of the overall building area for additional height. He explained that different jurisdictions calculate building heights in different ways; some required including any rooftop mechanical equipment and others exclude that from the building height limitations (i.e., mechanical equipment can exceed the “building height”). Mr. Griffis also stated they had reviewed Mr. Law’s letter and prepared a written response, which was distributed to the PC. He also presented letters of support from other residents within the Cherry Creek Country Club.

The PC paused briefly to review these documents.

Mr. Rosenberg asked whether the apartments referenced were in Denver or Arapahoe County.

Susan Stanton replied they were in Arapahoe County. She had the approved Preliminary Development Plan (PDP) documents and noted the formal name on the PDP did not match the current marketing name, in some cases.

There were additional questions, answers from staff, and discussions related to the distributed materials.

Mr. Weiss questioned the need for ten-foot ceilings for residential use.

Mr. Paul explained the use of oversized windows allowed light to reach deeper into the units. He also gave an explanation for the need for oversized air ducts and diffusers to lower the velocity of air blowing, for resident comfort. He stated all mechanical equipment was contained within each unit, and common areas were desired to have the higher floor-to-ceiling height. Mr. Paul reported corridors would include ceiling-enclosed equipment, so the ceiling heights dropped to 8.5 feet; however, the plates remain consistent across the entire story.

Mr. Weiss had additional questions about architectural options to accomplish the needs of the building, which Mr. Paul addressed in detail.

Mr. Rader asked for clarification as to why this couldn’t be dropped to an 8.5-ft ceiling height.

Mr. Rosenberg indicated he was not present for the previous hearing and asked for clarification that no changes were made to building height from the previous hearing;

Mr. Griffis confirmed that his understanding was correct.

There were additional discussions on differences between hotel occupancy and residential occupancy and the value of higher ceilings to make units of approximately 400 square-feet in size feel more spacious to the resident and how that differed from a typical multi-family building.

Mr. Weiss reopened the public hearing due to the new information presented.

Rich Laws, a resident of Cherry Creek Country Club (CCCC), discussed the different use of the property in comparison to the Comprehensive Plan (Comp Plan) and felt the applicant should be required to apply for a Comp Plan amendment. He mentioned other concerns and cited the building height as his greatest concern. He noted the CCCC clubhouse was in the middle of the development; whereas, the proposed building was adjacent to Wabash St. He stated homes in the area were limited to 35 feet in height to preserve view corridors. He noted the visual impact of the proposed building and the setback from Wabash and compared those to buildings on Colorado Boulevard (Denver). Mr. Laws also asked about height limitations comments relative to the Comp Plan and SubArea Plan as he could not find a height limitation stated in the Comp Plan. Mr. Laws also noted the impact of terrain on the need for additional building height to achieve multi-story buildings in the area and that most of these buildings were not at the maximum allowed height. He had consulted with an architect and received an explanation that a 40-foot building height could accommodate the use proposed in a three-story building. He referred to the materials he had submitted to Ms. Orkild-Larson to forward to the PC. He also disputed materials presented by the applicants and that he believed there was some confusion on what these documents represented. Mr. Laws said he went door-to-door in the neighborhood and many of the residents had lost touch with the project given the time that had passed since the neighborhood meetings. He said many supported the use and the density, but did have concerns with the height. He believed the use was good, a Comp Plan amendment was needed, the parking was not a concern, and a lower building height was more appropriate.

Mr. Avi Hazel, Denver Jewish Day School, said it made him nervous to hear people talk about discontinuing the school and noted they were celebrating the 40-year anniversary. He reported the school was investing in replacing older buildings with new and updated buildings. He read a letter from the Board of Denver Jewish Day School in support of the senior living facility and providing a history of the decision and efforts to market the property to better support the school. He stated Denver Jewish Day School believed the faith-based senior living facility would be a complementary element to the campus and cited other benefits of the relationship of these two uses, including the shared parking arrangement. He asked the PC to support the project. He also noted many opinions were being offered about how to address the facilities within one building height or another. Mr. Hazel said Denver Jewish Senior living needed the building height to build and market the facility adequately. He was quite concerned about the possibility of losing the project.

Mr. Rosenberg asked if Mr. Hazel was familiar with another senior living facility that was approved near this location with a 38-ft building height.

Mr. Hazel stated he did not know the details of the facility and how it might differ from the proposed project.

Mark Lampert, representing the Four Square Mile Neighborhoods Association, noted Hunters Run and Highline Glen were developed before the 4SM SubArea Plan was developed and before the neighborhood organization was established. He stated the proposed project did not factor into the 4SM Comp Plan except that development such as this led to the need for the plan in the first place. He noted PC support for maintaining lower building heights. Mr. Lampert reported the site was the lowest area of the 4SM region and that other taller buildings had been built to work within areas of variable and higher terrain. He noted the balloon visualization study to demonstrate building heights, proposed within the development of CCCC.

The developer agreed to maintain a height of 35 feet for the homes.

Mr. Lampert referenced a successful senior living development in Lakewood and said they did not find the need for this building height. He also asked why the air conditioning units must be mounted on the roof, with the additional floor heights proposed. He stated there was an earlier meeting, after which, 42 feet was offered, but that there was no follow-up information to propose this

height. He stated the project didn't need to be the Taj Mahal of senior living centers. Mr. Lampert referenced the stair-stepping of the building height for the Lugano at Cherry Creek Apartments project on Iliff worked to facilitate a higher maximum building height, with lesser impact to adjoining properties. He asked the PC to recommend approval of the project, but at a much lower height.

There were no further public comments.

The public hearing was closed.

Mr. Griffis addressed the various concerns. He stated they could build at 35 feet; however, the senior living center referenced with a 38-ft building height, was never built. He said the developer walked away from the project. He stated this project was not the Taj Mahal by any means and disagreed with the logic that this project could be marketed and built, at a specified height today, because other older buildings already exist with these heights. He addressed the comment that the building directly abuts Wabash and noted that a regional detention center with no development was directly across Wabash, and that there were no directly-adjoining residential properties. Mr. Griffis noted the golf course properties were 1,000 feet away from the proposed building and were on the far side of the Denver Jewish Day School buildings from the proposed building site. He felt the impact to the townhouses would be negligible and noted the existing brick perimeter wall. Mr. Griffis discussed current trends in homebuilding and said today's market called for higher ceiling heights, including many of the homes within CCCC neighborhood. He further discussed neighborhood outreach, with the 4SM group, and stated the original proposal was for a 55-ft maximum height in order to avoid an artificial ceiling given they didn't yet have building plans. He felt they had reached general agreement on the 47-ft height and noted they still did not have architectural plans developed.

Mr. Rader asked whether the units would be for-sale products or rental products.

Mr. Griffis indicated the change in markets, and the lack of ability for seniors to sell their homes and buy into a senior-living home, had changed the entire market and how the units were designed. He noted that Buccaneer did not operate the facilities and that an operator had not yet been selected.

Mr. Radar asked whether the facility would accept Medicare patients.

Mr. Griffis stated he anticipated the units were likely to be market-rate units.

Mr. Rader said many places he researched would not accept Medicare residents and he felt the applicants were trying to get a higher price for the units based on who they were marketing to. He stated he felt the ceiling heights were irrelevant when he looked for assisted living for a family member.

Mr. Weiss further pursued questions on the architectural details of the need for the ceiling heights and whether sections of the building could have varied heights.

The project architect addressed these questions and explained there was no atrium on the first floor that extended into the upper floors.

Mr. Griffis stated the project team was willing to offer a maximum building height, not including the mechanical equipment, of 42 feet (reduced from 44 feet), with additional allowable height for the mechanical equipment.

Ms. Chaffin asked for clarification on the height of the mechanical equipment.

Mr. Paul stated they were typically in the five-to-seven feet range.

Mr. Rosenberg stated he felt the public should have an opportunity to comment on this change.

Chair Weiss asked Mr. Lampert whether this was agreeable to him.

Mr. Lampert said it was smoke and mirrors as 42 feet, plus five feet for mechanical had them right back at 47 feet.

Mr. Laws said the facility could be built with lower heights, but perhaps the value would go up. He stated homes with nine feet between plates were selling for over a million dollars. He said he couldn't speak for all CCCC residents, but he would agree to 45 feet.

Mr. Weiss noted the PC could not always ensure that all parties agreed. He summarized that the application was for 42 feet for the primary building with additional height allowed for mechanical equipment. He called for a motion supporting that request.

Mr. Rosenberg stated 35 feet was a guideline for the area and the maximum height for another senior living center was approved at 38 feet. He noted everyone agreed on the use, but felt there needed to be some specific agreement on the disposition of the parking spaces, should ownership change. He felt 38 feet was where heights should stop.

Mr. Rader felt the compromise of a 40-ft height building, with an additional five feet for mechanical, would be reasonable and meet the applicant's needs.

Mr. Weiss stated he was less concerned about the parking, but still concerned about height.

Ms. Rieck said she didn't see that much had changed since the previous hearing. She stated that too much was being forced onto an odd-shaped lot. She felt the parking question had been resolved.

Ms. Chaffin said she was disappointed at the lack of change from the previous hearing and that not much consideration was given to different options.

Mr. Sall said he felt the 35-to-38-ft height could be pretty tough to meet.

There were further discussions on how building height was addressed and 38 feet was seen as an exception to the 35-foot standard.

Ms. Orkild-Larson clarified the County's building height regulation included rooftop mechanical equipment.

It was moved by Mr. Rosenberg and duly seconded by Ms. Rieck, with a friendly amendment by Mr. Weiss, in the case of Z15-003, Denver Senior Living Preliminary Development Plan, that the Planning Commissioners had read the staff report and received testimony at the public and found themselves in agreement with staff conditions, including all plans and attachments as set forth in the staff report dated January 11, 2016, and recommended approval of this application, subject to the following conditions:

- a. Prior to signature of the final mylar copy of the Preliminary Development Plan, the applicant agrees to address the Planning Division, Mapping Division, and Engineering Services Division comments and concerns,**

	<p>as outlined in their plans and reports.</p> <ul style="list-style-type: none"> b. The applicant is required to provide a minimum of 56 parking spaces (minimum 28 parking spaces to be on-site) which can be satisfied in part by an agreement with the Denver Jewish Day School for the additional parking spaces needed. This agreement shall be recorded with the Arapahoe County Office of the Clerk and Recorder prior to Arapahoe County signing the Final Development Plan. This agreement shall be a permanent agreement that will run with the land and secure the use of the parking rights for the assisted living/memory care residential facility for the duration of its operations. c. At the time of the Final Development Plan, the applicant shall address the potential presence of flammable gas (methane) to the satisfaction of the Tri-County Health Department. d. Install signage that directs the public to the parking on the Denver Jewish Day School property. e. The proposed building to have a maximum height of 38’. <p>The vote was:</p> <p>Mr. Weiss, Yes; Mr. Rosenberg, Yes; Ms. Rieck, Yes; Ms. Chaffin, Yes; Mr. Rader, No; Mr. Sall, No.</p>
<p>Item 1:</p>	<p>U15-001, Quincy Solar Gardens [Sunshare] / Final Development Plan (PDP) – Sherman Feher, Senior Planner, Public Works and Development (PWD)</p> <p>Mr. Feher briefly introduced the application.</p> <p>Mr. Rosenberg asked whether the PC had previously seen a SunShare application. It was confirmed that another SunShare facility had been approved near Jewell and Watkins Rd.</p> <p>Luke Rickard, SunShare, thanked staff for their help and thanked the PC. He presented a PowerPoint, providing a company overview. He further explained how solar garden subscribers and the community benefitted from solar gardens. He noted several local subscribers. He then explained steps taken to plan for the project and stated the development plan complied with County engineering requirements and Use by Special Review with 1041</p>

requirements and Comp Plan guidelines. Mr. Rickard explained the context of the property and other uses in the area. He presented the site development plan and reported it maximized use of the most suitable land, minimized cut/fill grading activities necessary for operational reasons, used existing access from Quincy, complied with County design and engineering best practices, and interconnection to existing three-phase distribution architecture was present. He reported project timeline included twelve weeks of construction starting in the second quarter of 2016 (estimated) and would operate for 20 years with possible extensions that could be granted by the utility company. He noted technology was changing rapidly, which could affect the life of the project. Mr. Rickard then explained the equipment to be installed and how the equipment worked with the movement of the sun. In addition to solar panels, he said there was an inverter and transformer structure needed. He stated the height above grade, at maximum tilt of the panels, was eight feet. He reviewed the staff's recommended conditions of approval and provided responses as to how these had been met or would be met, if conditions are identified at a future time.

Mr. Weiss noted the agreement was with Xcel and asked about arrangements with IREA, who provided service to much of the area.

Mr. Rickard reported the applicant could sell to any customer of Xcel, but currently had no arrangements with IREA. He stated the site was located on the edge of the Xcel/IREA service boundary.

Mr. Rosenberg asked why these solar gardens were not built on a bigger scale.

Mr. Feher explained the legislative mandate for solar garden development and the cap the allowed facility size.

Mr. Rader stated IREA did not want to deal with any solar producers.

Mr. Feher indicated that IREA management had changed in the last few years and that IREA was now expressing interest in solar resources.

Mr. Rader stated that, as of today, IREA would not work with any solar providers.

Mr. Feher said he believed there would be a change in future operations, based on inquiries received by Planning Division staff.

Mr. Rader asked about unexploded ordinance on the land and that the application referenced contact with the Army Corps of Engineers and referenced comments from the ACE. He stated lack of targets did not confirm no clean-up was needed. He felt a clearance should be a condition of approval as a safety issue.

Jon Sullivan, SunShare, discussed efforts to locate property for the solar garden which was not impacted by unexploded ordnance. He reported several properties had to be abandoned as potential sites, but this one was able to move forward.

Ms. Rieck asked about the process for decommissioning a site after a solar garden is no longer in use. She also asked whether they had previously had to handle prairie dog removal, which the applicant replied they had not.

Additional questions were answered as to how the arrays were installed and how that installation would influence process of decommissioning.

Mr. Feher noted he did not put a limit on the timeline as technology changes might limit the life of the facility. He stated the PC could add a condition on decommissioning; however, recommended the PC not place a time limit on the approval and asked them to allow technology changes to govern the time limit.

Mr. Sullivan explained the preliminary site screening done with the ACE and CDPHE.

Ms. Rieck asked about the limited setback and whether the glare would be a hazard for drivers on the nearby road.

Mr. Rickard explained the reasons glare would not likely be an issue based on design of the panels and the angle of the panels, in relation to direction of sunlight.

Ms. Chaffin asked about Department of Wildlife requirements for wildlife surveys and how to work around protected species (burrowing owl); this question was answered.

Mr. Weiss opened the public hearing.

There were no public comments.

The public hearing was closed.

Mr. Rosenberg noted the Tri-County Health Department comments in support of the solar garden and stated he was also in favor of these types of energy projects.

It was moved by Ms. Rieck and duly seconded by Mr. Rosenberg, in the case of U15-001 – Quincy Solar Garden, Use by Special Review, that the Planning Commission has read the staff report and received testimony at the public hearing and find themselves in agreement with staff findings for the Use by Special Review application including all plans and attachments as set forth in the staff report dated January 19, 2016, and vote to recommend approval to the Board of County Commissioners, subject to the following conditions:

- 1. The applicant will modify the plans as requested by the Public Works & Development Department, prior to the signing of the mylars and before the commencement of any construction activities relating to this project.**
- 2. The applicant agrees to address all Engineering Services Division comments and concerns, as identified within their reports, prior to signed mylars. The applicant will need to obtain an access permit.**
- 3. The applicant will strive to avoid any areas of paleontological, historic, or archaeological importance. If avoidance is not possible, further testing will be conducted, with landowner's permission, to determine the site's eligibility for historic status and a treatment plan will be developed that will be followed to protect eligible sites. The applicant will notify the County of any plans or activities to deal with historic, paleontological or archaeological sites that cannot be avoided by the construction of the solar garden.**
- 4. The applicant will strive to avoid any Federal and/or State Threatened and Endangered Species or any State Species of Concern, which exist in areas where the solar garden will be constructed. If any Federal and/or State Threatened and Endangered Species, as well as State Species of Concern, is found to exist in areas where the solar garden will be constructed, then the applicant will collaborate with Colorado Parks and Wildlife and Arapahoe County to mitigate and minimize any potential impact to these species.**
- 5. The applicant will provide the County with a noxious weed control plan for the site.**
- 6. Once the solar community garden facility is no longer**

	<p>operational, the applicant must remove all equipment and restore the site to predevelopment conditions within one year of ceasing operations or as otherwise agreed upon within a contract with the landowner if the land is owned by others.</p> <p>Mr. Rader asked to amend the motion to require verification from ACE that the lease area was cleared of unexploded ordnance prior to construction. His request to amend was not seconded and therefore the original motion was not amended.</p> <p>The vote was:</p> <p>Mr. Weiss, Yes; Mr. Rosenberg, Yes; Ms. Rieck, Yes; Ms. Chaffin, Yes; Mr. Rader, No; Mr. Sall, Yes.</p>
ANNOUNCEMENTS	<p>Ms. Yeckes led a discussion about upcoming conferences, possible attendance, and budget. She reported the election of officers was set to occur during the February 16, 2016 PC meeting. She said the Board of County Commissioners was set to reappoint Commissioners Brummel and Sall during their February 9, 2016 meeting.</p>
ADJOURNMENT	<p>There being no further business to come before the Planning Commission, the meeting was adjourned.</p>



ARAPAHOE COUNTY
COLORADO'S FIRST

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DAVID M. SCHMIT, P.E.
Director

MEMORANDUM

TO: Planning Commission

FROM: Bill Skinner, Senior Planner, Arapahoe County Planning Division

DATE: March 7, 2016

SUBJECT: CASE NO. Z15-004, Xenia St Townhomes PDP, (continued from February 16, 2016 PC hearing)

At the time of this update, the applicant is finalizing a review of site conditions on the south and east property lines of the proposed development. Outcomes of this review may suggest alterations to the proposed Xenia St Townhomes Preliminary Development Plan, more particularly, changes to the proposed building setbacks on the east and south sides of the development proposal.

Staff will provide additional updates as information becomes available.

MISSION

Enhancing your quality of life through exceptional delivery of services and efficient use of public funds.

ARAPAHOE COUNTY PLANNING COMMISSION
PUBLIC HEARING
FEBRUARY 16, 2016
6:30 P.M.

SUBJECT: Z15-004 - XENIA STREET TOWNHOMES PRELIMINARY DEVELOPMENT PLAN

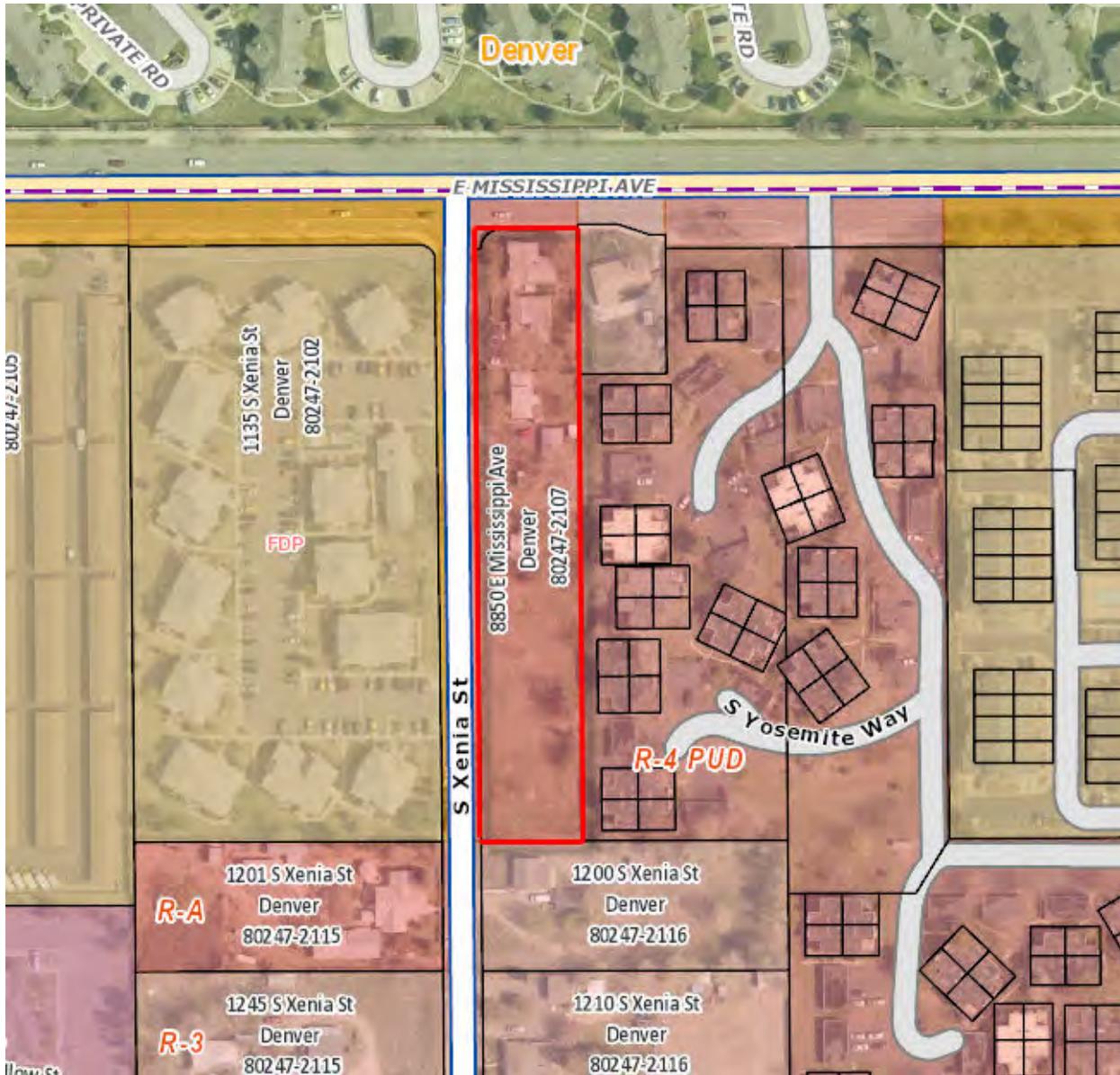
BILL SKINNER, SENIOR PLANNER

FEBRUARY 5, 2016

LOCATION & VICINITY MAP The site is located at 8850 E Mississippi Ave in the 4 Square Mile Area, on the southeast corner of the intersection of E. Mississippi Ave and S. Xenia St. This site is located in Commissioner's District No. 4.



Photo of Subject Property and Surrounding Area



Vicinity Map and Adjacent Zoning

ADJACENT SUBDIVISIONS, ZONING, AND LAND USES:

North of the subject property, across Mississippi Ave, is The Breakers, a multi-family attached residential development in the City and County of Denver.

South of the subject property, on both sides of the Xenia St. cul-de-sac are 10 single family detached lots and homes. Nine of these lot as are zoned R-3, and One is zoned R-A

East and abutting the subject property, is the Cinnamon Courtyard Homes multi-story condominium community. Cinnamon (this is the correct spelling) is zoned R-4 PUD, and was built at a density of 11 du/ac.

West of the subject property, across Xenia St., is the Arapahoe Green multi-family attached development. Arapahoe Green is zoned MU-PUD and was approved with a maximum density of 13.8 DU/ac.

PROPOSAL

The applicant, Phelps Engineering services, on behalf of the owner, 8850 Xenia LLC., is seeking approval of a Preliminary Development Plan (PDP) known to the County as Case # Z15-004, Xenia Street Townhomes PDP.

The Z15-004 PDP application proposes rezoning the 1.48 acre (net) site from the existing R-A zoning to Residential Planned Unit Development – High Density (R-PH) with a specific max density of 21.6 du/ac gross, and 22.4 du/ac net.

BACKGROUND

The existing zoning is R-A. This zoning was approved by the County in 1961 as part of the County's initial establishment of zoning County wide.

EXISTING CONDITIONS

8850 E Mississippi Ave is the site of 4 existing single family detached houses with a collection of supporting detached garages and outbuildings.

DISCUSSION

Type of Housing Allowed In the R-PH Zone District

If approved, the proposed R-PH PUD zoning would allow for single-family detached, single-family attached, multi-family, or any combination of the above housing types.

Parking

The PDP specifies parking requirements to be met by any subsequent FDP. Additional information about the parking design will be reviewed as part of the FDP process. The PDP document sets the level of parking to be provided at no fewer than 2 dedicated parking spaces, and 0.25 guest spaces per unit which does comply with Arapahoe County regulations for this type and level of development.

Density

The applicant has requested approval of a R-PH Residential High Density PUD. The proposed maximum 22.4 du/ac is aligned with R-PH density regulations which specify a minimum of 11 du/ac., but would be higher than the 11 du/ac density multi-family development existing east of the site, and the 13.8 du/ac density multi-family development existing west of the site.

The proposed density is significantly higher than that of the 10 existing single family detached properties existing south of the site. These 10 properties are all similarly sized and average 1.1 du/ac.

Maximum Height

The PDP proposes a 38' maximum building height.

Compatibility with the Surrounding Area

The proposal for 22.4 du/ac, while complying with the underlying sub-area plan recommendation, is more dense than the surrounding development, and the surrounding PUD zoning as approved by those PDPs, and is significantly more dense than the 1.1 du/ac existing on the single family lots south of the site. The staff considers the potential for redevelopment of the surrounding properties when evaluating a rezoning application, and it should be noted that the

10 homes existing south of this proposal are in an location the 4 Square Mile Sub Area Plan recommends remain single family detached with a density of no more than 6 du/ac.

The difference in density between the proposed development and the single-family homes existing south of the site is exacerbated by the 10' setback proposed on the southern border of the subject property. If the 10' setback is considered in concert with the proposed 38' maximum building height limitation there is a potential for incompatibility issues between the proposed PDP standards and the adjacent R-3 properties which have are limited to 2.1 du/ac and 25' max building height.

ANALYSIS OF Z15-004 PDP APPLICATION

Staff review of this application included a comparison of the proposal to applicable policies and goals outlined in the Comprehensive Plan, a review of pertinent zoning regulations, local background activity, and an analysis of referral comments.

1. The Comprehensive Plan

The Arapahoe County Comprehensive Plan and the 4 Square Mile Area Sub-Area Plan designate this site as "Multi-family". On page 6 of the appendix in the 4 Square Mile Area Sub-Area Plan (adopted February 15, 2005); the density range specified for multi-family development is "from 13 to 25 units per gross acre". This PDP proposes 32 units homes at a max density of 22.4 units per acre. The proposed density is near, but does not exceed the high end of the range recommended in the Sub Area Plan.

This plan proposes no more than 32 homes within walkable distance of commercial uses such as the grocery stores, neighborhood commercial/retail services, the Challenge School, and the shopping center existing approximately ½ mile away on Havana St. In this regard, this proposal is aligned with the goals of **Policy NH 1.2 – Promote a Diversity of Housing types in Growth Areas Countywide** and **Policy NH 3.1 – Support New Affordable Housing Opportunities and Retain Existing Affordable Housing in Growth Areas**, as set forth in the Comprehensive Plan.

2. Land Development Code Review – PDP Z14-007

Section 13-100, Planned Unit Development (P.U.D.) of the Land Development Code, states that "the P.U.D. process is intended to prevent the creation of a monotonous urban landscape by allowing for the mixture of uses which might otherwise be considered non-compatible, through the establishment of flexible development standards", provided said standards:

- a. *Recognize the limitations of existing and planned infrastructure, by thorough examination of the availability and capability of water, sewer, drainage, and transportation systems to serve present and future land uses.*

The site is located adjacent to E Mississippi Ave which provides automobile access to nearby arterial roadways. RTD bus service is available on E Mississippi St, and also on E Florida St and on Havana St 1/2 miles south and east of the site respectively.

The Engineering Services Division has evaluated the proposal in light of the existing and proposed infrastructure and has determined that it is adequate to support the proposed use. The applicant reports that water, sewer, storm drainage utilities are also present in the adjacent right of ways.

Right-of-way dedication is necessary for this project and will be dedicated by a plat in a related process at a later date.

A “will serve” letter has been provided by the Cherry Creek Valley Water and Sanitation District and is included in this report.

- b. *Assure compatibility between the proposed development, surrounding land uses and the natural environment.*

This site exists in a neighborhood that is primarily residential, with the majority of housing being either multi-family development, but some single-family detached homes on 0.9 acre lots exist in the immediate vicinity. Forms of ownership span the range from rental walk-up apartments to owner-occupied detached houses. In addition to the residential properties, there are some commercial businesses and places of worship, schools, and child care providers in the nearby surrounding area.

The staff has some concern that while the type of use appears to be compatible, there is a potential for the relatively small setbacks when combined with a proposed 38’ maximum building height may create undue imposition on the adjacent properties east and south of the proposal. This concern is supported by the following design guidelines section of the County’s Land Development Code (italicized text represents areas that are particularly applicable);

15-106.01 Cohesive, Well-Planned Development

C. Open Spaces and Connectivity:

1. Goals of open spaces in residential areas include:

g. *Provide buffers and open space between buildings and/or developments;*

E. Building Height and Setbacks

1. Building heights and setbacks are established at the time of development application review.

2. Building heights should avoid the perception that individual buildings are out of scale with the size of their lots *or with neighboring buildings*, and should avoid unnecessary snow shadowing of neighboring buildings and public rights-of-way.

F. Transition – *Developments are encouraged to display transitional elements when less-compatible uses are adjacent to one another.*

The natural environment has been thoroughly subjugated and no longer exists in this area. It should be noted that even long time vacant properties are not representative of the “natural” environment, as the land in this area has been used for a variety of land altering uses for many years. Examples of these uses would be keeping horses, goats, and other livestock or the cultivation of non-native plants either for agricultural production or the establishment of lawns. There are no remaining vestiges of the short grass and bunch grass prairie vegetation that would have occupied this area before permanent human settlement and occupation.

- c. *Allow for the efficient and adequate provision of public services. Applicable public services include, but are not limited to, police, fire, school, parks, and libraries.*

The proposal as submitted can be served by existing public services as evidenced by referral agency responses with the exception of park facilities. The Arapahoe County Open space Department's referral response expresses concerns that this proposal will be underserved by local parks, and that an on-site playground should be provided.

- d. *Enhance convenience for the present and future residents of Arapahoe County by ensuring that appropriate supporting activities, such as employment, housing, leisure-time, and retail centers are in close proximity to one another.*

The proposal is located within acceptable proximity to employment and retail centers. These centers and the businesses that inhabit them are located along Havana Street approximately ½ mile east of the site and Parker Road approximately 1 mile west of this site.

- e. *Ensure that public health and safety is adequately protected against natural and man-made hazards, which include, but are not limited to, traffic noise, water pollution, airport hazards, and flooding.*

The proposal adequately protects against natural and man-made hazards as evidenced by the Arapahoe County Engineering Services Division Report and referral agency responses. The applicant reports that "site disturbance will be minimized to the greatest extent possible during the design and construction process."

- f. *Provide for accessibility within the proposed development, and between the development and existing adjacent uses. Adequate on-site interior traffic circulation, public transit, pedestrian avenues, parking and thoroughfare connections are all factors to be examined when determining the accessibility of a site.*

At this time nothing more than proposed points of access are available for review. Per Section 13-107, Item M of the Land Development Code, a PDP may indicate conceptual points of access. A detailed analysis of any internal roadways will be conducted when a subsequent site plan proposal is submitted.

The proposal is adjacent to an existing RTD public transportation bus route. There is an existing bus stop one block west of the site on Mississippi St.

- g. *Minimize disruption to existing physiographic features, including vegetation, streams, lakes, soil types and other relevant topographical elements.*

No significant physiographic features exist on or adjacent to this site.

- h. *Ensure that the amenities provided adequately enhance the quality of life in the area, by creating a comfortable and aesthetically enjoyable environment through conventions such as, the preservation of mountain views, the creation of landscaped open areas, and the establishment of recreational activities.*

The proposed PDP sets requirements in the form of a 35% minimum open space requirement. Additional detail in the form of landscape plans, vegetation specifications, and architectural elevations will be required with a Final Development Plan if the PDP is approved and development proceeds.

The development site is located approximately 1 mile east of the Highline Canal Recreational Trail. The Highline Canal Trail is part of the Denver Urban Area network of trails and connects directly to many of the area’s significant bike/pedestrian trail corridors as well as regional park facilities.

Impacts to mountain views will be similar to impacts created by any of the wide variety of structures existing in the area, but the proposed 38’ maximum building height will be taller than structures existing on adjacent properties.

- i. *Enhance the usable open spaces in Arapahoe County, and provide sufficient unobstructed open spaces and recreational areas to accommodate a project’s residents and employees.*

The proposed PDP meets the County requirement for 35% open space to be provided exclusive of public rights-of-way and detention areas if multi-family housing is proposed. The staff notes that the applicant may opt to provide cash in lieu of dedicated park lands, and that a County Park does exist 3/4 mile southwest of the site. This park is available for use by the future residents of this development.

The PDP criteria, just stated, must be addressed prior to approval of (a PDP) request, and are intended to provide clarity of purpose and direction for applicants, neighbors, concerned citizens, and Arapahoe County decision-makers.

3. Referral Comments

Comments received during the referral process are as follows: *All applicant or staff responses are in Italics.*

Arapahoe County Planning	Comments have been addressed
Arapahoe County Engineering Services Division	Comments and TRC concerns have been addressed
Arapahoe County Mapping	Comments have been addressed
Arapahoe County Building Division	No details to review – <i>(will review at time of FDP)</i>
Arapahoe County Zoning	No comment
Arapahoe County Sheriff	No comment
Cunningham Fire Protection District	Technical comments to be addressed at the time of a site plan <i>(see attached letter)</i>
Library District	A portion of the cash in lieu is requested <i>(to be collected at the time of plat of site plan)</i>
City and County of Denver	No response
Post Office	No response
Arapahoe County Open Space Division	Requests that the cash-in-lieu be assessed by the appraised value method, and a states that a small playground shall be provided (the design of the playground to be considered at the time of FDP)
Cherry Creek School District	Deferred comment until site plan
Tri-County Health Department	Proper must be followed when abandoning existing septic facilities and demolishing existing buildings.
Colorado Geological Survey	No response

West Arapahoe Conservation District	No response
CDOT Region 6 Access	No response
RTD	No response
Century Link	No response
XCEL Energy	A letter explaining developer's responsibilities is attached.
Army Corps of Engineers	No response
Colorado Division of Water Resources	A will serve letter from the local water district has satisfied CDoWR requirements.
SEMSWA	Comments have been addressed
Urban Drainage	No response
Four Square Mile Area Neighbors (4SMN)	The combination of the requested 38' max building height and 10' setback to southern property line is a matter of concern
Cinnimon HOA	No response

STAFF FINDINGS

Staff has visited the site, reviewed the plans, supporting documentation, referral comments, and citizen input in response to this application. Based upon review of applicable policies and goals in the Comprehensive Plan, review of the development regulations and analysis of referral comments, our findings include:

1. The proposed PDP conforms with the overall goals and intent of Arapahoe County Comprehensive Plan and the 4 Square Mile Area Sub Are Plan in regard to the policies set forth in those plans, as adopted February 15, 2005.
2. The Z15-004 PDP is generally consistent with development standards enumerated in the Arapahoe County Land Development Code, but could make additional commitments regarding buffering and site specific restrictions that would ensure increased compatibility with the single family zoning existing south of the site.
3. The proposed Z14-004 PDP complies with the process outlined in Chapter 13-100, Planned Unit Development of the Land Development Code.

RECOMMENDATION

Considering the findings and other information provided herein, Staff recommends approval of case numbers Z15-004 Xenia Street Townhomes Preliminary Development Plan subject to the following conditions of approval:

1. Prior to signature of the final mylar copy of these plans, the applicant agrees to address Public Works Staff comments including concerns identified in the most recent Engineering Staff Report.
2. The developer shall provide a recreational amenity to be specified at the times of FDP.
3. The developer shall provide a transition to mitigate impacts on the lower density and lower height single-family detached south of the site.

DRAFT MOTIONS

Recommend Conditional Approval

(This motion is consistent with the staff recommendation): In the case of Z15-004 Xenia Street Townhomes Preliminary Development Plan, the Commissioners have read the staff report. We find ourselves in agreement with staff findings 1 through 3, including all plans and attachments as set forth in the staff report dated February 5, 2016, and recommend approval of these applications subject to the following condition:

1. Prior to signature of the final mylar copy of these plans, the applicant agrees to address Public Works Staff comments and concerns.

Staff provides the following Draft Motions as guidance in preparing an alternative motion if the Board of County Commissioners reaches a different determination:

Recommend Denial:

(This motion is not consistent with the staff recommendation): In the case of Z15-004 Xenia Street Townhomes Preliminary Development Plan, the Commissioners have read the staff report dated February 5, 2016, and received testimony at the public hearing. Based on the information presented and considered during a public hearing, we recommend denial of the applications, based on the following findings:

1. *State new findings as part of the motion.*
2. ...

Continue to Date Certain: In the case of Z15-004 Xenia Street Townhomes Preliminary Development Plan, I move to continue the hearing to [date], 6:30 p.m., to obtain additional information and to further consider the information presented.

Attachments:

Application & Exhibits
Engineering Staff Report
Referral Comments



Public Works and Development
 6924 S. Lima Street
 Centennial, Colorado 80112
 Phone: 720-874-6650 FAX 720-874-6611
www.arapahoegov.com

**Land Development Application
 Formal**

Form must be complete

Land Development Application material received after 2pm shall be date stamped as received the following working day.

APPLICANT/REPRESENTATIVE: 8850 Xenia LLC	ADDRESS: 1201 S. Parker Road, #200 Denver, CO 80231 PHONE: 303-946-1153 FAX: 303-283-3102 EMAIL: scott@alpertdevelopment.com	SIGNATURE: NAME: Scott Alpert TITLE: Managing Member
OWNER(S) OF RECORD: 8850 Xenia LLC	ADDRESS: 1201 S. Parker Road, #200 Denver, CO 80231 PHONE: 303-946-1153 FAX: 303-283-3102 EMAIL: scott@alpertdevelopment.com	SIGNATURE: NAME: Scott Alpert TITLE: Managing Member
ENGINEERING FIRM: Phelps Engineering Services, Inc.	ADDRESS: 7200 E. Hampden Ave., Suite 300 Denver, CO 80224 PHONE: 303-669-2314 FAX: 303-298-1645 EMAIL: lphelps@phelpsengineering.net	CONTACT PERSON: Lonny Phelps
Pre-Submittal Case Number: 14-043 Pre-Submittal Planner: Bill Skinner Pre-Submittal Engineer: Spencer Smith		

Parcel ID no. (AIN no.)	1973-21-1-00-047
Address:	8850 E. Mississippi Ave., Denver, CO 80247
Subdivision Name & Filing:	

	EXISTING	PROPOSED
Zoning:	R-A	R-PH
Case/Project/Subdivision Name:		Xenia St. Townhomes
Site Area (Acres):	1.48	1.48
Floor Area Ratio (FAR):		
Density (Dwelling Units/Acre):	2.7	21.7
Building Square Footage:		
Disturbed Area (Acres):	N/A	1.48
Related Case Numbers: (Final/Preliminary Development Plan, Rezoning, and/or Plat)		

CASE TYPE				
1041- Areas & Activities of State Interest	Location & Extent	<input checked="" type="checkbox"/>	Preliminary Development Plan	Special District/Title 30
1041- Areas & Activities of State Interest – Use by Special Review	Location & Extent – Major Amendment		Preliminary Development Plan – Major Amendment	Special District/Title 32
Comprehensive Plan	Master Development Plan		Preliminary Plat	Street Name Change
Final Development Plan	Master Development Plan – Major Amendment		Replat - Major	Use by Special Review
Final Development Plan – Major Amendment	Minor Subdivision		Rural Cluster	Use by Special Review – Major Amendment
Final Plat	Planned Sign Program		Rezoning Conventional	Use by Special Review – Oil & Gas
Land Development Code Amendment	Planned Sign Program – Major Amendment		Rezoning Conventional – Major Amendment	Vacation of Right-of-Way/Easement/Plat

THIS SECTION FOR OFFICE USE ONLY									
Case No:		Planning Manager:		Engineering Manager:					
Planning Fee:	Y	N	\$	Engineering Fee:	Y	N	\$		

This application shall be submitted with all applicable application fees. Submittal of this application does not establish a vested property right in accordance with C.R.S. 24-68-105(1). Processing and review of this application may require the submittal of additional information, subsequent reviews, and/or meetings, as outlined in the Arapahoe County Land Development Code.



LETTER OF INTENT

August 3, 2015

Phelps Engineering Services, Inc.
7200 East Hampden Avenue, Suite 300
Denver, CO 80224

RE: Xenia Street Townhomes, Case No. Z14-043

Dear Public Works and Development:

Our Company, Phelps Engineering Services, Inc. on behalf of the property owner, 8850 Xenia LLC, is proposing a project within unincorporated Arapahoe County. The project is located at 8850 East Mississippi Avenue, the southeast corner of the intersection of East Mississippi Avenue and Xenia Street, Parcel ID #1973-21-1-00-047. The project includes 1.48 Acres (64,291 square feet) and is currently zoned R-A.

The Xenia Street Townhomes project will consist of 32 townhomes on 1.48 acres at the southeast corner of East Mississippi Avenue and South Xenia Street. Our plan is that these units will be luxury townhomes and will attract a vibrant class of residents to the area. Amenities will include a professionally landscaped park-like common area, open space, walking paths, and parking for visitors. The townhomes themselves will be 2 to 4 bedrooms with 2-car garages, decks/patios, and upgraded interior finishes.

We believe our plan for this area will have a very positive impact on all surrounding homes, townhomes, and businesses. Our project will replace a blighted, eyesore property, strewn with dilapidated and potentially dangerous buildings, dirt piles, and old vehicles with modern construction that serves an upwardly mobile demographic that contributes to the community.

The developer of the project is:

Scott Alpert, Managing Member
8850 Xenia LLC
1201 South Parker Road, #200
Denver, CO 80231
Phone: 303-946-1153, Fax: 303-283-3102

Sincerely,

Phelps Engineering Services, Inc.

Lonny E. Phelps, P.E.
President

Planning Commission Summary Report

Date: February 2, 2016 *SMS*
To: Arapahoe County Planning Commission
Through: Bill Skinner
Planning Division, Case Planner
Through: Chuck Haskins, PE
Engineering Services Division, Manager
From: Spencer M. Smith, PE
Engineering Services Division, Case Engineer

Case name: Z15-004 – Xenia Street Townhomes - PDP

Purpose and Recommendation

The purpose of this report is to communicate the Engineering Staff findings, comments, and recommendations regarding the land use application identified above.

Engineering Staff has reviewed the land use application and has the following findings:

1. The site is part of the Westerly Creek drainage basin. On-site stormwater detention and water quality are required for this site. Detailed drainage design will be included with the Phase III Drainage Report when the Final Development Plans are submitted to the County for review.
2. The applicant presented two waiver requests to the County's Technical Review Committee (TRC) on December 17, 2014. Both requests were in regards to road right-of-way (ROW) dedication requirements. TRC approved of both requests by the applicant.
 - a. E. Mississippi Ave. – The ultimate road right-of-way for E. Mississippi Ave. is 144' (72' on each side of the section line). Adjacent to the proposed Xenia Street Townhome site there is currently 40' of ROW. To meet the full ultimate ROW width, the applicant would be required to dedicate an additional 32' to the County. The applicant requested that the County accept dedication of an additional 20' of ROW along their project frontage, for a total of 60'. The 60' of ROW would match what exists currently along the Cinnamon Down the Street development (east) frontage and exceed the 55' of ROW along the Arapahoe Green development (west) frontage.
 - b. S. Xenia St. - Adjacent to the proposed Xenia Street Townhome site there is currently 40' of ROW. County staff requested ROW dedication of an additional 10' along the Xenia St. Townhome project site, to contain the proposed roadway section. The applicant requested that the County allow dedication of a Public Use and Signage Easement along the project frontage in lieu of dedicating additional ROW. The easement would vary from 3' – 7' in width, and would contain the portions of the 5' attached sidewalk that are outside of the existing ROW and also a 2' strip for signage purposes. This is consistent with the requirements of the

County for the property on the west side of Xenia Street (Arapahoe Green apartment complex).

Engineering Staff is recommending the land use application favorably with no conditions.



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Arapahoe County Public Works and Development - Planning Division

6924 S. Lima Street, Centennial, CO 80112

Phone: 720-874-6650 | Fax: 720-874-6611

www.arapahoegov.com

Phase II Referral Routing

Agency Receiving Referral: Arapahoe County Open Spaces

Agency Contact Person: Roger Harvey

Case Number: Z15-004 Preliminary development Plan

Case Name: Xenia Street Townhomes

Case Planner: Bill Skinner - BSkinner@arapahoegov.com

Case Engineer: Spencer Smith - SSmith@arapahoegov.com

Date Sent: 11/02/2015

Date to be Returned: 11/13/2015

INSTRUCTIONS:

The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate box, sign, add comments as necessary and return to the Arapahoe County Planning Office on or before the date indicated above.

COMMENTS:

Reviewer First & Last Name:

Have NO Comments to make on the case as submitted

Have the following comments to make related to the case:

Ray Winn/Roger Harvey - Planning

Please See Attached Letter.



ARAPAHOE COUNTY
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November 13, 2015

Bill Skinner
Public Works and Development
6924 S. Lima Street
Centennial CO, 80112

RE: Planning Case # Z15-004 Xenia Street Townhomes

Dear Mr. Skinner:

Thank you for the opportunity to review the submittal by Xenia Street Townhomes for the preliminary development plan. Arapahoe County Open Spaces Department and Arapahoe County Recreation District staff (ACOS/ACRD) has the following comments:

1. This area is identified by the Four Square Mile Neighborhood Recreation Needs and Opportunities Assessment (4SQM Assessment) as an isolated area having no recreational services . See Zone 1 in the map below.
2. The recreational needs of the residents of the 4SQM Neighborhood are being dramatically amplified due to increased population growth and increased building density. The increased density from this and other developments in the immediate area increases the population that has no recreational services and thus increases the need.
3. The 4SQM Assessment also indicates that "Several areas have no walkable access to recreation at all including a substantial area of high population density in the northeast of the study area south of Mississippi Avenue." S. Xenia Street exacerbates this problem by lacking sidewalks and is a dead end to the south with no walkable, bikeable access south, users must travel north onto E. Mississippi Avenue to travel approx. 1 mile to Cheyene/Arapaho Park, the closest public park. This distance is longer then Professional Park planning norms, which attempt to attain at most one half mile as a walkable distance.
4. The 4SQM Assessment identifies this area as a high priority for future service improvements.

Based on the information stated above ACOS/ACRD staff has the following recommendations for approval:

1. At minimum the applicant shall provide a small playground area and play equipment on site similar to the property the west side of Xenia Street (see picture) in accordance with Development Regulation 14-111.07. This will provide recreation for very young, small children. The addition of this private park improvement may be credited against the park dedication requirements set forth in subdivision regulations 14-111.



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2. The applicant shall provide a 10' detached sidewalk along E. Mississippi Ave and sidewalk along S. Xenia St.
3. The Land Development Code land dedication for parkland would be 0.338 acres or cash in lieu of land formula. The Assumed Value method that is commonly used to determine the sum of money will result in an amount that is far less than current fair market value, and far less than the Appraisal Method. ACOS/ACRD requests that the Appraisal Method be considered and utilized for determining fair market value.

There reason for the Appraisal Method request is new higher density development occurring in 4SQ mile neighborhood generates a need for additional park amenities. ACOS/ACRD is working to increase the amenities in the neighborhood; recently acquiring new parkland and moving forward with planning and development of new parks. The cost for park development and land acquisition has increased dramatically, and only the Appraisal Method will create an amount roughly proportional to the burden imposed on ACOS/ACRD which is responsible for creating and providing new amenities.

ACOS/ACRD is willing to further discuss our recommendations with applicant and assist in any way we can.

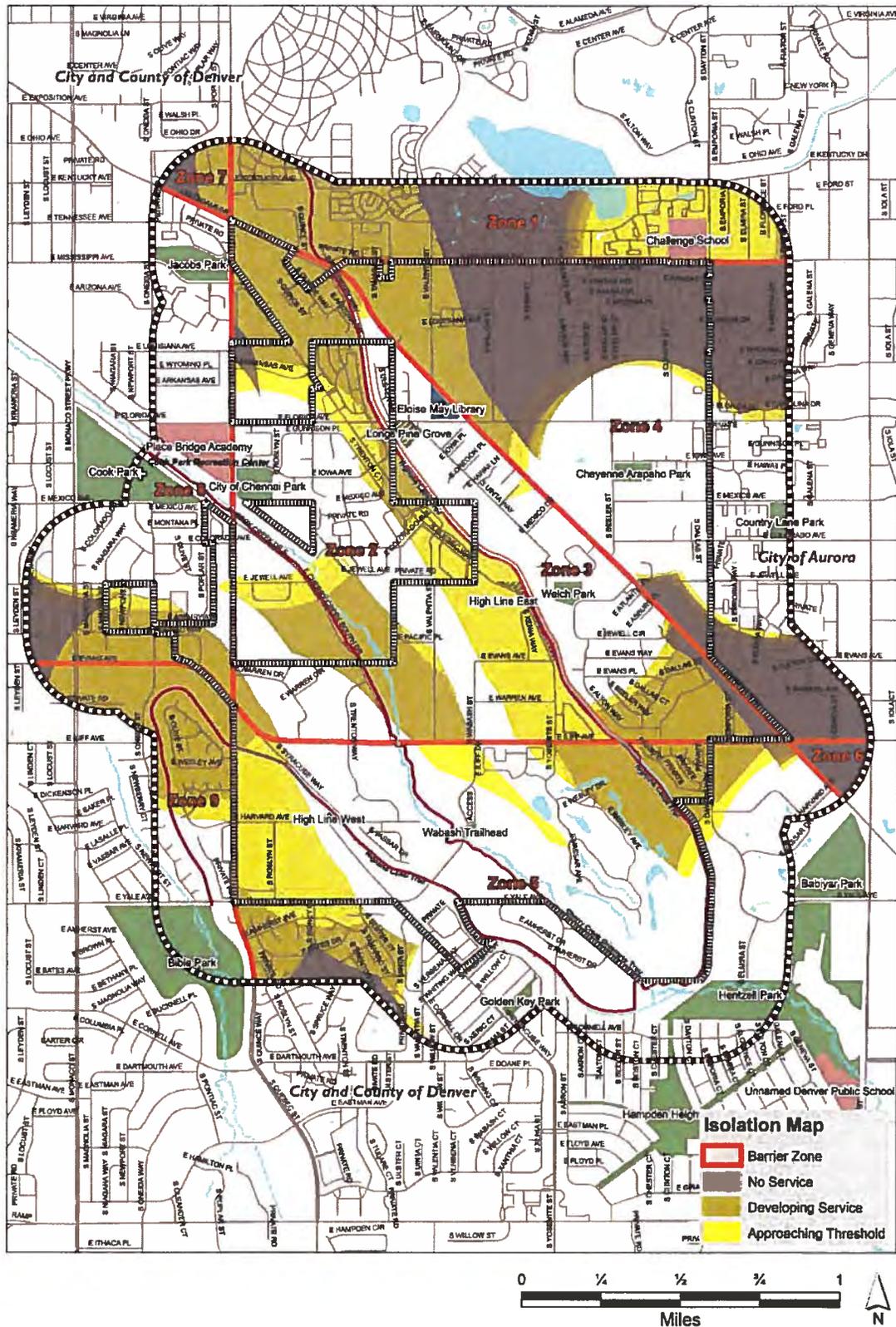
Thank you for the opportunity to comment on this application.

Roger Harvey & Ray Winn

A handwritten signature in blue ink, appearing to be the names of Roger Harvey and Ray Winn.

Open Spaces Planning

Cc Shannon Carter



Map 8: Isolates areas with no service or low service, below threshold as indicated. The brighter yellow areas are close to reaching the threshold value of 48.0. Dull yellow areas are still developing, while grey areas have no service at all.





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Arapahoe County Public Works and Development - Planning Division

6924 S. Lima Street, Centennial, CO 80112

Phone: 720-874-6650 | Fax: 720-874-6611

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Phase II Referral Routing

Agency Receiving Referral:	
Agency Contact Person:	
<p>Case Number: Z15-004 Preliminary development Plan</p> <p>Case Name: Xenia Street Townhomes</p> <p>Case Planner: Bill Skinner - BSkinner@arapahoegov.com</p> <p>Case Engineer: Spencer Smith - SSmith@arapahoegov.com</p>	
<p>Date Sent:</p> <p>Date to be Returned:</p>	
<p>INSTRUCTIONS: The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate box, sign, add comments as necessary and return to the Arapahoe County Planning Office on or before the date indicated above.</p>	
COMMENTS:	Reviewer First & Last Name:
<input type="checkbox"/> Have NO Comments to make on the case as submitted	
<input type="checkbox"/> Have the following comments to make related to the case:	

CHERRY CREEK VALLEY WATER AND SANITATION DISTRICT
2325 SOUTH WABASH STREET
DENVER, COLORADO 80231
(303) 755-4474

PAUL J. HANLEY, Chairman
MARK L. LAMPERT, Vice Chairman
WILLIAM M. MACPHEE, Secretary/Treasurer
FREDERICK L. NORMAN, Director
BRADLEY W. RASTALL, Director

AVAILABILITY OF SERVICE LETTER

December 9, 2015

Frank Feero, P.E.
Phelps Engineering

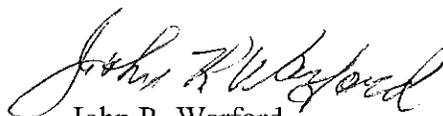
Re: Xenia Street Townhomes – S Xenia St & E Mississippi Ave

The above referenced property is within the service area of the District. The District is a Master Meter Distributor for Denver Water. Water and sewer service is available subject to extension of water and sewer lines, payment of all fees, and the District's Rules and Regulations.

If you have any questions regarding this matter, please feel free to contact this office.

Sincerely,

CHERRY CREEK VALLEY WATER
AND SANITATION DISTRICT



John R. Warford
Manager



CUNNINGHAM FIRE PROTECTION DISTRICT

2015 SOUTH DAYTON STREET ♦ DENVER, CO 80247 ♦ Phone: (303) 755-9202
Fax: (303) 337-7971

PDP Comment

November 3, 2015

Bill Skinner-Planner
Arapahoe County Public Works and Development
6924 S. Lima Street
Centennial, CO 80112

Re: Xenia Street Townhomes

Mr. Skinner:

The Fire District has reviewed the referral for the above referenced case for compliance with the *2009 International Fire Code (IFC)* as adopted by the District. The Fire District supports the PDP for approval with the following comments and requirements.

To support the PDP the following would need to be clarified:

- Due to the buildings being over 30-feet in height an additional access would be required per 2009 IFC D104.1 **Buildings exceeding three stories or 30 feet in height.** Buildings or facilities exceeding 30 feet (9144 mm) or three stories in height shall have at least two means of fire apparatus access for each structure.
 - Only one access is noted on these plans from Mississippi.
 - Additional access would be required or building height would need to be lowered.

The following notes would be needed on the FDP Plan for Review and Approval:

The Fire District requires that the following general comments are included on the cover sheet of the FDP:

1. Fire Department Access:
 1. Surfaced access roads capable of withstanding the imposed loads of fire apparatus and all required hydrants shall be installed prior to construction.
 2. All roads and drives are hereby designated as fire lanes. When required by the Fire District, all fire lanes shall be posted "No Parking – Fire Lane." All fire lanes shall be included in the Arapahoe County program for enforcement of private property parking.

3. Turning radius and navigation through the development shall meet the Cunningham Fire Protection Districts specifications and is verified using an approved method. (Auto-Cad drawings must be provided, vehicle information can be found on our website www.cfpd.org)
 4. Any proposed “pork-chop” or any traffic direction features at the entrance of the development shall have a designed width of 16 feet minimum drive with mountable curbs and no obstructions to the entrances.
 5. If a traffic signal is added as part of this development it is required to have a opticom traffic device installed.
 6. If the proposed structures are 30-feet in height the fire department access drives within the development shall be a minimum of 26-feet in width.
 7. The fire apparatus access road shall comply with the requirements of *Section 503* and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Plan demonstrating the structures meet the *Section 503* requirement.
 8. All fire hydrants are to be installed in conformance with *Sections 507 and Appendix C* of the *2009 International Fire Code*. No landscaping, fencing or any other obstruction shall be placed within three feet of a fire hydrant.
1. Fire lane designation
All private drives within this development are declared as fire apparatus access under *Section 503 of the 2009 IFC*. The fire apparatus access road shall comply with the requirements of *Section 503* and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Submit a plan demonstrating the structure meets the *Section 503* requirement.
 2. Fire lane identification
The Fire District declares all drives within this development as fire apparatus access under *Section 503* of the *2009 IFC*. Any roadway that is 30-feet or less in width shall be marked as a fire lane on both sides; roadways 30-34 feet in width shall be marked as a fire lane on one side. Information on the Arapahoe County Fire Lane Program will be provided to the Developer. If the proposed structures are 30-feet in height the fire department access drives within the development shall be a minimum of 26-feet in width. **Fire lane plan shall be submitted and entered into the Arapahoe County Fire Lane Program.**
 3. Water plan
A formal water plan for review and approval with a fee is required for any new fire hydrant installations and the fire service line prior to issuance of any Fire District building permits. Submittal of a copy of the water plan submitted to the Cherry Creek Valley Water and

Sanitation District (CCVWSD) during their required approval process directly to the Fire District for review is acceptable.

4. Building construction plans

Complete specifications and building construction plans shall be submitted directly to the Fire District for review and approval at the same time plans are submitted to the building department and prior to any building construction occurring. **The developer is encouraged to contact the Cunningham Fire Prevention Bureau to verify plan submittal requirements and permit fees prior to plan submittal.**

5. Fire Sprinkler System

The installation of a fire sprinkler system is required due to limited access. The sprinkler system shall meet the requirements of *National Fire Protection Association standard NFPA 13, Installation of Sprinkler Systems*.

6. Fire Alarm System

The installation of an approved fire alarm system is required if the fire sprinkler system is required. The fire alarm system shall meet the requirements of *National Fire Protection Association standard NFPA 72, National Fire Alarm Code*.

If you need any additional information or have any questions, please contact me at (303) 338-4204. The Fire Prevention Bureau fax number is (303) 337-7971.

Sincerely,

Tyler Everitt
Deputy Fire Marshal

Cunningham Fire Protection District – received via email on 12/9/2016

Good Morning Bill,

I wanted to provide clarification to the Fire District's comments. Per my conversation with Scott Alpert today all of these townhomes will be protected with a fire sprinkler system throughout all buildings. This being said they are allowed to have one access (Mississippi Ave/Xenia) per the fire code and the fire district would support the PDP with the additional information provided.

Scott, since the buildings would be over 30ft in height you would still need to provide Aerial Access and a Fire Lane signage plan for approval

SECTION D105 AERIAL FIRE APPARATUS ACCESS ROADS

D105.1 Where required. Buildings or portions of buildings or facilities exceeding 30 feet (9144 mm) in height above the lowest level of fire department vehicle access shall be provided with *approved* fire apparatus access roads capable of accommodating fire department aerial apparatus. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway.

D105.2 Width. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 mm), exclusive of shoulders, in the immediate vicinity of any building or portion of building more than 30 feet (9144 mm) in height.

D105.3 Proximity to building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572 mm) and a maximum of 30 feet (9144 mm) from the building, and shall be positioned parallel to one entire side of the building.

Thank you,

Tyler Everitt
Deputy Fire Marshal
Cunningham Fire Protection District
303-338-4204



December 1, 2015

Bill Skinner
Arapahoe County Planning Division
Arapahoe County Lima Plaza
6924 S Lima St
Centennial CO 80112

RE: Xenia Street Townhomes
Case No. Z15-004
TCHD Case No. 3734

Dear Mr. Skinner:

Thank you for the opportunity to review and comment on the Xenia Street Townhomes Preliminary Development Plan located at the Southeast corner of E Mississippi Ave. and S Xenia St. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable public and environmental health regulations and principles of healthy community design. After reviewing the application, TCHD has the following comments.

Historic On-Site Wastewater Treatment System (OWTS) Abandonment

According to TCHD's records, there was a historic septic tank that was serving the houses at both 8850 E Mississippi Ave and 1110 S Xenia St. Our records indicate that the septic tank was abandoned in 2002.

Proper abandonment of a septic tank requires the following:

- Confirming that the tank is empty. If any liquids remain in the tank, the tank shall be pumped dry by a system cleaner licensed by TCHD.
- Once the septic tank has been pumped dry, it may either be backfilled with soil, crushed and buried on the site, or excavated and disposed in a permitted solid waste disposal facility.
- Provide written notice to of the septic tank abandonment, along with a pump receipt, to TCHD.

In order to prevent contamination of groundwater or exposure to contaminated soils, TCHD recommends that the applicant identify the septic tank and ensure that it has been properly abandoned before construction starts.

Demolition of Buildings

It appears that there are multiple homes currently on the site that will be demolished in order to construct townhomes. The demolition of buildings can affect air quality and can create vector control issues.

Xenia Street Townhomes, Z15-004

December 1, 2015

Page 2 of 2

Air Quality

The application indicates that the existing building on the site will be demolished. State air quality regulations require that precautions be taken prior to demolition of buildings to evaluate the presence of asbestos fibers that may present a health risk. If such fibers are present, actions must be taken to prevent their release into the environment. State regulations also address control of ozone depleting compounds (chlorofluorocarbons) that may be contained in air conditioning or refrigerating equipment. The applicant shall contact the Colorado Department of Public Health and Environment (CDPHE) Air Pollution Control Division at (303) 692-3100 for more information. Additional information is available at:

<http://www.cdphe.state.co.us/ap/asbestos>.

Vector Control

Rodents such as mice and rats carry diseases which can be spread to humans through contact with rodents, rodent feces, urine, or saliva, or through rodent bites. If there is an infestation of rodents in the building proposed for demolition, the infestation should be eliminated prior to demolition to prevent the spread of rodents to neighboring properties. Information on rodent control can be found at <http://www.tchd.org/400/Rodent-Control>.

Please feel free to contact me at (720) 200-1585 or lbroten@tchd.org if you have any questions regarding TCHD's comments.

Sincerely,



Laurel Broten, MPH
Land Use and Built Environment Specialist
Tri-County Health Department

CC: Sheila Lynch, Steve Chevalier, TCHD



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571.3284
donna.l.george@xcelenergy.com

November 12, 2015

Arapahoe County Public Works and Development
6924 South Lima Street
Centennial, CO 80112

Attn: Bill Skinner

Re: Xenia Street Townhomes, Case # Z15-004

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the preliminary development plans for **Xenia Street Townhomes**. Please be aware PSCo owns and operates existing electric facilities within the subject property. The property owner/developer/contractor must contact the **Builder's Call Line at 1-800-628-2121** and complete the application process for any new gas or electric service, or modification to existing facilities including relocation and/or removal. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements will need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center, at 1-800-922-1987** to have all utilities located prior to any construction.

Should you have any questions with this referral response, please contact me at 303-571-3306.

Donna George
Contract Right of Way Referral Processor
Public Service Company of Colorado

FOUR SQUARE MILE NEIGHBORHOODS

c/o Mark Lampert
9022 East Colorado Drive
Denver, CO 80231

January 25, 2016

Via Email

Mr. Bill Skinner
Arapahoe County Planning

Re: Xenia St. Townhomes PDP Application, Z15-004

Dear Bill:

Four Square Mile Neighborhoods (4SQM) provides the following comments with respect to this proposed three-story townhome development.

The proposed development consists of four three-story buildings, each with a height of 38 feet, that are perpendicularly situated to Xenia Street—the front of the property. It appears that the fourth building on the south side of the property is set back only 10 feet from the property line. This unusual configuration results in a 38-foot tall building running from the front to the back of the property only 10 feet from the south side property line.

Xenia Street is a transitional area, with multi-family developments on the north side along Mississippi Street and transitioning to some primarily older, single family homes (although one newer single family home exists) as the street heads towards its dead end to the south.

The issue we have is that the placement of southern most perpendicular three-story building that is 38 feet in height directly next to a property boundary running from the front to the back of the property with only a 10-foot setback is inconsistent with the surrounding property. It fails to provide an appropriate transition to the adjacent and nearby properties, some of which are single family homes.

Neighbors towards the south end of the street mentioned that when Devon Square apartments were built next to the south end of the street, the neighbors were able to persuasively convince planners that the Devon Square apartments should be terraced so that lower buildings were closer to Xenia Street, leading up to taller three story buildings. The net result is a more appropriate transition.

Terracing in transition areas has also occurred in other transitions from multi-family to single family areas on 4SQM. For example, Lugano (formerly Prospect Village) on Iliff is set back far from nearby Huntington Estates and is terraced up from two stories in height as the development is situated further from the adjacent single family neighborhood.

A similar concept should be employed with regard to this proposed development.

Bill Skinner
Arapahoe County Planning
January 25, 2016
Page 2

Other than our ongoing concern that multi-family development in this part of 4SQM should be scaled back due to overcrowded roads and lack of open space in the area, at this time, the maximum height of this perpendicularly-situated building that is so near the south side boundary to the adjacent property in a transitional area is our only concern. We may have additional comments as the plans become more definite and review the proposed FDP—particularly the more detailed appearance and design of the perpendicularly- situated buildings.

Very Truly Yours,

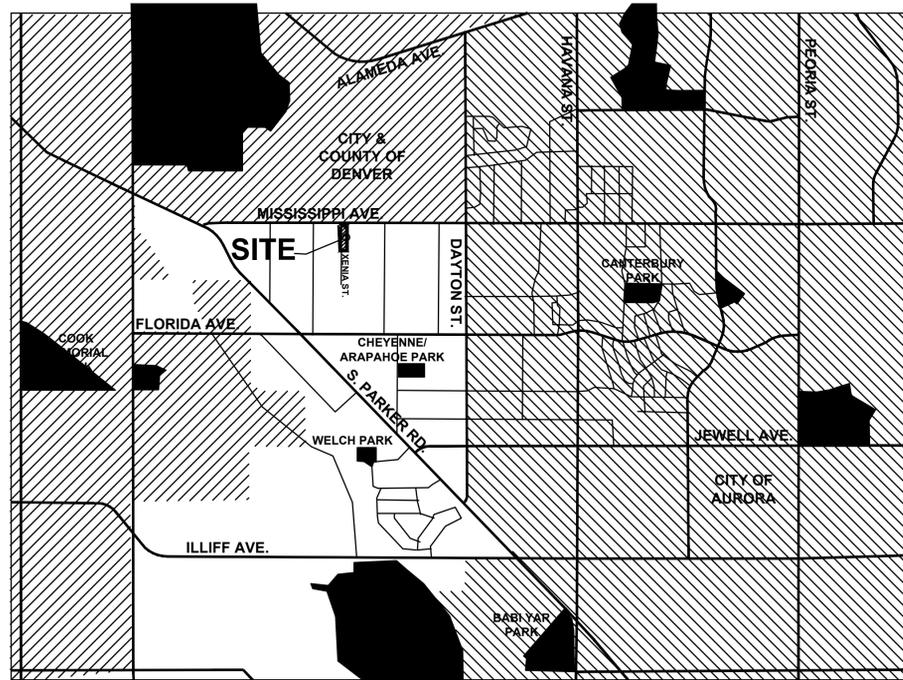
FOUR SQUARE MILE NEIGHBORHOODS

By Mark Lampert

cc: Jan Yeckes, Arapahoe County

XENIA ST. TOWNHOMES PRELIMINARY DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 4 SOUTH, RANGE 67 WEST OF THE SIXTH PRICIPAL MERIDIAN



VICINITY MAP
SCALE 1=2000

CERTIFICATE OF OWNERSHIP

I 8850 XENIA LLC BY SCOTT ALPERT MANAGER HEREBY AFFIRM THAT I AM THE OWNER OR AUTHORIZED AGENT OF ALL INDIVIDUALS HAVING OWNERSHIP INTEREST IN THE PROPERTY DESCRIBED HEREIN, KNOWN AS XENIA ST. TOWNHOMES, CASE NO. Z15-004.

OWNER OF RECORD OR AUTHORIZED AGENT

STATE OF _____, S.S.

COUNTY OF _____

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS DAY OF _____, 20__ BY (Name)

AS (Title) OF _____ AN AUTHORIZED SIGNATORY.

BY _____ WITNESS MY HAND AND SEAL

NOTARY PUBLIC
MY COMMISSION EXPIRES _____

ADDRESS _____

CITY _____ STATE _____ ZIP CODE _____

DESIGN INTENT

THE INTENT OF XENIA ST. TOWNHOMES IS:

- TO CREATE A STABLE, ATTRACTIVE NEIGHBORHOOD THAT WILL OFFER A VARIETY OF HOUSING UNITS ON A SMALL INFILL SITE;
- TO MAXIMIZE THE ADVANTAGE OF THE PROXIMITY TO BUS ROUTES, EMPLOYMENT BASES, RETAILS CENTERS AND LEISURE ACTIVITIES;
- TO BE COMPATIBLE WITH EXISTING DEVELOPMENT;
- TO CREATE A THEME FOR THE DEVELOPMENT WHICH WILL ENSURE HIGH QUALITY ELEMENTS AND MATERIALS;
- TO UTILIZE EXISTING INFRASTRUCTURE ADJACENT TO THE SITE.

GENERAL DESIGN STANDARDS COMMUNITY DESIGN

THE BASIC DESIGN CONCEPT TYPIFYING XENIA ST. TOWNHOMES IS URBAN IN CHARACTER. KEY DESIGN FEATURES INCLUDE:

- LANDSCAPED STREETSAPES WITH DETACHED WALKS ADJACENT TO THE COLLECTOR STREET;
- COMPATIBILITY BETWEEN BUILDING TYPES THROUGH ARCHITECTURE, BUILDING HEIGHTS AND MATERIALS;
- AN APPROPRIATE TRANSITION FROM ADJACENT USES THROUGH LIMITING BUILDING HEIGHTS, MASS AND SCALE;
- CREATION OF A COMMON THEME THROUGH THE USE OF DECORATIVE LIGHTING, MONUMENTATION AND SIGNAGE, LANDSCAPE FEATURES, MATERIALS COMMON TO THE ENTRY MONUMENTS AND BUILDINGS.

ARCHITECTURE

IT IS THE INTENT OF XENIA ST. TOWNHOMES TO PROVIDE BUILDING TYPES THAT WILL COMPLIMENT ONE ANOTHER THROUGH THE USE OF COMMON DESIGN CRITERIA, THEMES, ARTICULATION AND BUILDING MATERIALS. DESIGN CRITERIA INCLUDE:

- MAJOR BUILDING MATERIALS SHALL BE A COMBINATION OF SIDING AND MASONRY OR SIDING AND STONE;
- FACADE ARTICULATION TO DIFFERENTIATE INDIVIDUAL UNITS;
- PRIVATE OUTDOOR PATIOS OR DECK AREAS FOR EACH UNIT;
- TWO CAR ATTACHED GARAGES FOR EACH UNIT;
- COMPLEX MASSING CONFIGURATIONS WITH A VARIETY OF DIFFERENT WALL PLANES AND ROOF PLANES;
- NO STAIRWAYS OUTSIDE BUILDING ENVELOPES;
- IDENTIFICATION OF ENTRANCES BY AN ARCHITECTURAL TREATMENT SUCH AS A COVERED ENTRY OR A DIFFERENT ROOFLINE TREATMENT;
- MINIMIZATION OF BUILDING MASSING BY LIMITING THE NUMBER OF UNITS IN EACH BUILDING TO FIVE OR LESS;
- DETAILED WINDOW AND DOOR TRIMS;
- INCLUDE PROJECTIONS, RECESSES, SHADOW LINES, WINDOW PATTERNS AND OVERHANGS TO PROVIDE FRONT AND REAR VARIATION IN WALL PLANES;
- PROVIDE FRONT ENTRY DETAIL INCLUDING VERTICAL ELEMENTS TO ENHANCE BUILDING ELEVATIONS;
- PROVIDE WINDOWS ON ALL ELEVATIONS.

SITE DESIGN

THE SITE PLAN EMPHASIZES URBAN. THAT IS ACHIEVED THROUGH BUILDING PLACEMENT AND ORIENTATION, LANDSCAPING AND ARCHITECTURE.

MAINTENANCE EASEMENT

A MAINTENANCE EASEMENT IS REQUIRED FOR DEVELOPMENTS WITH ZERO SIDE SETBACKS IF ONE STRUCTURE IS BUILT ON THE LOT LINE. IN ORDER TO MAINTAIN STRUCTURE WITH THE ZERO SIDE SETBACK, A MAINTENANCE EASEMENT MAY BE REQUIRED ON THE ADJACENT LOT TO ENABLE MAINTENANCE TO BE PERFORMED ON SAID STRUCTURE FROM THE ADJOINING PROPERTY. EACH LOT OWNER AGREES TO ALLOW ADJACENT LOT OWNERS ACCESS ACROSS THEIR LOT, WITHIN FIVE FEET OF THE COMMON LOT LINE, AS MAY BE NEEDED TO MAINTAIN AND REPAIR THE ADJACENT OWNERS PRINCIPAL STRUCTURE. EACH ADJACENT OWNER AGREES TO REPAIR ANY DAMAGE WHICH MAY BE CAUSED TO THE LOT OWNERS PROPERTY FROM THE ADJACENT OWNERS USE OF THIS MAINTENANCE EASEMENT, AND TO TAKE ALL NECESSARY STEPS TO AVOID CAUSING SUCH DAMAGE.

OPEN AREAS AND AMENITIES

IT IS THE INTENT OF XENIA ST. TOWNHOMES TO PROVIDE LANDSCAPING WHICH VISUALLY ENHANCES THE COMMUNITY AND PROVIDES A COMPATIBLE AND AESTHETIC ATMOSPHERE.

- THE SITE WILL PROVIDE:
- OPEN SPACE AREAS BETWEEN BUILDINGS TO CREATE VIEW CORRIDORS AND OPPORTUNITY FOR PEDESTRIAN CONNECTIVITY;
 - DETENTION POND DEVELOPED WITH NATURAL VEGETATION;
 - PEDESTRIAN LINKAGES TO EXTERNAL SIDEWALK SYSTEMS;
 - COMPLIANCE WITH THE LANDSCAPE DESIGN STANDARDS, ARAPAHOE COUNTY LAND DEVELOPMENT CODE;

SHEET INDEX

SHEET NO. SHEET TITLE

- | | |
|---|-------------|
| 1 | COVER SHEET |
| 2 | SITE PLAN |

SIGNAGE AND ENTRYWAY DESIGN

IT IS THE INTENT OF XENIA ST. TOWNHOMES TO PROVIDE MONUMENTATION AND SIGNAGE THAT WILL BE CONSISTENT WITH OR COMPLIMENTARY TO THE ARCHITECTURAL THEME AND PROVIDE A NEIGHBORHOOD IDENTITY FOR THE COMMUNITY. THE PRIMARY ENTRYWAY DESIGN WILL BE LOCATED AT E. MISSISSIPPI AND XENIA ST. (SIGNAGE SHALL NOT BE INSTALLED WITHIN THE COUNTY RIGHT OF WAY. SIGNAGE SHALL CONFORM TO ARAPAHOE COUNTY LAND DEVELOPMENT CODE STANDARDS.)

LIGHTING

IT IS THE INTENT OF XENIA ST. TOWNHOMES TO PROVIDE SOFT OUTDOOR LIGHTING AT A HUMAN SCALE WHICH WILL ENHANCE THE COMMUNITY WHILE ALLOWING EASY IDENTIFICATION OF ADDRESSES, DRIVES AND COMMON ELEMENTS SUCH AS AMENITY AREAS. ALL LIGHTING MOUNTED ON BUILDINGS AND POLES.

ALL LIGHTING SHALL, AT A MINIMUM, CONFORM TO THE LIGHTING STANDARDS IN THE ARAPAHOE COUNTY LAND DEVELOPMENT CODE.

LANDSCAPING:

- ORIENT UNITS ON THE PERIMETER OF THE SITE WITH THE REAR ELEVATION TO THE INTERIOR PRIVATE DRIVEWAYS. MAXIMIZE OPEN SPACE VIEW CORRIDORS WITH PEDESTRIAN LINKAGES.
- PROVIDE STREETScape LANDSCAPING BETWEEN FRONT OF UNITS.

CIRCULATION AND PARKING

IT IS THE INTENT OF XENIA ST. TOWNHOMES TO PROVIDE A CONVENIENT, CLEAR, SAFE AND EFFICIENT CIRCULATION SYSTEM FOR BOTH PEDESTRIAN AND AUTOMOBILE TRAFFIC.

PEDESTRIAN:

- PEDESTRIAN WALKWAYS;
- INCORPORATION OF THEMATIC MATERIALS, COLORS, AND DESIGN INTO THE PEDESTRIAN ELEMENT;
- SITE AMENITIES TO BE LOCATED FOR PEDESTRIAN CONVENIENCE AND SHOULD MATCH THE ARCHITECTURAL THEME OF THE DEVELOPMENT.

BUILDING PLACEMENT AND ORIENTATION:

- ORIENT UNITS ON THE SITE WITH THE GARAGE FACING THE INTERIOR PRIVATE ALLEYS. PROVIDE A MINIMUM 10' FOOT LANDSCAPED AREA WITH PEDESTRIAN WALKS BETWEEN BUILDINGS AND FROM THE FACADES TO ADJACENT RIGHTS OF WAY.

VEHICULAR

- ATTACHED GARAGES WITH INTERNALIZED SURFACE PARKING.

STANDARD NOTES
THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDERS(S) OF THE PRELIMINARY DEVELOPMENT PLAN KNOWN AS XENIA ST. TOWNHOMES, THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

STREET MAINTENANCE
IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAT/PLAN WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED, AND PROVIDED CONSTRUCTION OF SAID ROADWAYS IS STARTED WITHIN ONE YEAR OF THE CONSTRUCTION PLAN APPROVAL. THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

DRAINAGE MAINTENANCE
THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENT. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. ARAPAHOE COUNTY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

EMERGENCY ACCESS NOTE
EMERGENCY ACCESS IS GRANTED HEREWITH OVER AND ACROSS ALL PAVED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES.

LANDSCAPE MAINTENANCE
THE OWNERS OF THIS PLAN OR PLAT, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNER'S ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.

SIGHT TRIANGLE MAINTENANCE
THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN SAID TRIANGLE.

LEGAL DESCRIPTION:
THAT PART OF THE EAST 1/2 NORTHEAST 1/4 NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 4, RANGE 67 WEST OF THE 6TH P.M., DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT 30 FEET SOUTH AND 20 FEET EAST OF THE NORTHWEST CORNER OF SAID EAST 1/2 NORTHEAST 1/4 NORTHEAST 1/4;

THENCE EAST 104 FEET;

THENCE SOUTH 630 FEET;

THENCE WEST 104 FEET;

THENCE NORTH 630 FEET TO THE POINT OF BEGINNING, EXCEPT ANY PART OF THE ABOVE DESCRIBED PROPERTY LYING WITHIN THE SOUTHEAST 1/4 NORTHEAST 1/4 NORTHEAST 1/4 OF SAID SECTION 21, AND FURTHER EXCEPT ANY PORTION THEREOF LYING WITHIN THAT PARCEL CONVEYED TO THE COUNTY OF ARAPAHOE AN DESCRIBED IN DEED RECORDED MAY 10, 1989 IN BOOK 5693 AT PAGE 654.

COUNTY OF ARAPAHOE, STATE OF COLORADO, ALSO KNOWN AS 8850 E. MISSISSIPPI AVE., DENVER, CO 80247, PPI# 1973-21-1-00-047, 1.47 ACRES.

TITLE COMMITMENT NOTES:

THIS LAND SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY JR ENGINEERING, LLC TO DETERMINE OWNERSHIP OF THIS TRACT, VERIFY THE DESCRIPTION SHOWN, VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS, OR VERIFY EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHT-OF-WAY OR TITLE OF RECORD, JR ENGINEERING, LLC RELIED UPON TITLE COMMITMENT no. 35500-14-15349 BY NORTH AMERICAN TITLE INSURANCE CO. FOR 8850 XENIA LLC., A COLORADO CORPORATION, DATED FEBRUARY 10, 2015 AT 7:00 A.M.

DRAINAGE MASTER PLAN NOTE

THE POLICY OF THE COUNTY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW:

1. DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE PHASE III DRAINAGE REPORT AND PLAN.
2. DESIGN AND CONSTRUCT THE CONNECTION OF THE SUBDIVISION DRAINAGE SYSTEM TO A DRAINAGE WAY OF ESTABLISHED CONVEYANCE CAPACITY SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGEWAY. THE COUNTY WILL REQUIRE THAT THE CONNECTION OF THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFFSITE FLOWS) LEAVING THE SPECIFIC DEVELOPMENT SITE. TO MINIMIZE OVERALL CAPITAL COSTS, THE COUNTY ENCOURAGES ADJACENT DEVELOPMENTS TO JOIN IN DESIGNING AND CONSTRUCTING CONNECTION SYSTEMS. ALSO, THE COUNTY MAY CHOOSE TO PARTICIPATE WITH A DEVELOPER IN THE DESIGN AND CONSTRUCTION OF THE CONNECTION SYSTEM.
3. EQUITABLE PARTICIPATION IN THE DESIGN AND CONSTRUCTION OF THE MAJOR DRAINAGEWAY SYSTEM THAT SERVES THE DEVELOPMENT AS DEFINED BY ADOPTED MASTER DRAINAGEWAY PLANS (SECTION 3.4 OF THE ARAPAHOE COUNTY STORMWATER MANAGEMENT MANUAL) OR AS REQUIRED BY THE COUNTY AND DESIGNATED IN THE PHASE III DRAINAGE REPORT

FOUR SQUARE MILE AREA NOTE

- A) TO INCLUDE SAID DEVELOPMENT WITHIN A SPECIAL DISTRICT FOR THE PURPOSE OF PARTICIPATING IN THE CONSTRUCTION OF NECESSARY OFFSITE IMPROVEMENTS AT THE TIME OF APPROVAL OF FINAL DEVELOPMENT PLANS.
- B) TO COOPERATE WITH OTHER OWNERS OF OTHER PARCELS AND/OR SPECIAL DISTRICTS IN OFF-SITE ROADWAY AND OPEN SPACE IMPROVEMENTS AS NECESSITATED BY DEVELOPMENT IMPACTS AS MAYBE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.
- C) TO INCLUDE SAID DEVELOPMENT IN A MASTER DRAINAGE IMPROVEMENT DISTRICT IF SUCH A DISTRICT IS FORMED.

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ARAPAHOE COUNTY BOARD OF COMMISSIONERS,
THIS _____ DAY OF _____ A.D., 20__ CHAIR: _____

ATTEST: _____

PLANNING COMMISSION RECOMMENDATION

NOT RECOMMENDED/RECOMMENDED BY THE ARAPAHOE COUNTY PLANNING COMMISSION,
THIS _____ DAY OF _____ A.D., 20__

CHAIR: _____

CASE # Z15-004



7200 E. HAMPDEN AVE. SUITE 300 DENVER, CO 80224 303-298-1644

XENIA STREET TOWNHOMES

ARAPAHOE COUNTY, COLORADO

SUBMITTAL DATE: AUGUST 3, 2015

PROJECT # 14109

REVISIONS:

PHASE II SUBMITTAL 10/07/2015

MYLAR - CHECK PRINT 12/30/2015

SHEET
1 OF 2

XENIA ST. TOWNHOMES

PRELIMINARY DEVELOPMENT PLAN

LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 21, TOWNSHIP 4 SOUTH, RANGE 67 WEST OF THE SIXTH PRICIPAL MERIDIAN

LEGEND

- EXISTING ROW
- SECTION LINE
- ROW DEDICATION
- PU AND SIGNAGE ESMT.
- LANE STRIP
- SUBJECT PROPERTY LINE
- EX. PROPERTY LINE
- EX. EOA
- EX. FL
- EX. TBC
- EX. SIDEWALK
- EX. STORM PIPE
- EX. INLET
- EX. MANHOLE

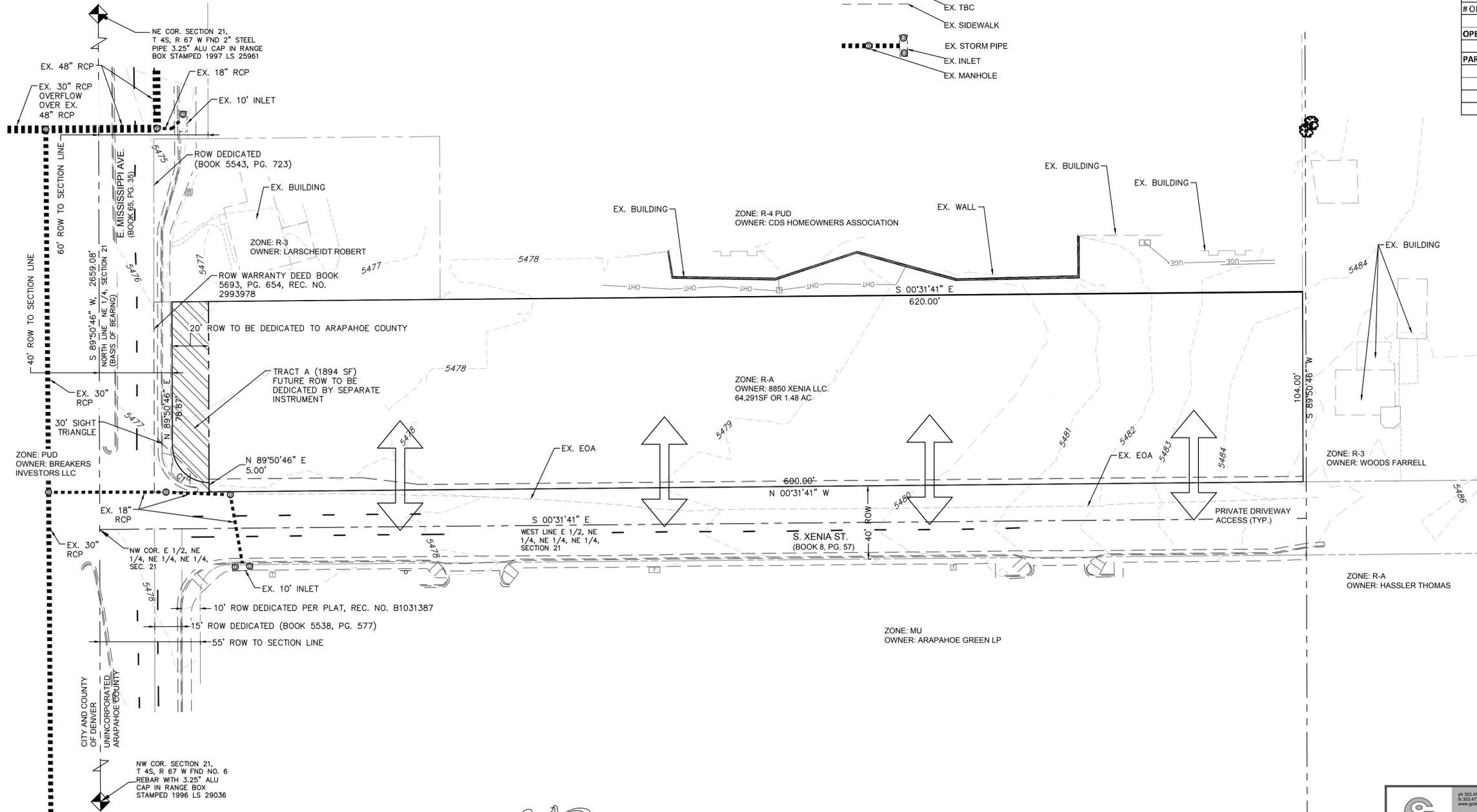
SITE DATA

GROSS AREA	64,291 sf	1.48 ac
E. MISSISSIPPI R.O.W. DEDICATION	1,894 sf	0.05 ac
NET AREA	62,397 sf	1.43 ac
PROPOSED DENSITY	32 UNITS	21.6 DU/AC GROSS 22.4 DU/AC NET
ZONING	EXISTING R-A	PROPOSED R-PH

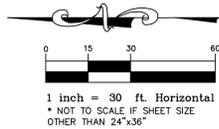
DEVELOPMENT CRITERIA:

PROPERTY SETBACKS: FROM R.O.W./ PROPERTY BOUNDARY		
EAST PROP. BOUNDARY (ADJ. PRIV. PROP.):	10'-0" MIN TO SIDE OF BUILDING	
NORTH PROP. BOUNDARY (E. MISS. AVE.):	54'-0" MIN TO FRONT OF BUILDING	
SOUTH PROP. BOUNDARY (ADJ. PRIV. PROP.):	10'-0" MIN TO FRONT OF BUILDING	
WEST PROP. BOUNDARY (S. XENIA ST.):	15'-0" MIN TO SIDE OF BUILDING	
BUILDING SETBACKS: BUILDING-BUILDING		
GARAGE-GARAGE	30'-0" MIN.	
FRONT-FRONT	40'-0" MIN.	
BUILDINGS		
HEIGHT:	PER COUNTY CODE R-PH	PROPOSED
# OF STORIES:	N/A	38'-0" MAX 3 STORIES
OPEN SPACE: (COVERAGE)		
	35%	35% MINIMUM
PARKING: (MINIMUM)		
STANDARD SPACES:	2.0 SPACES PER UNIT	2.0 SPACES PER UNIT
GUEST SPACES:	0.25 SPACES PER UNIT	0.25 SPACES PER UNIT
ACCESSIBLE PARKING:	2 TOTAL SPACES MIN.	

1. LANDSCAPING AND BUFFERING WILL BE SHOWN ON THE FINAL DEVELOPMENT PLAN.
2. EXTERIOR LIGHTING WILL BE SHOWN ON THE FINAL DEVELOPMENT PLAN.
3. SIGNAGE WILL INCLUDE ONE PROJECT IDENTIFICATION SIGN. SIGN DETAILS WILL BE SHOWN ON THE FINAL DEVELOPMENT PLANS AND WILL BE IN ACCORDANCE WITH ARAPAHOE COUNTY CODE.
4. PARKING REQUIREMENTS:
2 BEDROOM UNITS (2 STALLS)
3 BEDROOM UNITS (2 STALLS)
PLUS GUESTS (0.25 STALLS/UNIT - BOTH 2 AND 3 BEDROOM UNITS)
5. FENCING AND WALL LOCATIONS AND MATERIALS TO BE DETERMINED IN FINAL DEVELOPMENT PLAN.
6. PERIMETER FENCE/WALL SHALL BE NO MORE THAN 8' IN HEIGHT.
7. MINIMUM UNOBSTRUCTED OPEN SPACE DOES NOT INCLUDE RIGHT OF WAY. IT DOES INCLUDE PUBLIC SIDEWALKS AND LANDSCAPE IN THE PUBLIC USE EASEMENT.
8. MAXIMUM BUILDING COVERAGE SHALL NOT EXCEED 35%.



CURVE TABLE				
CURVE #	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING
C1	31.42	20.00	90°00'00"	N44°50'46"E
				CHORD LENGTH
				28.28



NOTES:

1. IMPROVEMENTS IN S. XENIA ST. SHALL BE PER ARAPAHOE COUNTY STREET CRITERIA.
2. PER ARAPAHOE COUNTY LAND DEVELOPMENT CODE, STRUCTURES, SITE AMENITIES OR PLANT MATERIAL GREATER THAN 30' IN HEIGHT ARE NOT PERMITTED WITHIN THE SITE TRIANGLES.
3. STORM SEWER SYSTEM WILL BE DESIGNED WITH THE PHASE III DRAINAGE REPORT. CONVEYANCE OF RUNOFF WILL BE THROUGH SWALES, ROADWAY AND UNDERGROUND STORM SYSTEM.
4. THE DETENTION FACILITY WILL BE PLACED IN AN EASEMENT AT THE TIME OF THE FINAL PLAT.

ph 303.450.4437
 fx 303.477.8880
 www.goddensudik.com
 Plaza Quebec
 8025 S. Quebec St.
 Suite 375
 Centennial, Colorado 80111

7200 E. HAMPDEN AVE. SUITE 300 DENVER, CO 80224 303-298-1644

XENIA STREET TOWNHOMES

ARAPAHOE COUNTY, COLORADO	
SUBMITTAL DATE:	AUGUST 3, 2015
PROJECT #	14109
REVISIONS:	
PHASE II SUBMITTAL	10/07/2015
MYLAR - CHECK PRINT	12/30/2015

SHEET
2 OF 2

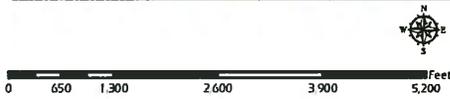
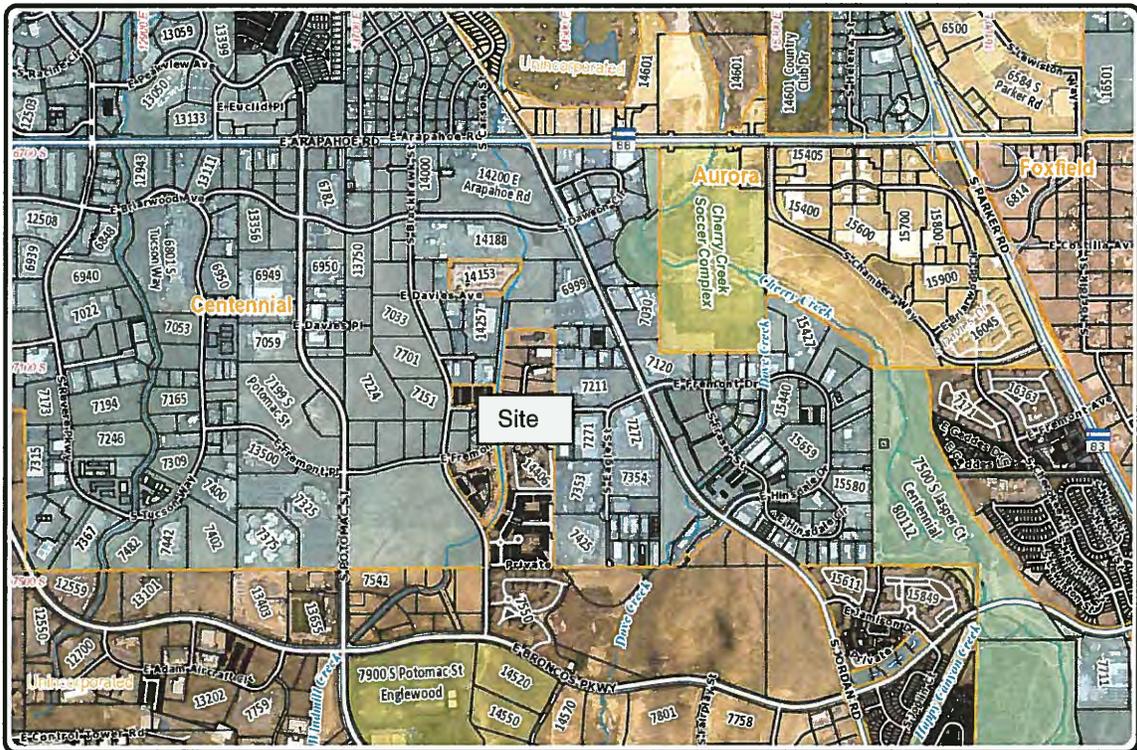
ARAPAHOE COUNTY PLANNING COMMISSION
PUBLIC HEARING AGENDA
MARCH 15, 2016
6:30 P.M.

CASE # P15-008 – FREEDOM SERVICE DOGS– FINAL DEVELOPMENT PLAN

SHERMAN FEHER, SENIOR PLANNER

MARCH 4, 2016

VICINITY MAP The site is located northwest of the intersection of Fremont Avenue and Dillon Court. This property is in Commissioner District 2.



ARAPAHOE COUNTY MAKES NO REPRESENTATION OR WARRANTY AS TO THE ACCURACY OF THIS MAP OR THE DATA THAT IT DISPLAYS. ARAPAHOE COUNTY ASSUMES NO RESPONSIBILITY OR LIABILITY TO ANY USER. THIS MAP IS NOT A LEGAL DOCUMENT. IT IS INTENDED TO SERVE AS AN AID IN GRAPHIC REPRESENTATION ONLY.
Map Generated On: 3/3/2016

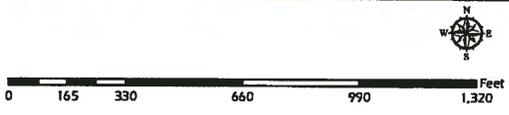
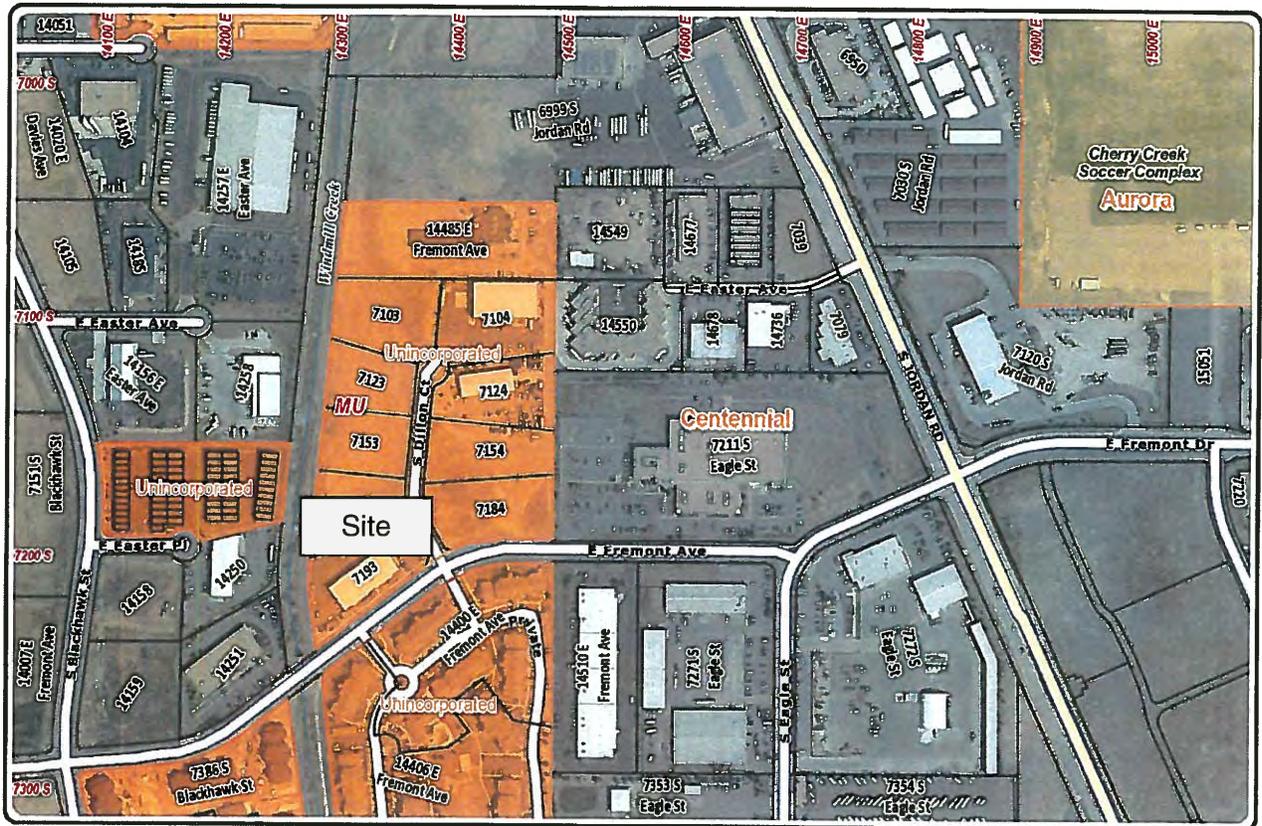
Generated by Arapahoe County's ArapaMAP



Map Location

V16

Vicinity Map



ARAPAHOE COUNTY MAKES NO REPRESENTATION OR WARRANTY AS TO THE ACCURACY OF THIS MAP OR THE DATA THAT IT DISPLAYS. ARAPAHOE COUNTY ASSUMES NO RESPONSIBILITY OR LIABILITY TO ANY USER. THIS MAP IS NOT A LEGAL DOCUMENT. IT IS INTENDED TO SERVE AS AN AID IN GRAPHIC REPRESENTATION ONLY.
Map Generated On: 3/3/2016

Generated by Arapahoe County's **ArapaMAP**



Map Location

v1.0

ZONING MAP

ADJACENT SUBDIVISIONS, ZONING, AND LAND USES:

North	-	Centennial East Corporate Center Subdivision, MU-PUD, Vacant.
East	-	Centennial East Corporate Center Subdivision, MU-PUD, Vacant.
South	-	Centennial East Corporate Center Subdivision, MU-PUD, Multi-family.
West	-	Windmill Creek Drainage; City of Centennial Subdivision, City of Centennial Zoning, Office Building.



Looking Northeast at Existing Building



Looking West at Existing Building & Vacant Lot (Future dog kennels area)

PROPOSAL:

The applicant's representative, Intergroup Inc., on behalf of Freedom Service Dogs, owners, are requesting approval of a Final Development Plan (FDP). This FDP

provides specific site plan details including a landscape plan and photometric plan. There is an existing office building that will be converted for dog training and offices. Outside kennels will also be provided.

RECOMMENDATION:

Staff: Staff recommends that the Freedom Service Dogs Final Development Plan be APPROVED, subject to conditions contained in this Staff Report, based on findings outlined herein.

I. BACKGROUND

The property was originally zoned A-1 in 1961. The latest MU-PUD Amendment for this property was approved on September 7, 1999 (Case No.Z99-003). The Final Development Plan for the existing building was approved on June 26, 2001 (Case No. P00-150).

II. DISCUSSION

Staff’s review of this application included a comparison of the project to policies and goals outlined in the Comprehensive Plan, background activity, and an analysis of referral comments.

1. The Comprehensive Plan

The Comprehensive Plan designates this property as “Employment”. The proposed FDP is consistent with the Comprehensive Plan in that it provides employment opportunities.

2. Ordinance Review and Additional Background Information

Chapter 13-100 of the Planned Unit Development section of the zoning regulations states that the P.U.D. process is intended to prevent the creation of a monotonous urban landscape by allowing for the mixture of uses which might otherwise be considered non-compatible, through the establishment of flexible development standards, provided said standards:

- a. Recognize the limitations of existing and planned infrastructure, by thoroughly examining the availability and capability of water, sewer, drainage, and transportation systems to serve present and future land uses.

The proposed FDP does not generally change the existing infrastructure. Water and sewer capability is provided by Arapahoe County Water and Wastewater Authority. The existing road system serves the proposed uses.

Some drainage improvements currently exist and more may be needed per SEMSWA and associated GESC permit.

- b. Assure compatibility between the proposed development, surrounding land uses, and the natural environment.

This proposed FDP conforms with PDP standards. The PDP sets landscaping, lighting and other standards that are being followed in the FDP. The FDP complies with the PDP standards.

- c. Allow for the efficient and adequate provision of public services. Applicable public services include, but are not limited to, police, fire, school, park, and libraries.

The proposed FDP provides for adequate provision of public services. Public services appear to be adequately provided, as evidenced by the response or lack of response to referrals.

- d. Enhance convenience for the present and future residents of Arapahoe County by ensuring that appropriate supporting activities, such as employment, housing, leisure-time, and retail centers are in close proximity to one another.

The proposed FDP may enhance convenience for the present and future residents of Arapahoe County by providing for employment.

- e. Ensure that public health and safety is adequately protected against natural and man-made hazards which include, but are not limited to, traffic noise, water pollution, airport hazards, and flooding.

The proposed FDP seeks to ensure that public health and safety is adequately protected against natural and man-made hazards, as long as this proposed FDP meets certain site plan, engineering, building code standards and that drainage and water quality standards are met.

- f. Provide for accessibility within the proposed development, and between the development and existing adjacent uses. Adequate on-site interior traffic circulation, public transit, pedestrian avenues, parking and thoroughfare connections are all factors to be examined when determining the accessibility of a site.

Public accessibility will be provided for by the existing road and pedestrian system.

- g. Minimize disruption to existing physiographic features, including vegetation, streams, lakes, soil types and other relevant topographical elements.

There will be minimal disruption to existing physiographic features with this FDP. There is a stream located west of the properties. The GESC plan will help prevent decreasing water quality to the stream.

- h. Ensure that the amenities provided adequately enhance the quality of life in the area, by creating a comfortable and aesthetically enjoyable environment through conventions such as, the preservation of mountain views, the creation of landscaped open areas, and the establishment of recreational activities.

Increased landscaping will provide amenities for these properties.

- i. Enhance the usable open spaces in Arapahoe County, and provide sufficient unobstructed open space and recreational area to accommodate a project's residents and employees.

The FDP provides for 40+% open space on the replatted property.

Other Items:

This FDP encompasses two lots that are being replatted. The Planning Commission will not have a hearing on replatting. The BOCC will act upon the replat case at the same meeting that they act on the FDP.

This proposed development is located within the Centennial Airport Environs Planning Area (CAEPA) which has more stringent development standards (LDC Section 10-200). Because the existing building was built before CAEPA regulations were approved, Staff does not feel that the building should be subject to CAEPA standards. The proposed use is not restricted or prohibited under CAEPA regulations. The proposed development appears to generally meet all other CAEPA requirements.

III. REFERRAL COMMENTS

Comments received as a result of the referral process are as follows:

Engineering	Comments regarding FDP exhibit, drainage study, subdivision improvement agreement and floodplain permit. <i>Applicant has or will make corrections per Engineering Services comments. A floodplain permit and subdivision improvement agreement will be conditions of approval.</i>
-------------	---

Mapping	General comments. <i>Comments were addressed.</i>
Arapahoe County Assessor	No response.
Arapahoe County Zoning	No comments.
Arapahoe County Sheriff	No comments.
Army Corps of Engineers	Comments on 404 Permit.
Centennial Airport	Comments regarding Airport Influence Area. <i>Applicant will need to comply with AIA regulations.</i>
Urban Drainage	No response.
SEMSWA	No response.
South Metro FPD	No comments.
Centennial East Corporate Center Architectural Review Committee	No response.
Xcel Energy	No response.
City of Centennial	Consider adding additional landscaping or fence on west side of property. <i>Applicant is proposing a 6 ft. cedar fence, as well as landscaping, on western boundary of property.</i>
ACCWA	Requested applicant to provide information to ACCWA. <i>Applicant will need to provide information to ACCWA separately from the County.</i>
Post Office Coordinator	No response.
Cherry Creek Water Quality Basin Authority	No response.
Tri-County Health	Recommend an animal waste management plan. <i>An animal waste management plan will be a condition of approval.</i>
CDOT	No response.
Century Link/Phone	No response.

IV. STAFF FINDINGS:

Staff has visited the site and has reviewed the proposed Final Development Plan (FDP), supporting documentation and referral comments. Based upon review of applicable policies and goals in the Arapahoe County Comprehensive Plan and analysis of referral comments, our findings include:

1. Staff finds that the proposed Final Development Plan (FDP) appears to conform to the Arapahoe County Comprehensive Plan, with the property being designated as "Employment".
2. The FDP generally appears to satisfy the Arapahoe County Zoning Regulations and procedures, including Chapter 13, Section 13-100, Planned Unit Development (P.U.D).
3. This FDP appears to meet County design standards.
4. Some engineering issues need to be addressed.

V. RECOMMENDATION:

Considering the findings and other information provided herein, staff recommends approval of the proposed Freedom Service Dogs Final Development Plan (P15-008), subject to the following:

1. The applicant must make all modifications to the Final Development Plan as requested by the Public Works & Development Department.
2. The applicant agrees to address all Engineering Services Division and SEMSWA comments and concerns, as identified within their reports, prior to signed mylars.
3. Applicant enters into an SIA and provides collateral to the County for all public improvements associated with the project.
4. The applicant will need to obtain a Floodplain permit.
5. The applicant will need to develop and animal waste plan and submit to Tri-County Health and the County.

VI. DRAFT MOTIONS:

A. In the case of P15-008, Freedom Service Dogs Final Development Plan, we have read the staff report and received testimony at the public hearing. We find ourselves in agreement with staff findings including the draft plan and attachments as set forth in the staff report dated March 4, 2016, and recommend approval of this case, subject to the following conditions:

1. The applicant must make all modifications to the Final Development Plan as requested by the Public Works & Development Department.
2. The applicant agrees to address all Engineering Services Division and SEMSWA comments and concerns, as identified within their reports, prior to signed mylars.
3. Applicant enters into an SIA and provides collateral to the County for all public improvements associated with the project.
4. The applicant will need to obtain a Floodplain permit.
5. The applicant will need to develop and animal waste plan and submit to Tri-County Health and the County.

Attachments:
Application
FDP Exhibit
Referral Comments



Public Works and Development
6924 S. Lima Street
Centennial, Colorado 80112
Phone: 720-874-6650 FAX 720-874-6611
www.arapahoe.gov.com

Land Development Application
Formal

Form must be complete

Land Development Application material received after 2pm shall be date stamped as received the following working day.

APPLICANT/REPRESENTATIVE: INTERGROUP	ADDRESS: 200 W. LITTLETON BLVD INTERGROUP	SIGNATURE: <i>Amanda Sawicki</i>
	PHONE: 303-738-8877 FAX: 303-738-2297	NAME: Amanda Sawicki
	EMAIL: asawicki@igarch.com	TITLE: Architect
OWNER(S) OF RECORD: Freedom Service Dogs	ADDRESS: 2000 W. Union Ave	SIGNATURE:
	PHONE: 303-922-6231 FAX:	NAME: Brianne Corbett
	EMAIL: bcorbett@freedomservice dogs.com	CONTACT PERSON:
ENGINEERING FIRM: Civas Engr.	ADDRESS: Civas Engineering 10056 Brisbane Lane	
	PHONE: 720-240-5882 FAX: 720-223-6092	
	EMAIL:	

Pre-Submittal Case Number: **15-023** Pre-Submittal Planner: **Bill Skinner** Pre-Submittal Engineer: **Sarah White**

Parcel ID no. (AIN no.): **79299-62640-003**
Address: **7193 + 7173 S. DILLON CT.**
Subdivision Name & Filing: **Centennial Corp. Center, Filing #3**

	EXISTING	PROPOSED
Zoning:	MU	
Case/Project/Subdivision Name:		Freedom Service Dogs
Site Area (Acres):	2.6	
Floor Area Ratio (FAR):	13.6	
Density (Dwelling Units/Acre):		
Building Square Footage:	22118 SF	
Disturbed Area (Acres):	N/A	
Related Case Numbers: (Final/Preliminary Development Plan, Rezoning, and/or Plat)	P00-150 P99-090	

CASE TYPE

1041- Areas & Activities of State Interest	Location & Extent	Preliminary Development Plan	Special District/Title 30
1041- Areas & Activities of State Interest - Use by Special Review	Location & Extent - Major Amendment	Preliminary Development Plan - Major Amendment	Special District/Title 32
Comprehensive Plan	Master Development Plan	Preliminary Plat	Street Name Change
Final Development Plan	Master Development Plan - Major Amendment	Replat - Major	Use by Special Review
Final Development Plan - Major Amendment	Minor Subdivision	Rural Cluster	Use by Special Review - Major Amendment
Final Plat	Planned Sign Program	Rezoning Conventional	Use by Special Review - Oil & Gas
Land Development Code Amendment	Planned Sign Program - Major Amendment	Rezoning Conventional - Major Amendment	Vacation of Right-of-Way/Easement/Plat

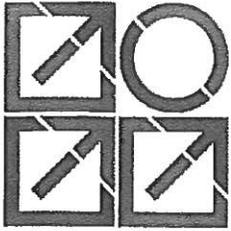
THIS SECTION FOR OFFICE USE ONLY

Case No: **P15-008** Planning Manager: **SK** Engineering Manager: **SNW** **Jul 26 2015**

Planning Fee: Y N \$ **500-** Engineering Fee: Y N \$ **2500**

ARAPAHOE COUNTY
PLANNING DIVISION

This application shall be submitted with all applicable application fees. Submittal of this application does not establish a vested property right in accordance with C.R.S. 24-68-105(1). Processing and review of this application may require the submittal of additional information, subsequent reviews, and/or meetings, as outlined in the Arapahoe County Land Development Code.



**INTERGROUP
ARCHITECTS**
Designing Success

LETTER OF INTENT
November 24, 2015

THE PROJECT:

Freedom Service Dogs, Centennial East Corporate Center Filing No. 10, Lot 1.

THE APPLICANT:

The Applicant/Property Owner is:

Freedom Service Dogs
7193 South Dillon Court
Englewood, CO 80112

The Local Representative/Agent for the Applicant is:

Intergroup, Inc.
Kris Belter, AIA
2000 West Littleton Boulevard
Littleton, Colorado 80120

GENERAL PROPOSAL DESCRIPTION:

This Final Development Plan, Administrative Replat and Vacation of Easement is to combine lots 1 and 2 into one property for the purpose of a service dog training facility.

Site Description: Lot 1 is 1.46 acres and lot 2 is 1.14 acres for a combined total site area of 2.6 acres. The site slopes down to the northwest to an existing drainage way. There is an existing building on lot 1 which will remain and be re-purposed. Lot 2 will be used for additional parking and dog run and training grounds. All dog run areas are fenced in and screened from view.

Building Description: The existing building will be used for the indoor dog kennels and office area. It is a two-story concrete masonry building with a footprint of 15,480 s.f. (13.6% of the site). The building has an existing partial second floor area of 7,958 s.f.

PRESENT ZONING:

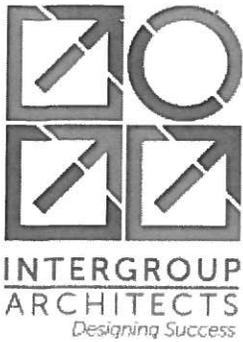
The site is presently zoned 'MU' – Mixed Use. The use proposed will remain as currently zoned.

PHONE
303.738.8877

FAX
303.738.2294

WEB
www.igarch.com

ADDRESS
2000 W. Littleton Blvd
Littleton, CO 80120



February 12, 2016

Arapahoe County Planning Department:
Sarah White, Engineering Services Division
Sherman Feher, Senior Planner
6924 South Lima St.
Centennial, Colorado 80112

Re: P15-008 / FDP
R15-004 / Administrative Replat
Freedom Service Dogs

Enclosed is the re-submittal of our planning documents for Freedom Service Dogs. We have made the corrections as requested in your review and redlines dated January 14, 2016.

Centennial Airport:

- There is an existing avigation and hazard easement on this property. The book and page number is included on the cover sheet of the Final Development Plan and a copy of the easement is included in this letter.
- The Centennial Airport is shown on the vicinity map.

City of Centennial:

We have proposed a 6' high cedar fence along the Western property line.

Department of the Army Corps of Engineers:

This project is not dredging or using any fill material that would affect the waters of the United States (WOUS).

Arapahoe County Mapping:

Redline Comments have been corrected.

Arapahoe County Sheriff:

No Comments

South Metro Fire District:

No Comments

Tri-County Health:

A Waste management plan for dog feces is included in the Phase III Drainage Report and included in this letter.

Arapahoe County Water and Wastewater Authority:

A presubmittal meeting was held with ACWWA on 2-3-16 and an official submittal has been

RECEIVED

FEB 15 2016

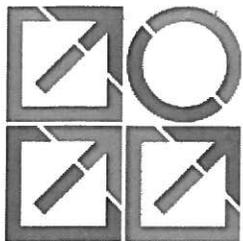
**ARAPAHOE COUNTY
PLANNING DIVISION**

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ADDRESS
2000 W. Littleton Blvd
Littleton, CO 80120



INTERGROUP
ARCHITECTS
Designing Success

made to that department.

Engineering Services Division:

The comments made by Sarah White, Engineering Services Division, are addressed in the attached letter by Civas Engineering dated Feb. 12, 2016.

South Metro Stormwater Authority:

The comments made by Angela Howare, Land Development Engineer, are addressed in the attached letter by Civas Engineering dated Feb. 12, 2016.

Thank you for your comments and review of this submittal.

Sincerely,

Kris Belter, AIA
Architect



ARAPAHOE COUNTY
COLORADO'S FIRST

Engineering Services Division

REFERRAL Review – Phase II

Date: January 14, 2016

To: Sherman Feher, Senior Planner, Planning Division

From: Sarah White, Engineering Services Division

Re: **Freedom Service Dogs**
P15-008 / FDP
R15-004 / Administrative Replat

Scope/Location:

Intergroup, Inc., on behalf of the property owner, Freedom Service Dogs, is requesting approval of the Replat and Final Development Plan of the Freedom Service Dogs Project, Centennial East Corporate Center Filing No. 10. The project proposes combining lots 1 and 2 of Centennial East Corporate Center Filing No. 3 into one lot. The proposal will keep the footprint of the existing building (interior remodel), add some outdoor kennels, as well as relocate and add additional parking.

The site is located within Centennial East Corporate Center Subdivision at the intersection of South Dillon Court and East Fremont Avenue. The site lies within the Windmill Creek drainage basin.

Items included with this referral:

RePlat
Final Development Plan
Phase III Drainage Study
Engineering Cost Estimate
Legal Description
Construction Drawings
Grading, Erosion and Sediment Control (GESC) Documents
Operations & Maintenance Manual

Cc: *Chuck Haskins, Engineering Services Division, Division Manager*
P15-008 & R15-004

Findings:

The Arapahoe County Division of Engineering Services has reviewed this referral and has the following findings:

1. This development lies within the Windmill Creek Watershed.
2. The Floodplain Hazard Area Delineation (FHAD) Report for Lone Tree Creek, Windmill Creek and Dove Creek dated July 2009 shows that the southwest corner of the parcel is subject to shallow flooding (depth 2 ft.). The FHAD is the regulatory document for this site.
3. This development lies within the Cherry Creek Watershed and within the boundaries of the Cherry Creek Basin Water Quality Authority (CCBWQA).
4. This development lies within the boundaries of the Southeast Metro Stormwater Authority (SEMSWA).
5. This development lies within the boundaries of the Urban Drainage and Flood Control District (UDFCD).
6. This development will require a Subdivision Improvement Agreement (SIA) to guarantee on site and off site public improvements.
7. Engineering Fees for this case review have been paid.

Recommendations:

The Division of Engineering Services recommends this case favorably subject to the following conditions:

1. The applicant agrees to address the Division of Engineering Services' comments and concerns as identified within this report.
2. The applicant agrees to address comments issued by the Southeast Metro Stormwater Authority (SEMSWA).
3. The applicant executes a Subdivision Improvement Agreement.
4. A Floodplain permit will be required.

STAFF COMMENTS

General

1. The application was referred to Southeast Metro Storm Water Authority (SEMSWA) for review. SEMSWA's redlines and comment letter are included with this staff report. A response to comment letter is required for all comments issued by the County and by the SEMSWA. Note that SEMSWA's approval must be obtained prior to final County approvals.
2. This site lies within the Cherry Creek Watershed, upstream of the Cherry Creek Reservoir which is monitored by the Cherry Creek Basin Water Quality Authority (CCBWQA). The Cherry Creek Reservoir Control Regulation No. 72 identifies specific requirements for erosion and sediment control BMPs on construction sites, including placing limits on the area of land that can be disturbed at any one time within this watershed. This application was referred to the CCBWQA for review. CCBWQA has no comments or concerns with the proposal as submitted. Any changes to the proposal will be resubmitted to CCBWQA for their review.
3. This parcel lies within the boundaries of the Urban Drainage and Flood Control District (UDFCD). In order to receive maintenance eligibility, UDFCD approval of drainage concepts and construction plans is a condition of Arapahoe County Approval. A referral to UDFCD has been sent but comments have not yet been returned. County will forward comments to applicant upon receipt. UDFCD's comments must be addressed prior to final County approvals.
4. The State of Colorado requires a Construction Stormwater Permit for construction related activities, which are in addition to the County's GESC permitting requirements, for projects exceeding one (1) acre of disturbance. The applicant should contact the Colorado Department of Public Health and Environment, Water Quality Control Division (WQCD) for information regarding said permit.
5. This development may impact the waters of the United States. A 404 permit may be necessary. Applicant to confirm with Army Corps of Engineer on whether site specific or nationwide 404 permit is required (see referral letter).
6. Please note that infrastructure proposed within the floodplain requires permitting under a Floodplain Development Permit.
7. Please confirm that Engineering redlines and other items as listed on the last page of this report are submitted to the Engineering Services Division.
8. **RESUBMITTAL PROCEDURE** - Attached to this report is an instruction checklist to the applicant regarding resubmittal of documents. The number of documents also includes documents requested by SEMSWA and/or CCBWQA. Staff will forward the applicable documents; please do not submit directly to SEMSWA and/or CCBWQA. The applicant and their consultants must follow these instructions explicitly to avoid delays in processing of this case.

RePlat

9. See redlines for comments

Final Development Plan

10. Removed references to “proposed” in regards to the easements – the Replat and all applicable easements will record prior to the recordation of the FDP.
11. Please keep trees out of stormwater facilities including swales
12. See redlines for additional comments.

Traffic Impact Study (TIS)

13. Staff has no further comments and finds the TIS Waiver acceptable, pending Planning Commission and Board of County Commissioner Approvals.

Phase III Drainage Study

14. See redlines for comments

Engineering Cost Estimate

15. Staff agrees with current cost estimate- however we are pending review comments from UDFCD to determine whether additional outlet improvements will need to be made. Staff will continue to work with applicant to get cost estimate finalized. Collateral letter of Intent will need to be updated as well.

Construction Drawings

16. See redlines for comments

Grading, Erosion and Sediment Control (GESC) Documents

Plans and Report

17. SEMSWA will be the approval authority for the GESC - please reference notes provided by SEMSWA

Operations & Maintenance Manual

18. See redlines for comments

Floodplain Easement Agreement

19. Please see redlines for the legal description as provided by the mapping department. Also, SEMSWA has noted there is an area that may be missing from the legal description, please reference SEMSWA notes.

20. Staff has prepared the Floodplain Easement and reviewed with County Attorney. Please review and note any changes as applicable. The attorney reasoned that we did not need to use the term "temporary" since we are establishing termination criteria within the agreement.
21. The easement agreement will be presented to the BoCC.

Resubmittal Requirements for the County Engineering Services Division

Incomplete resubmittal packages will not be reviewed until all of the information requested on this form has been provided. This sheet must be attached to your resubmittal with the revised documents in the quantities listed below.

	Item Name	# of items
X	A copy of this Resubmittal Checklist	1
X	Completed Review and Approval Form (Arapahoe County Form 581) available on-line at http://www.arapahoegov.com/index.aspx?NID=569	1
	Completed GESC Application for Review and Approval Form (County Form 403)	
	Grading, Erosion and Sediment Control (GESC) Plans & Report	
X	Construction Plans	1 or digital
	Traffic Impact Study	
	Pavement Design Report	
	Geotechnical Study / Preliminary Soils report	
X	Phase III Drainage Study	1 or digital
	Drainage Letter of Conformance	
X	Operations & Maintenance Manual	1 or digital
X	Engineering Cost Estimate	1 or digital
	Legal Description	
	Legal name, legal address, and title (if any) of the Owner, assign, or person with signatory authority on behalf of the Owner	
X	Collateral Letter of Intent	1 or digital
X	Agreement review and/or execution: SIA	1 or digital
	Redline(s) for:	
X	Letter of point-by-point response to Engineering Staff comments	1 or digital
X	SEMSWA redlines and response to comments (refer to SEMSWA comments)	1 or digital
	Fees Due: n/a – ESD review fees are paid	\$0

Case No. P15-008 & R15-004

Case Engineer: Sarah White

Submit digital submissions to EngineeringSubmittals@arapahoegov.com

The number of documents also includes documents requested by SEMSWA, UDFCD and/or CCBWQA. Staff will forward the applicable documents; please do not submit directly to SEMSWA, UDFCD and/or CCBWQA.



Public Works and Development
 6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611
www.co.arapahoe.co.us

Planning Division
 Phase II Referral Routing

Case Number / Case Name:	P15-008 & R15-004 / Centennial E Corp Ctr #3 / Final Development Plan and Replat
Planner:	Sherman Feher
Engineer:	Sarah L White
Date:	12/18/2015
Date to be returned:	01/06/2016

Arapahoe County Agencies		Citizen's Organizations		
<input checked="" type="checkbox"/>	Assessor / Arapahoe County	Beverly Reynolds		
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/> CCNA-Cherry Creek Neighborhoods Ass.	
<input type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/> CECON-(Within Centennial)	
<input checked="" type="checkbox"/>	Engineering / Arapahoe County		<input type="checkbox"/> Four Square mile Neighborhood	
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	<input type="checkbox"/> South Metro Chamber of Commerce	
<input type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	Conservation District	
<input type="checkbox"/>	Open Space / Arapahoe County	Shannon Carter	<input type="checkbox"/> Deer Trail Conservation District	
<input checked="" type="checkbox"/>	Planning / Arapahoe County		<input type="checkbox"/> West Arapahoe Conservation District	Tasha Chevarria
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	Transportation	
<input type="checkbox"/>	Weed Control / Arapahoe County	Russell Johnson	<input checked="" type="checkbox"/> CDOT / State Highway Dept- Region 1	Rick Solomon
<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input type="checkbox"/> E-470 Authority	Peggy Davenport
Referral Agencies			<input type="checkbox"/> RTD	Chris Quinn
<input checked="" type="checkbox"/>	Centennial East Corp Ctr Architectural Review Committee	Doug Barnes	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	Centennial Airport <i>Aaron Repp</i>	Lisa Gajowski	Utilities: Gas, Electric & Phone	
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input checked="" type="checkbox"/> Centurylink/Phone	Charles Place
<input type="checkbox"/>	City / Town		<input type="checkbox"/> Conoco Phillips / Gas Pipeline	
<input type="checkbox"/>	Colorado Parks and Wildlife		<input checked="" type="checkbox"/> XCEL	Donna George
<input type="checkbox"/>	County		<input checked="" type="checkbox"/> IREA	
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<input type="checkbox"/>	Metro District		<input checked="" type="checkbox"/> U.S. Army Corp. of Engineer	Kiel Downing
<input checked="" type="checkbox"/>	Post Office Growth Coordinator	Jaime Hernandez	<input checked="" type="checkbox"/> CCBWQA	
<input type="checkbox"/>	Reap I-70 Regional Economic Advancement Partnership		<input type="checkbox"/> Colorado Division of Water Resources	Joanne Williams
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<input type="checkbox"/>	Special District		<input checked="" type="checkbox"/> Urban Drainage	David Mallory
<input checked="" type="checkbox"/>	Tri-County	Sheila Lynch	<input type="checkbox"/> Other / 5 Sets East End Adv. Committee	
<input type="checkbox"/>	HOA/Homeowners Associations			

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COMMENTS:	SIGNATURE
<input type="checkbox"/> Have NO Comments to make on the case as submitted	
<input checked="" type="checkbox"/> Have the following comments to make related to the case: <i>Please see attached letter</i>	<i>Aaron Repp</i>



CENTENNIAL AIRPORT
ARAPAHOE COUNTY PUBLIC AIRPORT AUTHORITY

7800 South Peoria Street, Unit G1
Englewood, Colorado 80112
main: 303.790.0598
fax: 303.790.2129
www.centennialairport.com

December 29, 2015

Mr. Sherman Feher
Arapahoe County, Public Works and Development
6924 S. Lima St.
Centennial, CO 80112

Re: P15-008 & R15-004; Centennial E Corp Ctr #3; Final Development Plan and Replat.

Dear Mr. Feher,

Thank you for the opportunity to review the Freedom Service Dog Training Facility Site Plan. We have the following comments to make on the project:

- The proposed development lies within Airport Influence Area (AIA), and will be subjected to numerous aircraft overflights and their associated effects. These effects include, but are not limited to: noise, smoke, dust, fumes and vibrations. An aviation easement is required for development within the AIA and highly recommended for proposed development near the AIA.
- Any objects on the site (including cranes used during construction) that penetrate a 100:1 slope from the nearest point of the nearest runway will require filing and approval of FAA Form 7460-1. This form may take 90 days or more for approval. <https://oeaaa.faa.gov> for more information and to file FAA Form 7460-1. **Please note that this is a State and Federal regulatory requirement.** Runway endpoint data is available from the Airport for engineering calculations.
- Centennial Airport requests that all easements and notes executed on behalf of The Arapahoe County Public Airport Authority not be vacated and remain in place.
- Please forward a copy of the recorded easement to our office.
- Book and page number of the aviation easement must be included on all plats and plans.
- Please include the Airport on the vicinity map.

Please feel free to call me if you have any questions.

Sincerely,

Aaron Repp
Noise & Environmental Specialist



Public Works and Development
 6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611
www.co.arapahoe.co.us

Planning Division
 Phase II Referral Routing

Michael

Case Number / Case Name:	P15-008 & R15-004 / Centennial E Corp Ctr #3 / Final Development Plan and Replat
Planner:	Sherman Feher
Engineer:	Sarah L White
Date:	12/18/2015
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Arapahoe County Agencies		Citizen's Organizations	
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COMMENTS:	SIGNATURE
<input type="checkbox"/> Have NO Comments to make on the case as submitted	<i>Michael Feher, AKP</i>
<input checked="" type="checkbox"/> Have the following comments to make related to the case: Please see attached letter.	
	Planner II



ATTN: Sherman Feher
Arapahoe County Public Works and Development
6924 S. Lima St.
Centennial, CO 80112

Re: Phase II Referral P15-008 & R15-004 / Centennial E Corp Ctr #3 / Final Development Plan and Replat (City Referral RF-15-00318)

Mr. Feher:

Thank you for your referral request to the City of Centennial regarding the proposed Centennial E Corp Ctr #3 / Final Development Plan and Replat project. The City of Centennial appreciates the opportunity to review the proposed FDP and Plat and offers the following comment:

1. Consider adding additional landscaping and opaque wall along the western property line in order to buffer the use from the properties zoned Industrial (I) on the opposite side of the SEMSWA-owned tract.

Thank you for the opportunity to review and comment on this application. Please feel free to contact me at (303) 754-3356 or mgradis@centennialco.gov if you need clarification on the above comment or if you have additional questions.

Sincerely,

City of Centennial

A handwritten signature in black ink that reads "Michael Gradis".

Michael Gradis, AICP
Planner II

P15-008 & R15-004 / CENTENNIAL E CORP CTR#3/
FINAL DEVELOPMENT PLAN AND REPLAT
6924 S. LIMA STREET
CENTENNIAL CO 80112



DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS, OMAHA DISTRICT
DENVER REGULATORY OFFICE, 9307 SOUTH WADSWORTH BOULEVARD
LITTLETON, COLORADO 80128-6901

RE: Section 404 of the Clean Water Act Initial Comments

To whom it concerns:

In accordance with Section 404 of the Clean Water Act, the Corps of Engineers regulates the discharge of dredged or fill material, and any excavation associated with a dredged or fill project, either temporary or permanent, into waters of the United States (WOUS). You should notify this office if the project proposed falls within these regulated activities because the project may require a Department of the Army Section 404 permit.

A WOUS may include ephemeral and/or perennial streams, wetlands, lakes, ponds, drainage ditches and irrigation ditches. A wetland delineation must be conducted, and verified by the Corps of Engineers, using the methods outlined in the *Corps of Engineers Wetlands Delineation Manual* (Environmental Laboratory 1987) and *Regional Supplement to the Corps of Engineers Wetland Delineation Manual*: (using applicable Regional Supplement) to determine wetlands based on the presence of three wetland indicators: hydrophytic vegetation, hydric soils, and wetland hydrology. Wetland delineations must be conducted in the field by a qualified environmental consultant and any aquatic resource boundaries must be identified accordingly. Once the aquatic resources have been identified, only this office can determine if they are WOUS. Please note that development of the upland areas, avoiding stream and wetland resources, does not require authorization from this office.

Nationwide Permits (NWP) authorize common types of fill activities in WOUS that will result in a minimal adverse effect to the environment. Descriptions of the 52 types of nationwide permit activities and their general conditions can be found on our website:

<http://www.nwo.usace.army.mil/Missions/RegulatoryProgram/Colorado.aspx>.

Some fill activities require notifying the Corps before starting work. Also, some types/sizes of work may require additional information or mitigation.

Regional General Permits (RGP) authorize specific types of fill activities in WOUS that will result in a minimal adverse effect to the environment. Descriptions of the 4 types of regional general permit activities and their general conditions can be found on our website:

<http://www.nwo.usace.army.mil/Missions/RegulatoryProgram/Colorado/RegionalGeneralPermits.aspx>. These fill activities require notifying the Corps before starting work, and possibly other local or state agencies. Also, some types/sizes of work may require additional information or mitigation. Please note several of the RGP's are applicant and location specific.

Individual permits may authorize fill activities that are not covered under the NWP or Regional General Permits (RGP's). This permit will be processed through the public interest review procedures, including public notice and receipt of comments. An alternative analysis (AA) must be provided with this permit action. The AA must contain an evaluation of environmental impacts for a range of alternatives. These alternatives should include the preferred action, no action alternative, and other action alternatives that would be the identified project purpose. Other action alternatives should include other practicable (with regards to cost, logistics, and technology) that meet the overall project purpose. The alternatives could include offsite alternatives and alternative designs. When evaluating individual permit applications, the Corps can only issue a permit for the least environmentally damaging practicable alternative (LEDPA). In some cases, the LEDPA may not be the applicant's preferred action. The individual permit application form and form instructions can be found on our website: <http://www.usace.army.mil/Missions/CivilWorks/RegulatoryProgramandPermits/ObtainPermit.aspx>.

If the activity requires a Department of the Army permit as a result of any impacts to WOUS or any earth disturbances within that resource, a federal action will occur. For the Corps to make a permit decision, the applicant must provide enough information to demonstrate compliance with Section 106 of the National Historic Preservation Act (NHPA) and Section 7 of the Endangered Species Act (ESA).

The activity must be designed and constructed to avoid and minimize adverse effects, both temporary and permanent, to WOUS to the maximum extent practicable at the project site. Mitigation in all its forms (avoiding, minimizing, rectifying, reducing, or compensating for resource losses) will be required to the extent necessary to ensure that the adverse effects to the aquatic environment are minimal. Any loss of an aquatic site may require mitigation. Mitigation requirements will be determined during the Department of the Army permitting review.

If the information that was submitted could impact WOUS, which are jurisdictional resources, this office should be notified. If a section 404 permit is required, work in an aquatic site should be identified by the proponent of the project and be shown on a map identifying the Quarter Section, Township, Range and County, Latitude and Longitude, Decimal Degrees (example 39.55555; -104.55555) and the dimensions of work in each aquatic site.

If there are any questions, please call the Denver Regulatory Office at 303-979-4120.

Sincerely,

A handwritten signature in black ink, appearing to read 'Kiel Downing', with a long horizontal flourish extending to the right.

Kiel Downing
Chief, Denver Regulatory Office

Enclosures:
-PCN Requirements



Pre-Construction Notification (PCN) Requirements

(Nationwide Permit General Condition No. 31
from the February 21, 2012 Federal Register)

**US Army Corps of Engineers,
Omaha District, Denver Regulatory Office
9307 South Wadsworth Blvd,
Littleton, CO 80128
Phone: (303) 979-4120**

Website: <http://www.nwo.usace.army.mil/Missions/RegulatoryProgram/Colorado.aspx>

Contents of Pre-Construction Notification:

The PCN must be in writing and include the following information:

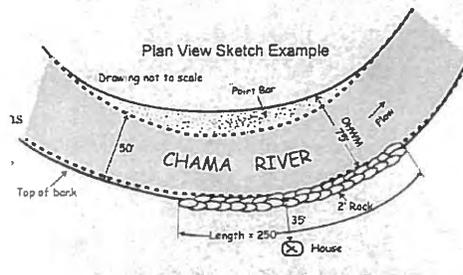
- (1) Name, address and telephone numbers of the prospective permittee;
- (2) Location of the proposed project;
- (3) A description of the proposed project; the project's purpose; direct and indirect adverse environmental effects the project would cause, including the anticipated amount of loss of water of the United States expected to result from the NWP activity, in acres, linear feet, or other appropriate unit of measure; any other NWP(s), regional general permit(s), or individual permit(s) used or intended to be used to authorize any part of the proposed project or any related activity. The description should be sufficiently detailed to allow the district engineer to determine that the adverse effects of the project will be minimal and to determine the need for compensatory mitigation. Sketches should be provided when necessary to show that the activity complies with the terms of the NWP. (Sketches usually clarify the project and when provided results in a quicker decision. Sketches should contain sufficient detail to provide an illustrative description of the proposed activity (e.g., a conceptual plan), but do not need to be detailed engineering plans);
- (4) The PCN must include a delineation of wetlands, other special aquatic sites, and other waters, such as lakes and ponds, and perennial, intermittent, and ephemeral streams, on the project site. Wetland delineations must be prepared in accordance with the current method required by the Corps. The permittee may ask the Corps to delineate the special aquatic sites and other waters on the project site, but there may be a delay if the Corps does the delineation, especially if the project site is large or contains many waters of the United States. Furthermore, the 45 day period will not start until the delineation has been submitted to or completed by the Corps, as appropriate;
- (5) If the proposed activity will result in the loss of greater than 1/10-acre of wetlands and a PCN is required, the prospective permittee must submit a statement describing how the mitigation requirement will be satisfied, or explaining why the adverse effects are minimal and why compensatory mitigation should not be required. As an alternative, the prospective permittee may submit a conceptual or detailed mitigation plan.
- (6) If any listed species or designated critical habitat might be affected or is in the vicinity of the project, or if the project is located in designated critical habitat, for non-Federal applicants the PCN must include the name(s) of those endangered or threatened species that might be affected by the proposed work or utilize the designated critical habitat that may be affected by the proposed work. Federal applicants must provide documentation demonstrating compliance with the Endangered Species Act; and
- (7) For an activity that may affect a historic property listed on, determined to be eligible for listing on, or potentially eligible for listing on, the National Register of Historic Places, for non-Federal applicants the PCN must state which historic property may be affected by the proposed work or include a vicinity map indicating the location of the historic property. Federal applicants must provide documentation demonstrating compliance with Section 106 of the National Historic Preservation Act.

(8) Attach map and sketches- examples shown here.

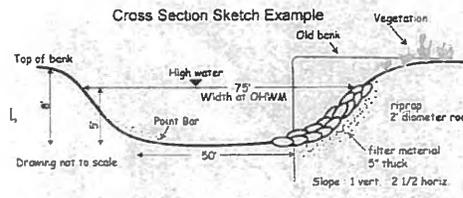
Location Map: Photocopy from road or topo map; indicate site location, any landmarks, etc.



Plan View Sketch: “Bird’s-eye view”; include all features- distances, length and width; dimensions of features and stream/wetlands.



Cross Section Sketch: “Cut away view”; include heights, widths of structures, channel, wetland, bank slopes, etc.





Public Works and Development

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

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Planning Division

Phase II Referral Routing

Case Number / Case Name:	P15-008 & R15-004 / Centennial E Corp Ctr #3 / Final Development Plan and Replat
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Arapahoe County Agencies			Citizen's Organizations		
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	COMMENTS:	SIGNATURE
<input type="checkbox"/>	Have NO Comments to make on the case as submitted	
<input checked="" type="checkbox"/>	Have the following comments to make related to the case:	SEE REDLINES IN BLUE BEAM KK 12-21-15



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www.co.arapahoe.co.us

Planning Division
 Phase II Referral Routing

RECEIVED
 DEC 23 2015
 ARAPAHOE COUNTY
 PLANNING DIVISION

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<input checked="" type="checkbox"/> Have NO Comments to make on the case as submitted	 12/21/15
<input type="checkbox"/> Have the following comments to make related to the case:	



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Planning Division
 Phase II Referral Routing

Case Number / Case Name:	P15-008 & R15-004 / Centennial E Corp Ctr #3 / Final Development Plan and Replat	REFDP15-00259 REFRP15-00260
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Engineer:	Sarah L. White	
Date:	12/18/2015	
Date to be returned:	01/06/2016	

Arapahoe County Agencies		Citizen's Organizations		
<input checked="" type="checkbox"/>	Assessor / Arapahoe County	Beverly Reynolds		
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/> CCNA-Cherry Creek Neighborhoods Ass.	
<input type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/> CECON-(Within Centennial)	
<input checked="" type="checkbox"/>	Engineering / Arapahoe County		<input type="checkbox"/> Four Square mile Neighborhood	
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	<input type="checkbox"/> South Metro Chamber of Commerce	
<input type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	Conservation District	
<input type="checkbox"/>	Open Space / Arapahoe County	Shannon Carter	<input type="checkbox"/>	Deer Trail Conservation District
<input checked="" type="checkbox"/>	Planning / Arapahoe County		<input type="checkbox"/>	West Arapahoe Conservation District
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	Transportation	
<input type="checkbox"/>	Weed Control / Arapahoe County	Russell Johnson	<input checked="" type="checkbox"/>	CDOT / State Highway Dept- Region 1
<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input type="checkbox"/>	E-470 Authority
Referral Agencies			<input type="checkbox"/>	RTD
<input checked="" type="checkbox"/>	Centennial East Corp Ctr Architectural Review Committee	Doug Bames	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	Centennial Airport	Lisa Gajowski	Utilities: Gas, Electric & Phone	
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input checked="" type="checkbox"/>	Centurylink/Phone
<input type="checkbox"/>	City / Town		<input type="checkbox"/>	Conoco Phillips / Gas Pipeline
<input type="checkbox"/>	Colorado Parks and Wildlife		<input checked="" type="checkbox"/>	XCEL
<input type="checkbox"/>	County		<input checked="" type="checkbox"/>	IREA
<input type="checkbox"/>	DRCOG		Water / Sanitation / Stormwater / Wetlands	
<input checked="" type="checkbox"/>	South Metro Fire District	Chip Kirkove	<input checked="" type="checkbox"/>	ACWWA
<input type="checkbox"/>	Metro District		<input checked="" type="checkbox"/>	U.S. Army Corp. of Engineer
<input checked="" type="checkbox"/>	Post Office Growth Coordinator	Jaime Hernandez	<input checked="" type="checkbox"/>	CCBWQA
<input type="checkbox"/>	Reap I-70 Regional Economic Advancement Partnership		<input type="checkbox"/>	Colorado Division of Water Resources
<input type="checkbox"/>	Recreation District / Park District (External)		<input checked="" type="checkbox"/>	SEMSWA
<input type="checkbox"/>	School District		<input type="checkbox"/>	ECCVW&S
<input type="checkbox"/>	Special District		<input checked="" type="checkbox"/>	Urban Drainage
<input checked="" type="checkbox"/>	Tri-County	Sheila Lynch	<input type="checkbox"/>	Other / 5 Sets East End Adv. Committee
<input type="checkbox"/>	HOA/Homeowners Associations			

The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate line and return to the Arapahoe County Planning Office on or before the date indicated above.

	COMMENTS:	SIGNATURE
<input checked="" type="checkbox"/>	Have NO Comments to make on the case as submitted	
<input type="checkbox"/>	Have the following comments to make related to the case:	



January 6, 2016

Sherman Feher
Arapahoe County Planning Division
6924 S Lima St
Centennial CO 80112

RE: Centennial E Corp Ctr #3 – Freedom Service Dogs
Case No. P15-008 & R15-004
TCHD No. 3736

Dear Mr. Feher:

Thank you for the opportunity to review and comment on the Final Development Plan and Replat of Centennial E Corp Ctr #3 for Freedom Service Dogs. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations. After reviewing the application, TCHD has the following comments:

Waste Management

Proper management of animal wastes such as dog feces and other solid wastes associated with the kennels (hair, food, soils, gravels, etc.) is essential to prevent nuisance conditions (odors) and vectors (flies). We strongly recommend that solid wastes associated with the kennels be regularly picked up, bagged and disposed of in a sanitary landfill. Liquid wastes (dog urine or washdown water) must be discharged such that they do not create nuisance conditions or impact water quality. It should be noted that dog waste does not break down in an on-site wastewater treatment system (septic system).

We recommend that the applicant develop a Waste Management Plan that indicates how animal waste will be managed. As a part of this plan, animal waste and trash volumes should be monitored regularly. If amounts exceed expectations, then more frequent pickups should be scheduled.

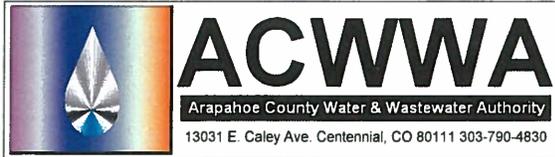
Please feel free to contact me at (720) 200-1585 or lbroten@tchd.org if you have any questions about TCHD's comments.

Sincerely,

A handwritten signature in black ink, appearing to read "L Broten".

Laurel Broten, MPH
Land Use and Built Environment Specialist
Tri-County Health Department

CC: Sheila Lynch, Brad Turpin, Steve Chevalier, TCHD



TO: Sherman Feher
Arapahoe County – Public Works & Development
6924 S. Lima Street
Centennial, CO. 80112

DATE: January 6, 2016

SUBJECT: **Freedom Service Dogs – Case#: P15-008 & R15-004 - ACWWA Referral Review Comments**

Dear Mr. Feher,

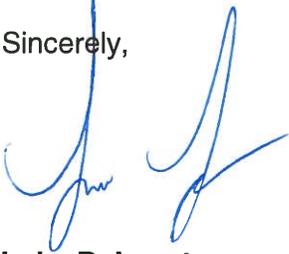
We appreciate the opportunity to review the above mentioned project on behalf of ACWWA and have the following comments for the applicant:

1. **Please submit directly to ACWWA for review, comment and approval (independent from City/County approval process).** Please refer to the “Development” link at www.arapahowater.org for additional design requirements and submittal procedures. An imprest account will need to be established at the time of the initial submittal, please refer to Appendix A of ACWWA’s Rules and Regulations for the respective amount.
2. Please provide plumbing plans, proposed fixtures and meter sizing calculations per AWWA M22. An M22 spreadsheet for meter sizing can be found and used at the above web address. Please provide all landscape and irrigation demand calculations as well. Separate service lines and meter pits are required for domestic, mechanical equipment, and irrigation services. ACWWA has a maximum 10 fps velocity requirement through the water service lines and meters. Tap fees for the respective services can be found in Appendix A of ACWWA’s Rules & Regulations which can be found at the website listed above. Tap Fees are based on tap equivalents, annual demands and maximum velocity requirements.
3. All existing and proposed ACWWA utilities, including meter pits are to be within a minimum 30’ wide easement dedicated to ACWWA by separate document. Please refer to “ACWWA Easement Checklist” at the web address for easement requirements and instructions for preparing easement exhibits. Parking, landscaping and permanent structures are not permitted within an ACWWA easement. ACWWA utilities are to be accessible by vehicle with unrestricted access through any security gates or fences.
4. Please provide a sampling manhole on the sanitary sewer service. Sampling manhole requirements can be found on ACWWA Standard Detail SS-6.
5. All ACWWA required documents are to be completed and approved prior to construction release, including tap fee payment, Letter of Credit established, easements recorded, Development Agreement completed, and wastewater discharge survey completed.
6. Please contact Arnie Reil at ACWWA to schedule a pre-submittal meeting. The pre-submittal meeting will cover ACWWA design and submittal requirements.

7. Please refer to the attached redlines for additional comments.

Merrick performs reviews on behalf of ACWWA, if you have any questions please contact me.

Sincerely,



Luke D. Lovato
Merrick & Company
5970 Greenwood Plaza Blvd.
Greenwood Village, CO 80111
303.353.3922
luke.lovato@merrick.com

Reviewed and approved,



Wade B. Wheatlake, P.E.
Merrick & Company
5970 Greenwood Plaza Blvd.
Greenwood Village, CO 80111
303.353.3683
wade.wheatlake@merrick.com



SCANNED

*THU
5 January 2016*

Public Works and Development
6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611
www.co.arapahoe.co.us

Planning Division
Phase II Referral Routing

Case Number / Case Name:	P15-008 & R15-004 / Centennial E Corp Ctr #3 / Final Development Plan and Replat
Planner:	Sherman Feher
Engineer:	Sarah L White
Date:	12/18/2015
Date to be returned:	01/06/2016

Arapahoe County Agencies		Citizen's Organizations		
<input checked="" type="checkbox"/>	Assessor / Arapahoe County	Beverly Reynolds		
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/> CCNA-Cherry Creek Neighborhoods Ass.	
<input type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/> CECON-(Within Centennial)	
<input checked="" type="checkbox"/>	Engineering / Arapahoe County		<input type="checkbox"/> Four Square mile Neighborhood	
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	<input type="checkbox"/> South Metro Chamber of Commerce	
<input type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	Conservation District	
<input type="checkbox"/>	Open Space / Arapahoe County	Shannon Carter	<input type="checkbox"/> Deer Trail Conservation District	
<input checked="" type="checkbox"/>	Planning / Arapahoe County		<input type="checkbox"/> West Arapahoe Conservation District	Tasha Chevarria
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	Transportation	
<input type="checkbox"/>	Weed Control / Arapahoe County	Russell Johnson	<input checked="" type="checkbox"/> CDOT / State Highway Dept- Region 1	Rick Solomon
<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input type="checkbox"/> E-470 Authority	Peggy Davenport
Referral Agencies			<input type="checkbox"/> RTD	Chris Quinn
<input checked="" type="checkbox"/>	Centennial East Corp Ctr Architectural Review Committee	Doug Barnes	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	Centennial Airport	Lisa Gajowski	Utilities: Gas, Electric & Phone	
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input checked="" type="checkbox"/> Centurylink/Phone	Charles Place
<input type="checkbox"/>	City / Town		<input type="checkbox"/> Conoco Phillips / Gas Pipeline	
<input type="checkbox"/>	Colorado Parks and Wildlife		<input checked="" type="checkbox"/> XCEL	Donna George
<input type="checkbox"/>	County		<input checked="" type="checkbox"/> IREA	
<input type="checkbox"/>	DRCOG		Water / Sanitation / Stormwater / Wetlands	
<input checked="" type="checkbox"/>	South Metro Fire District	Chip Kirkove	<input checked="" type="checkbox"/> ACWWA	
<input type="checkbox"/>	Metro District		<input checked="" type="checkbox"/> U.S. Army Corp. of Engineer	Kiel Downing
<input checked="" type="checkbox"/>	Post Office Growth Coordinator	Jaime Hernandez	<input checked="" type="checkbox"/> CCBWQA	
<input type="checkbox"/>	Reap I-70 Regional Economic Advancement Partnership		<input type="checkbox"/> Colorado Division of Water Resources	Joanne Williams
<input type="checkbox"/>	Recreation District / Park District (External)		<input checked="" type="checkbox"/> SEMSWA	Paul Danley
<input type="checkbox"/>	School District		<input type="checkbox"/> ECCVW&S	Chris Douglass
<input type="checkbox"/>	Special District		<input checked="" type="checkbox"/> Urban Drainage	David Mallory
<input checked="" type="checkbox"/>	Tri-County	Sheila Lynch	<input type="checkbox"/> Other / 5 Sets East End Adv. Committee	
<input type="checkbox"/>	HOA/Homeowners Associations			

The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate line and return to the Arapahoe County Planning Office on or before the date indicated above.

COMMENTS:	SIGNATURE
<input checked="" type="checkbox"/> Have NO Comments to make on the case as submitted	<i>Tammy King</i> <i>5 January 2016</i>
<input type="checkbox"/> Have the following comments to make related to the case:	

FINAL DEVELOPMENT PLAN

FREEDOM SERVICE DOGS

CENTENNIAL EAST CORPORATE CENTER FILING NO. 10

PART OF THE SW 1/4 OF SECTION 30, TOWNSHIP 5S, RANGE 66W OF THE 6TH P.M.
COUNTY OF ARAPAHOE, STATE OF COLORADO

STANDARD NOTES

THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDER(S) OF THE FINAL DEVELOPMENT PLAN KNOWN AS FREEDOM SERVICE DOGS/ CENTENNIAL EAST CORPORATE CENTER FILING NO. 10, THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAT/PLAN WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED, AND PROVIDED CONSTRUCTION OF SAID ROADWAYS IS STARTED WITHIN ONE YEAR OF THE CONSTRUCTION PLAN APPROVAL. THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

DRAINAGE MAINTENANCE

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENT. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. ARAPAHOE COUNTY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

EMERGENCY ACCESS NOTE

EMERGENCY ACCESS IS GRANTED HEREWITH OVER AND ACROSS ALL PAVED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES.

DRIVES, PARKING AREAS, AND UTILITY EASEMENTS MAINTENANCE

THE OWNERS OF THIS PLAN OR PLAT, THEIR SUCCESSORS, AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS, AND EASEMENTS, I.E.: CROSS-ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.

PRIVATE STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE PRIVATE ROADWAYS SHOWN ON THIS PLAT/PLAN ARE NOT IN CONFORMANCE WITH ARAPAHOE COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION. THE OWNERS, DEVELOPERS, AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

DRAINAGE LIABILITY

IT IS THE POLICY OF ARAPAHOE COUNTY THAT IT DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY CIVAS ENGINEERING. ARAPAHOE COUNTY REVIEWS DRAINAGE PLANS PURSUANT TO COLORADO REVISED STATUTES TITLE 30, ARTICLE 28, BUT CANNOT, ON BEHALF OF FREEDOM SERVICE DOGS GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW WILL ABSOLVE FREEDOM SERVICE DOGS AND/OR THEIR SUCCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN. IT IS THE POLICY OF ARAPAHOE COUNTY THAT APPROVAL OF THE FINAL PLAT AND/OR FINAL DEVELOPMENT PLAN DOES NOT IMPLY APPROVAL OF CIVAS ENGINEERING'S DRAINAGE DESIGN.

LANDSCAPE MAINTENANCE

THE OWNERS OF THIS PLAN OR PLAT, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNER'S ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.

SIGHT TRIANGLE MAINTENANCE

THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN SAID TRIANGLE.

PUBLIC IMPROVEMENTS NOTE

AFTER FINAL DEVELOPMENT PLAN/FINAL PLAT APPROVAL, ISSUANCE OF INDIVIDUAL BUILDING PERMITS WILL BE SUBJECT TO THE FOLLOWING STIPULATIONS AND/OR CONDITIONS PRECEDENT, WHICH OWNER AGREES TO IN CONJUNCTION WITH APPROVAL OF THE FINAL DEVELOPMENT PLAN AND/OR FINAL PLAT. SUCH BUILDING PERMITS WILL BE ISSUED ONLY AFTER THE OWNERS GUARANTEE PUBLIC IMPROVEMENTS IN A FORM ACCEPTABLE TO THE BOARD OF COUNTY COMMISSIONERS PURSUANT TO STATE STATUTE.

STREET LIGHTING

ALL LOTS ARE SUBJECT TO AND BOUND BY TARIFFS WHICH ARE NOW AND MAY IN THE FUTURE BE FILED WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO RELATING TO STREET LIGHTING IN THIS PLAN OR PLAT, TOGETHER WITH RATES, RULES, AND REGULATIONS THEREIN PROVIDED AND SUBJECT TO ALL FUTURE AMENDMENTS AND CHANGES THERETO. THE OWNER OR OWNERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL PAY AS BILLED, A PORTION OF THE COST OF PUBLIC STREET LIGHTING IN THE PLAN OR PLAT ACCORDING TO APPLICABLE RATES, RULES, AND REGULATIONS, INCLUDING FUTURE AMENDMENTS AND CHANGES ON FILE WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO.

STORMWATER MAINTENANCE

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT BEST MANAGEMENT PRACTICES (BMP'S) AND STORMWATER FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENTS AND THE OPERATIONS AND MAINTENANCE (O AND M) GUIDE IN THE CASE OF PERMANENT BMP'S. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, MAINTAINING THE SPECIFIED BMP'S CONTAINED IN THE O AND M MANUAL RECORDED AT RECEPTION NUMBER _____, AND THE STORMWATER FACILITIES SHOWN IN THE APPROVED PHASE III DRAINAGE REPORT AND SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS.

THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL PERMANENT BMP'S AND/OR STORMWATER FACILITIES ASSOCIATED WITH THIS DEVELOPMENT. IF THE PERMANENT BMP'S AND STORMWATER FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

AIRPORT INFLUENCE AREA NOTE

(OFF-SITE IMPROVEMENTS)

TO CARRY OUT ONE OR MORE OF THE FOLLOWING AS MAY BE REQUIRED BY THE BOARD OF COUNTY COMMISSIONERS:

- 1) TO INCLUDE SAID DEVELOPMENT WITHIN A SPECIAL DISTRICT FOR THE PURPOSE OF PARTICIPATION IN THE CONSTRUCTION OF NECESSARY OFF-SITE IMPROVEMENTS AT THE TIME OF APPROVAL OF FINAL DEVELOPMENT PLANS.
- 2) TO COOPERATE WITH OTHER OWNERS OF OTHER PARCELS AND/OR OTHER SPECIAL DISTRICTS IN OFF-SITE ROADWAY IMPROVEMENTS AS NECESSITATED BY THE DEVELOPMENT IMPACTS AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.
- 3) TO COMPLETE SUCH OTHER IMPROVEMENTS TO PUBLIC ROADWAYS BROUGHT ABOUT OR IMPACTED BY THIS DEVELOPMENT AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.
- 4) TO PARTICIPATE AND COOPERATE IN ANY TRANSPORTATION MANAGEMENT PROGRAM AS SPECIFIED IN THE AIRPORT INFLUENCE AREA TRANSPORTATION STUDY, IF SUCH A PROGRAM IS APPROVED AND/OR ADOPTED BY THE BOARD OF COUNTY COMMISSIONERS.

AIRPORT INFLUENCE AREA NOTE (EASEMENT/HAZARD EASEMENT)

AN AVIGATION AND HAZARD EASEMENT AFFECTING ALL PROPERTY CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN HAS BEEN LEGALLY EXECUTED. SAID EASEMENT DOCUMENT CAN BE FOUND IN BOOK 5312, PAGE 773, OF THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER. THE LANDS CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN LIE WITHIN THE AIRPORT INFLUENCE AREA, AN AREA WHICH IS LIKELY TO BE AFFECTED BY AIRCRAFT OPERATIONS AND THEIR POTENTIAL NOISE AND/OR CRASH HAZARDS TO A GREATER DEGREE THAN LANDS SITUATED OUTSIDE OF THE INFLUENCE AREA. ALL LANDS CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN SHALL COMPLY WITH F.A.R. PART 77, "HEIGHT AND OBSTRUCTIONS CRITERIA".

LEGAL DESCRIPTION

FREEDOM SERVICE DOGS, LOT 1, BLOCK 1 OF CENTENNIAL EAST CORPORATE CENTER FILING NO. 10, PART OF THE SW 1/4 OF SECTION 30, TOWNSHIP 5S, RANGE 66W OF THE 6TH P.M. COUNTY OF ARAPAHOE, STATE OF COLORADO

DRAINAGE MASTER PLAN NOTE

THE POLICY OF THE COUNTY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW:

1. DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE PHASE III DRAINAGE REPORT AND PLAN.
2. DESIGN AND CONSTRUCT THE CONNECTION OF THE SUBDIVISION DRAINAGE SYSTEM TO A DRAINAGEWAY OF ESTABLISHED CONVEYANCE CAPACITY SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGEWAY. THE COUNTY WILL REQUIRE THAT THE CONNECTION OF THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFFSITE FLOWS) LEAVING THE SPECIFIC DEVELOPMENT SITE. TO MINIMIZE OVERALL CAPITAL COSTS, THE COUNTY ENCOURAGES ADJACENT DEVELOPMENTS TO JOIN IN DESIGNING AND CONSTRUCTING CONNECTION SYSTEMS. ALSO, THE COUNTY MAY CHOOSE TO PARTICIPATE WITH A DEVELOPER IN THE DESIGN AND CONSTRUCTION OF THE CONNECTION SYSTEM.
3. EQUITABLE PARTICIPATION IN THE DESIGN AND CONSTRUCTION OF THE MAJOR DRAINAGEWAY SYSTEM THAT SERVES THE DEVELOPMENT AS DEFINED BY ADOPTED MASTER DRAINAGEWAY PLANS (SECTION 3.4 OF THE ARAPAHOE COUNTY STORMWATER MANAGEMENT MANUAL) OR AS REQ

BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ARAPAHOE COUNTY BOARD OF COMMISSIONERS, THIS ____ DAY OF _____ A.D., 20 ____.

CHAIR: _____

ATTEST: _____

PLANNING COMMISSION RECOMMENDATION

NOT RECOMMENDED/RECOMMENDED BY THE ARAPAHOE COUNTY PLANNING COMMISSION, THIS ____ DAY OF _____ A.D. 20 ____.

CHAIR: _____

CERTIFICATE OF OWNERSHIP

_____, HEREBY AFFIRM THAT I AM THE OWNER OR AUTHORIZED AGENT OF ALL INDIVIDUALS HAVING OWNERSHIP INTEREST IN THE PROPERTY DESCRIBED HEREIN, KNOWN AS FREEDOM SERVICE DOGS, CASE NUMBER P15-008.

OWNER OF RECORD OR AUTHORIZED AGENT

STATE OF _____)
S.S.

COUNTY OF _____)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS DAY

OF _____, 20 ____ BY _____

AS _____ OF _____ AN AUTHORIZED SIGNATORY.

BY _____ WITNESS MY HAND AND SEAL

NOTARY PUBLIC

_____ MY COMMISSION EXPIRES _____

LAND DATA CHART

SITE AREA:	113,443 S.F. (2.60 ACRES)		
BUILDING AREA:	1ST FLOOR:	15,480 S.F.	
	2ND FLOOR:	6,638 S.F.	
	TOTAL:	22,118 S.F.	(19.5%)
PAVED AREA:	29,715 S.F.	(26.2%)	
IMPERVIOUS GRAVEL AREA (DOG EXERCISE YARD): (COVERED OUTDOOR KENNEL AREA):	22,119 S.F. (7,106 S.F.)	(19.5%)	
LANDSCAPE AND SIDEWALK AREA:	46,099 S.F.	(40.7%)	
REQUIRED PARKING:	KENNEL/ STORAGE AREA:	12,457 S.F.	X 1 CAR/1000 S.F. = 13 CARS
	OFFICE:	10,981 S.F.	X 4 CARS/1000 S.F. = 45 CARS
PARKING PROVIDED:	58 CARS		= 58 CARS REQUIRED

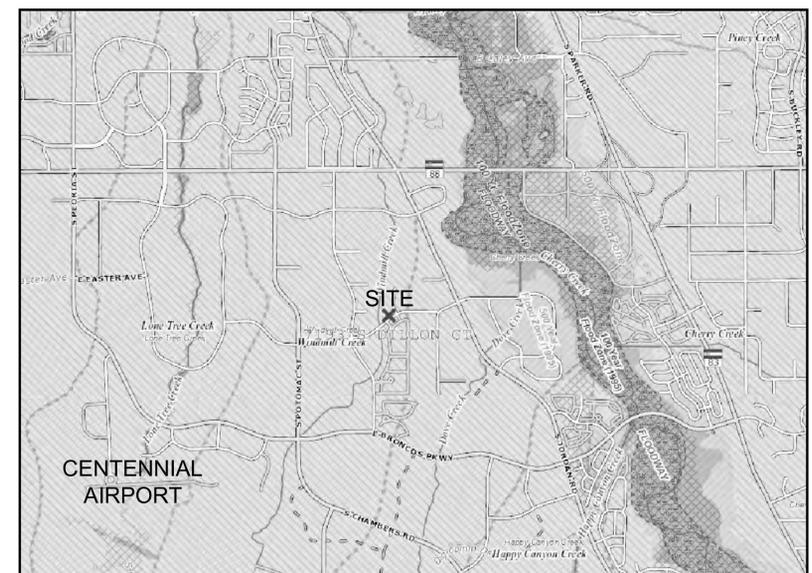
ITEM:	CENTENNIAL EAST CORPORATE CENTER FIRST AMENDMENT TO THE PRELIMINARY DEVELOPMENT PLAN Z99-003	OFFICE WAREHOUSE FACILITY FINAL DEVELOPMENT PLAN CENTENNIAL EAST CORPORATE CENTER FILING NO. 3 P00-150	FINAL DEVELOPMENT PLAN FREEDOM SERVICE DOGS CENTENNIAL EAST CORPORATE CENTER FILING NO. 10 P15-008
EXISTING ZONING	MU-PUD	MU-PUD	MU-PUD
PROPOSED ZONING	MU-PUD	MU-PUD	MU-PUD
EXISTING LAND USE	VACANT	VACANT	OFFICE/ LIGHT INDUSTRIAL
PROPOSED LAND USE	OFFICE/ LIGHT INDUSTRIAL	OFFICE/ LIGHT INDUSTRIAL	OFFICE/ LIGHT INDUSTRIAL
PERMITTED LAND USE	OFFICE/ LIGHT INDUSTRIAL	OFFICE/ LIGHT INDUSTRIAL	OFFICE/ LIGHT INDUSTRIAL
BUILDING SETBACKS			
FRONT	30'	58'-8"	58'-8"
REAR	0'	57'-7"	57'-7"
SIDE INTERIOR LOT	10'	55'-2"	10' (TO DOG KENNELS)
SIDE CORNER LOT	15'	20'	35'
MAXIMUM HEIGHT	100'	29'-0"	29'
OPEN SPACE %	25%	30%	40.7%
FLOOR AREA RATIO	0.75: 1 UNIT/ACRE	15,480 S.F. (24.4%) BASED ON BLDG. FOOTPRINT	22,118 S.F. (19.5%) BASED ON 2 STORIES

SIGNAGE

ALL SIGNAGE IS TO CONFORM TO ARAPAHOE COUNTY LAND DEVELOPMENT CODE

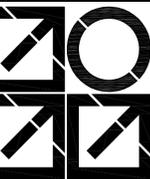
SHEET INDEX

1 OF 9	COVER SHEET
2 OF 9	SITE PLAN
3 OF 9	GRADING/ DRAINAGE PLAN
4 OF 9	UTILITY PLAN
5 OF 9	LANDSCAPE PLAN
6 OF 9	LANDSCAPE DETAILS
7 OF 9	BUILDING ELEVATIONS
8 OF 9	SITE PHOTOMETRIC PLAN
9 OF 9	PHOTOMETRIC DETAILS



VICINITY MAP

SCALE: 1" = 2000'



INTERGROUP ARCHITECTS

architecture
planning
interiors
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FREEDOM SERVICE DOGS

7193 SOUTH DILLON COURT
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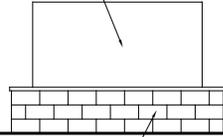
DATE	DESC.
10-20-15	FDP SUBMITTAL
11-24-15	FDP SUBMITTAL
02-09-15	FDP SUBMITTAL



FINAL DEVELOPMENT PLAN

FREEDOM SERVICE DOGS
CENTENNIAL EAST CORPORATE CENTER FILING NO. 10
PART OF THE SW 1/4 OF SECTION 30, TOWNSHIP 5S, RANGE 66W OF THE 6TH P.M.
COUNTY OF ARAPAHOE, STATE OF COLORADO

NEW 4' X 8' SIGN CABINET
LETTERING TO CONFORM TO
ARAPAHOE COUNTY STANDARDS



EXISTING CMU SIGN BASE TO REMAIN

2 MONUMENT SIGN

SCALE: 1/4" = 1'-0"

LOT 8, BLOCK 1, CENTENNIAL EAST
CORPORATE CENTER FILING NO. 3

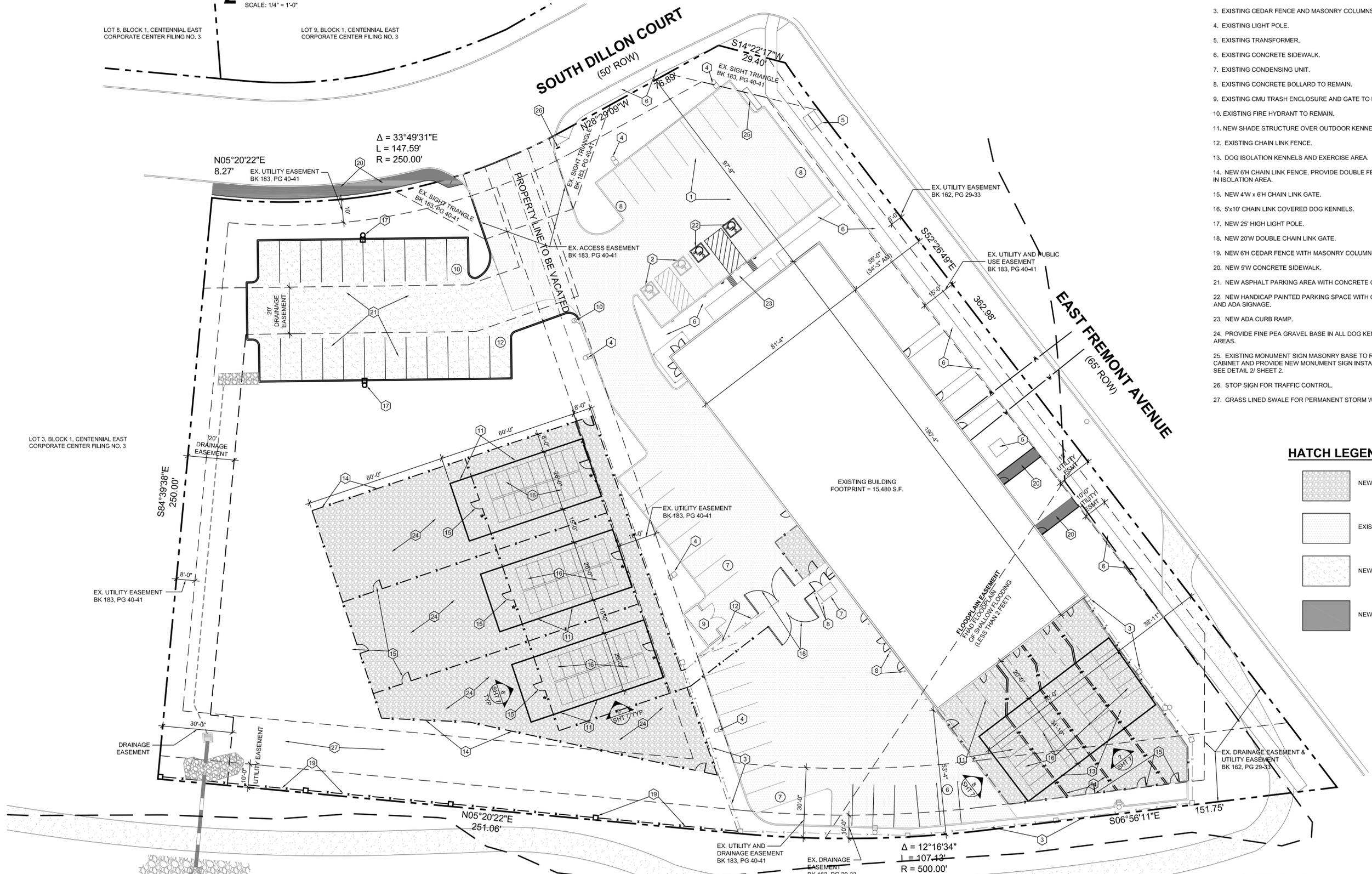
LOT 9, BLOCK 1, CENTENNIAL EAST
CORPORATE CENTER FILING NO. 3

SITE PLAN KEY NOTES:

- EXISTING ASPHALT PARKING AREA TO REMAIN (36 SPACES).
- EXISTING ACCESSIBLE HANDICAP PARKING (2 SPACES).
- EXISTING CEDAR FENCE AND MASONRY COLUMNS TO REMAIN.
- EXISTING LIGHT POLE.
- EXISTING TRANSFORMER.
- EXISTING CONCRETE SIDEWALK.
- EXISTING CONDENSING UNIT.
- EXISTING CONCRETE BOLLARD TO REMAIN.
- EXISTING CMU TRASH ENCLOSURE AND GATE TO REMAIN.
- EXISTING FIRE HYDRANT TO REMAIN.
- NEW SHADE STRUCTURE OVER OUTDOOR KENNEL AREAS.
- EXISTING CHAIN LINK FENCE.
- DOG ISOLATION KENNELS AND EXERCISE AREA.
- NEW 6" CHAIN LINK FENCE, PROVIDE DOUBLE FENCE WITH 8" SEPARATION IN ISOLATION AREA.
- NEW 4" W X 6" H CHAIN LINK GATE.
- 5' X 10' CHAIN LINK COVERED DOG KENNELS.
- NEW 25' HIGH LIGHT POLE.
- NEW 20' W DOUBLE CHAIN LINK GATE.
- NEW 6" H CEDAR FENCE WITH MASONRY COLUMNS, TO MATCH EXISTING.
- NEW 5" W CONCRETE SIDEWALK.
- NEW ASPHALT PARKING AREA WITH CONCRETE CURB AND GUTTER.
- NEW HANDICAP PAINTED PARKING SPACE WITH CENTER STRIPED AISLE AND ADA SIGNAGE.
- NEW ADA CURB RAMP.
- PROVIDE FINE PEA GRAVEL BASE IN ALL DOG KENNEL AND EXERCISE AREAS.
- EXISTING MONUMENT SIGN MASONRY BASE TO REMAIN. DEMO SIGN CABINET AND PROVIDE NEW MONUMENT SIGN INSTALLED ON EXISTING BASE. SEE DETAIL 2/ SHEET 2.
- STOP SIGN FOR TRAFFIC CONTROL.
- GRASS LINED SWALE FOR PERMANENT STORM WATER DRAINAGE.

HATCH LEGEND

- NEW PEA GRAVEL IN DOG EXERCISE AREA
- EXISTING ASPHALT PAVING
- NEW ASPHALT PAVING
- NEW CONCRETE SIDEWALK



LOT 3, BLOCK 1, CENTENNIAL EAST
CORPORATE CENTER FILING NO. 3

EXISTING BUILDING
FOOTPRINT = 15,480 S.F.

FLOODPLAIN EASEMENT
OF THE FLOODPLAIN
(LESS THAN 2 FEET)

1 SITE PLAN

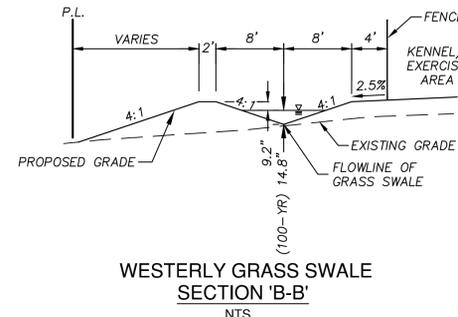
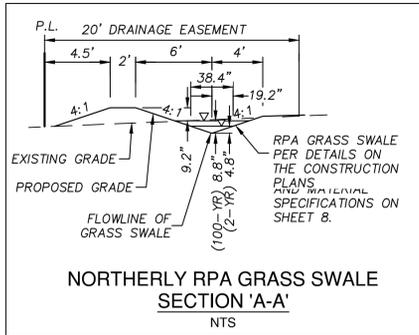
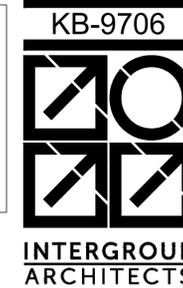
SCALE: 1" = 20'-0"



DATE	DESC.
10-20-15	FDP SUBMITTAL
11-24-15	FDP SUBMITTAL
02-09-15	FDP SUBMITTAL

FINAL DEVELOPMENT PLAN

FREEDOM SERVICE DOGS
CENTENNIAL EAST CORPORATE CENTER FILING NO. 10
PART OF THE SW 1/4 OF SECTION 30, TOWNSHIP 5S, RANGE 66W OF THE 6TH P.M.
COUNTY OF ARAPAHOE, STATE OF COLORADO



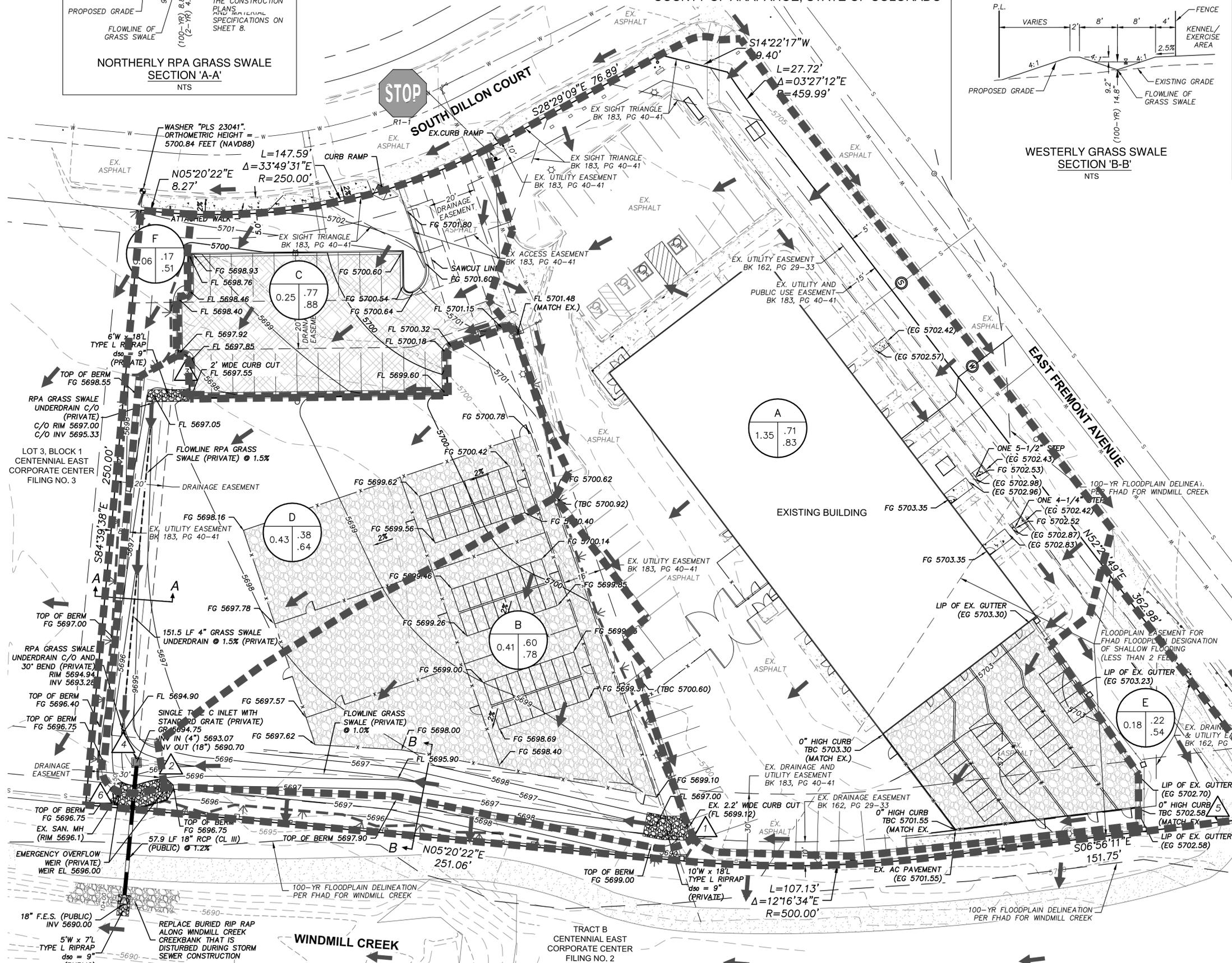
ESTIMATED EARTHWORK QUANTITIES: (FOR PERMIT PURPOSES ONLY)

EXCAVATION:	450 C.Y.
EMBANKMENT:	450 C.Y.
IMPORT/EXPORT:	0 C.Y.
TOTAL AREA OF DISTURBANCE:	1.28 AC.

- NOTES:
- THESE ESTIMATED EARTHWORK QUANTITIES ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING EARTHWORK QUANTITIES USED FOR BIDDING AND PAYMENT PURPOSES.
 - QUANTITIES SHOWN ARE UNADJUSTED.
 - A 6" PAVEMENT THICKNESS, A 6" SIDEWALK THICKNESS AND A 3" GRAVEL THICKNESS FOR THE EXERCISE/KENNEL AREAS WERE ASSUMED FOR ESTABLISHING SUBGRADE ELEVATIONS.

LEGEND:

- PROPERTY LINE
- LOT LINE
- EASEMENT LINE
- SPOT ELEVATION
- EXISTING CURB AND GUTTER
- EXISTING CONTOUR
- PROPOSED CONTOUR
- FINISH GRADE ELEVATION
- FLOWLINE ELEVATION
- TOP BACK OF CURB ELEVATION
- EXISTING GRADE ELEVATION
- INLET GRATE ELEVATION
- INVERT ELEVATION
- 1' WIDE SPILL CURB AND GUTTER
- 2' CATCH CURB AND GUTTER
- CONCRETE PAVEMENT (PAVEMENT DESIGN BY OTHERS)
- ASPHALT CEMENT PAVEMENT (PAVEMENT DESIGN BY OTHERS)
- GRAVEL BASE MATERIAL PER ARCHITECTURAL PLAN/DETAILS
- GRADING DAYLIGHT LINE
- A = BASIN DESIGNATION
- B = AREA IN ACRES
- C = 5 YEAR RUNOFF COEFFICIENT
- D = 100 YEAR RUNOFF COEFFICIENT
- DESIGN POINT
- BASIN BOUNDARY
- DRAINAGE FLOW DIRECTION



SUMMARY RUNOFF TABLE

DESIGN PT.	BASINS	CONTRIBUTING AREA acres	Q ₅ cfs	Q ₁₀₀ cfs
1	A	1.35	3.7	8.5
2	A & B	1.76	4.2	9.7
3	C	0.25	0.9	1.9
4	C & D	0.68	1.1	3.0
4	A, B, C & D	2.44	4.9	11.7
5	E	0.18	0.2	0.8
6	F	0.06	0.03	0.2

CASE No. P15-008

architecture
planning
interiors

FREEDOM SERVICE DOGS
7193 SOUTH DILLON COURT
ENGLEWOOD, CO 80112

DATE	DESC.
10-20-15	FDP SUBMITTAL
11-24-15	FDP SUBMITTAL
2-10-16	FDP SUBMITTAL

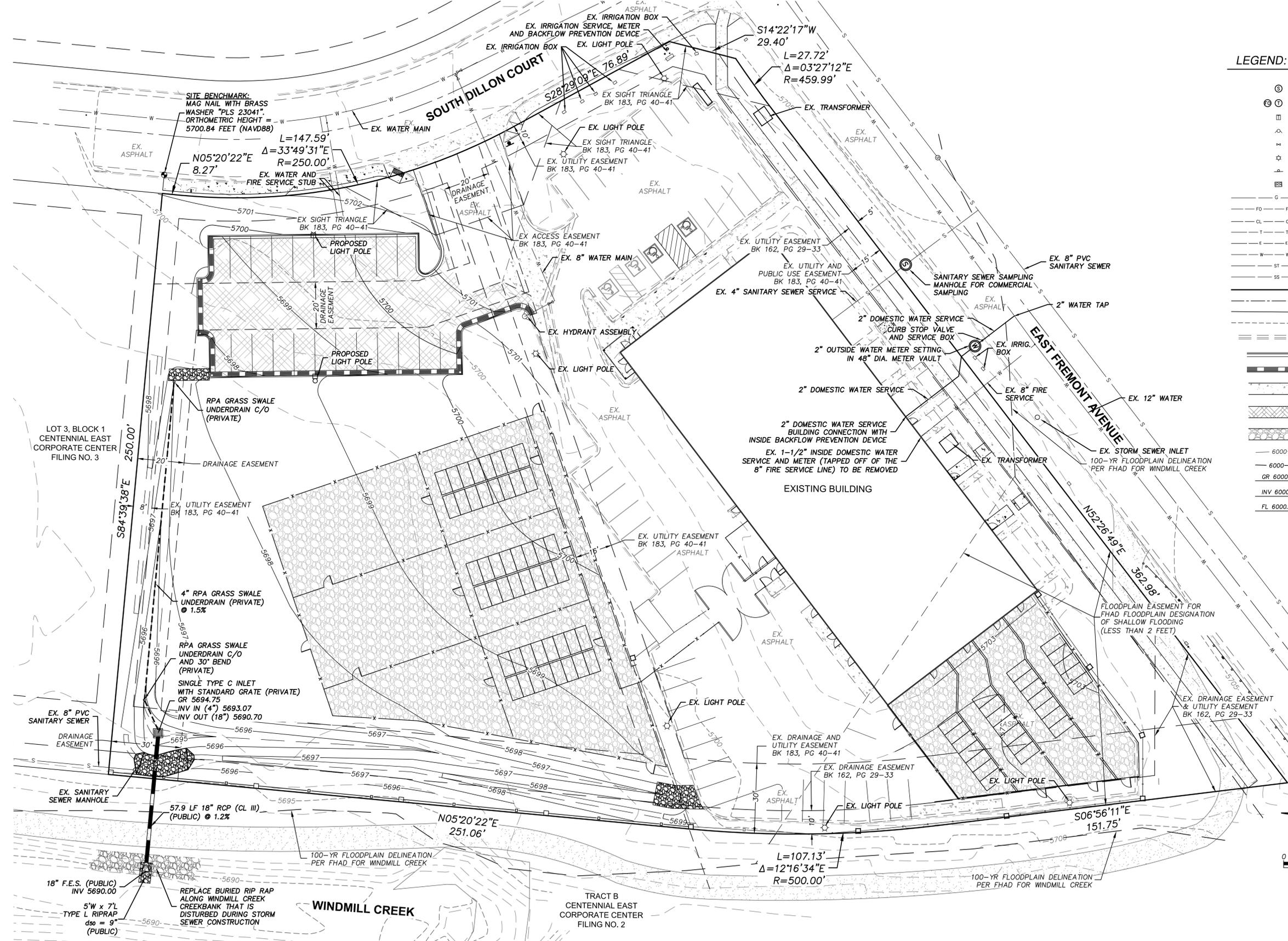
GRADING AND DRAINAGE PLAN
SHEET 3 OF 9

FINAL DEVELOPMENT PLAN

FREEDOM SERVICE DOGS

CENTENNIAL EAST CORPORATE CENTER FILING NO. 10

PART OF THE SW 1/4 OF SECTION 30, TOWNSHIP 5S, RANGE 66W OF THE 6TH P.M.
COUNTY OF ARAPAHOE, STATE OF COLORADO



LEGEND:

	EX. SANITARY SEWER MANHOLE
	EX. TELEPHONE MANHOLE / VAULT
	EX. UTILITY MANHOLE (UNKNOWN UTILITY)
	EX. FIRE HYDRANT
	EX. WATER VALVE
	EX. LIGHT POLE
	EX. SIGN
	EX. IRRIGATION CONTROL BOXES
	EX. GAS LINE
	EX. FIBER OPTIC LINE
	EX. PHONE LINE (CENTURY LINK)
	EX. ELECTRIC LINE
	EX. WATERLINE
	EX. STORM SEWER
	EX. SANITARY SEWER
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	EXISTING CURB AND GUTTER
	1' WIDE SPILL CURB AND GUTTER
	2' CATCH CURB AND GUTTER
	CONCRETE PAVEMENT (PAVEMENT DESIGN BY OTHERS)
	ASPHALT CEMENT PAVEMENT (PAVEMENT DESIGN BY OTHERS)
	GRAVEL BASE MATERIAL PER ARCHITECTURAL PLAN/DETAILS
	EXISTING CONTOUR
	PROPOSED CONTOUR
	INLET GRATE ELEVATION
	INVERT ELEVATION
	FLOWLINE ELEVATION

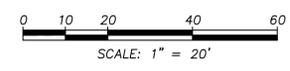
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FREEDOM SERVICE DOGS

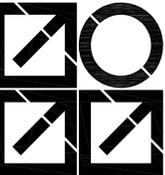
7193 SOUTH DILLON COURT
ENGLEWOOD, CO 80112

DATE	DESC.
10-20-15	FDP SUBMITTAL
11-24-15	FDP SUBMITTAL
2-10-16	FDP SUBMITTAL



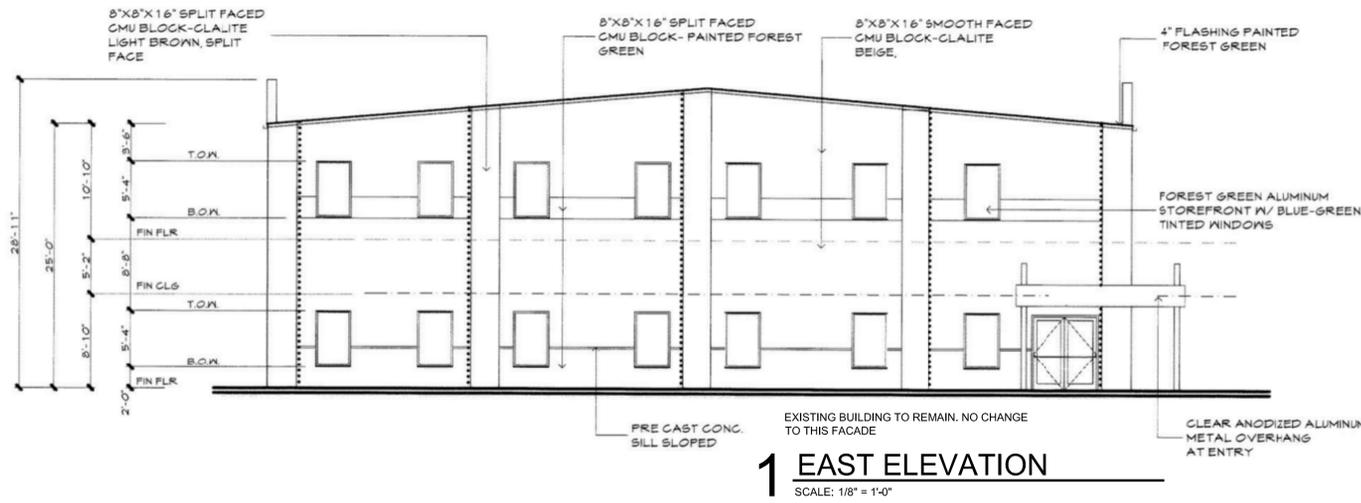
FINAL DEVELOPMENT PLAN
FREEDOM SERVICE DOGS
CENTENNIAL EAST CORPORATE CENTER FILING NO. 10
 PART OF THE SW 1/4 OF SECTION 30, TOWNSHIP 5S, RANGE 66W OF THE 6TH P.M.
 COUNTY OF ARAPAHOE, STATE OF COLORADO

KB-9706

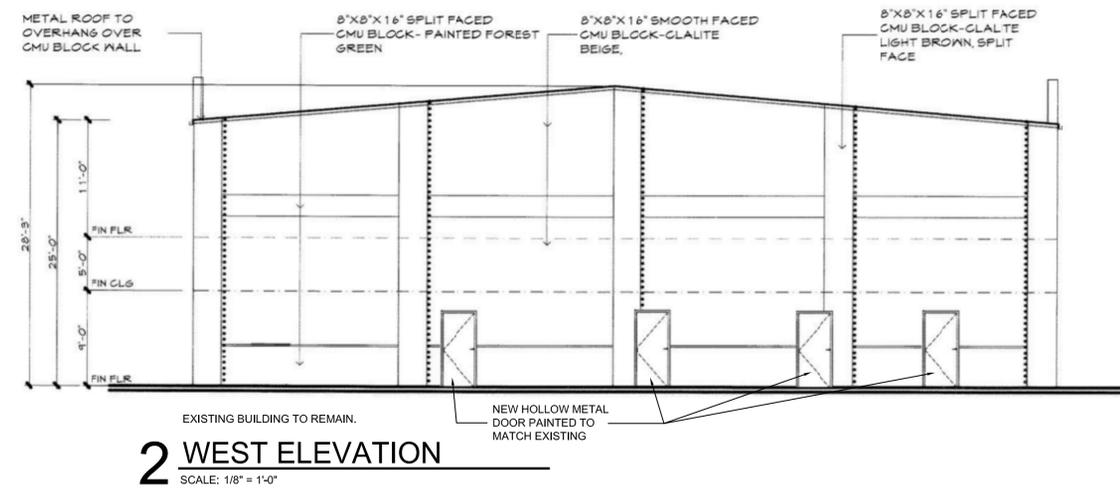


**INTERGROUP
ARCHITECTS**

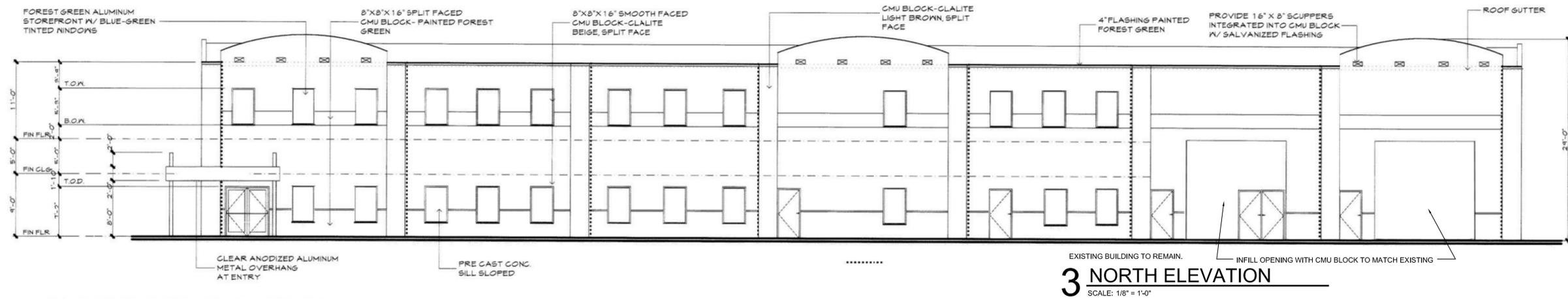
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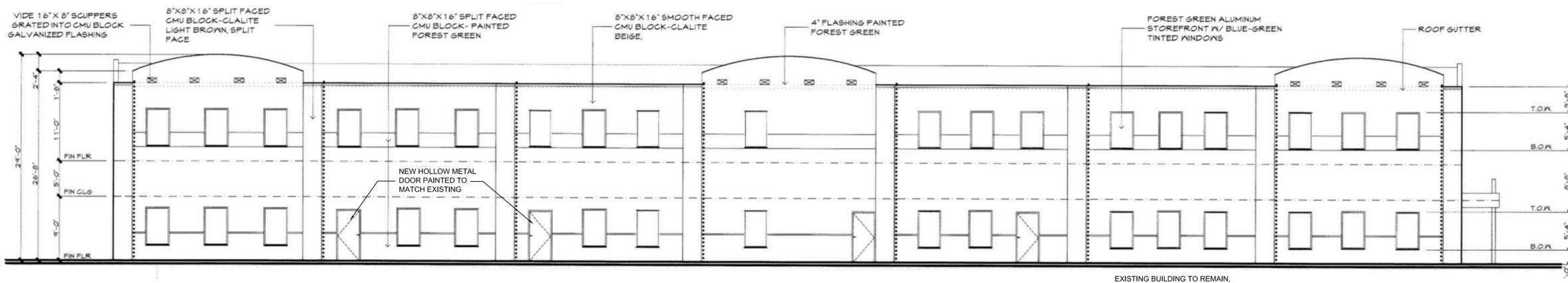
1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



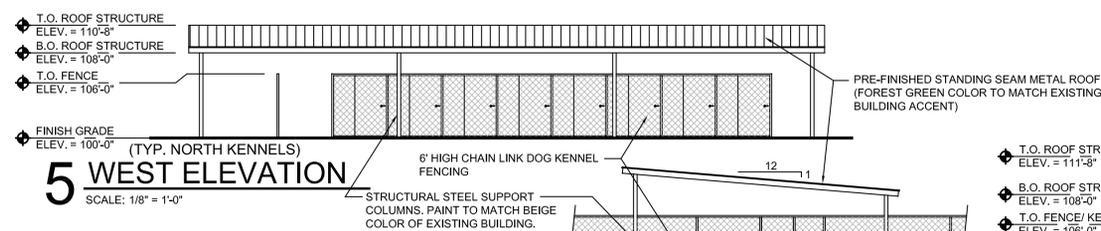
2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



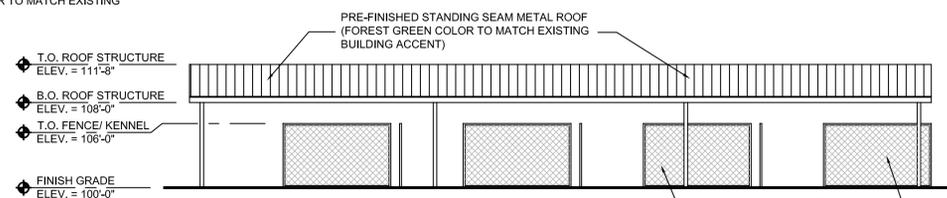
3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



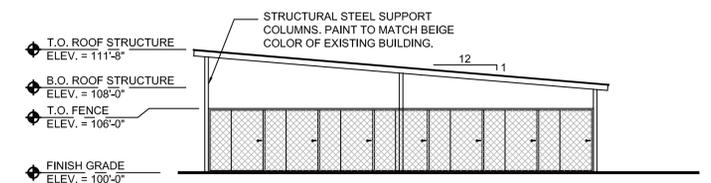
4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



5 WEST ELEVATION
SCALE: 1/8" = 1'-0"



7 WEST ELEVATION (ISOLATION KENNELS)
SCALE: 1/8" = 1'-0"



8 NORTH ELEVATION (ISOLATION KENNELS)
SCALE: 1/8" = 1'-0"

CASE No. P15-008

FREEDOM SERVICE DOGS

7193 SOUTH DILLON COURT
 ENGLEWOOD, CO 80112

DATE	DESC.
10-20-15	FDP SUBMITTAL
11-24-15	FDP SUBMITTAL
02-09-15	FDP SUBMITTAL

FINAL DEVELOPMENT PLAN

FREEDOM SERVICE DOGS

CENTENNIAL EAST CORPORATE CENTER FILING NO. 10

PART OF THE SW 1/4 OF SECTION 30, TOWNSHIP 5S, RANGE 66W OF THE 6TH P.M.
COUNTY OF ARAPAHOE, STATE OF COLORADO

TYPE 'AA'

D-Series Size 1 LED Area Luminaire



Specifications
EPA: 1.2 ft
10 ft
Length: 33"
18 in
Width: 13"
11 in
Height: 7-1/2"
11 in
Weight (max): 27 lbs
12 kg

Introduction
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.
The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing 100 - 400W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information EXAMPLE: DSX1 LED 60C 1000 40K T3M MVOLT SPA DBXD

Series	LEDs	Drive current	Color temperature	Color	Warranty	Mounting
DSX1 LED	Forward optics	500 550 mA	3000 K	T15	5 year	SPM
	30C (0.15 ft) (see spec)	700 750 mA	4000 K	T25	5 year	SPM
	40C (0.15 ft) (see spec)	800 850 mA	5000 K	T35	5 year	SPM
	60C (0.15 ft) (see spec)	1000 1050 mA	6000 K	T45	5 year	SPM

Accessories

One Lithonia Way • Conyers, Georgia 30013 • Phone: 800.279.8041 • Fax: 770.918.1209 • www.lithonia.com

TYPE 'E'

WST LED Architectural Wall Sconce



Specifications
Luminaire Height: 7-1/8"
18 in
Width: 16-1/4"
18 in
Depth: 9-1/8"
23 in
Weight: 17 lbs
7.7 kg

Optional Back Box (BBW)
Height: 10-1/2"
26 in
Width: 5-1/2"
14 in
Depth: 1-1/2"
3 in

Introduction
The classic Architectural Wall Sconce is now available with the latest in LED technology. The result is a long-life, maintenance-free product with typical energy savings of 75% compared to metal halide versions. The integral battery backup option provides emergency egress lighting, without the use of a back-box or remote gear, so installations maintain their aesthetic integrity.
The WST LED is ideal for replacing existing 50 - 175W metal halide wall-mounted products. The expected service life is 20+ years of nighttime use.

Ordering Information EXAMPLE: WST LED 2 10A700/40K SR3 MVOLT DDBTD

Series	Light Engines	Performance Package	Distribution	Voltage	Mounting	Options	Back Box
WST LED	1 (single)	700 mA options	SR2 Type 1	120V	SPM	None	None
	2 (2x)	1400 mA options	SR3 Type 1	120V	SPM	None	None
	3 (3x)	2100 mA options	SR4 Type 1	120V	SPM	None	None

Emergency Battery Operation

The emergency battery backup (ELCW) option is integral to the luminaire. An external backup required? This design provides a backup emergency power source for the luminaire. The luminaire is designed to operate on AC power. The luminaire is designed to operate on AC power. The luminaire is designed to operate on AC power.

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LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	MOUNTING	LAMPS
AA	LITHONIA	DSX1-40C-100-40K-T3M-MVOLT-RPA-HS-DBLXD	POLE MOUNTED EXTERIOR AREA LIGHTING LED FIXTURE, DIE-CAST ALUMINUM HOUSING, UNIVERSAL VOLTAGE (120-277V) DRIVER, FULL CUTOFF, HOUSESIDE SHIELD	POLE (25'-0")	24W LED 4000K 6194 LUMENS
BB	LITHONIA	VW42L-H6	WALL MOUNTED AREA LIGHTING FIXTURE, DIE-CAST ALUMINUM HOUSING, GLASS LENS, 120V INPUT, NET LOCATION LISTED	WALL (8'-0")	42W CFL 4000K 3200 LUMENS
E	LITHONIA	WST LED-2-10A700/40K-SR2-27T-ELCH-DBLXD	EXTERIOR LED WALL PACK WITH 90-MINUTE EMERGENCY BATTERY BACKUP, 27TV DRIVER, FULL CUTOFF	SURFACE (14'-0")	47W LED 4000K 3944 LUMENS

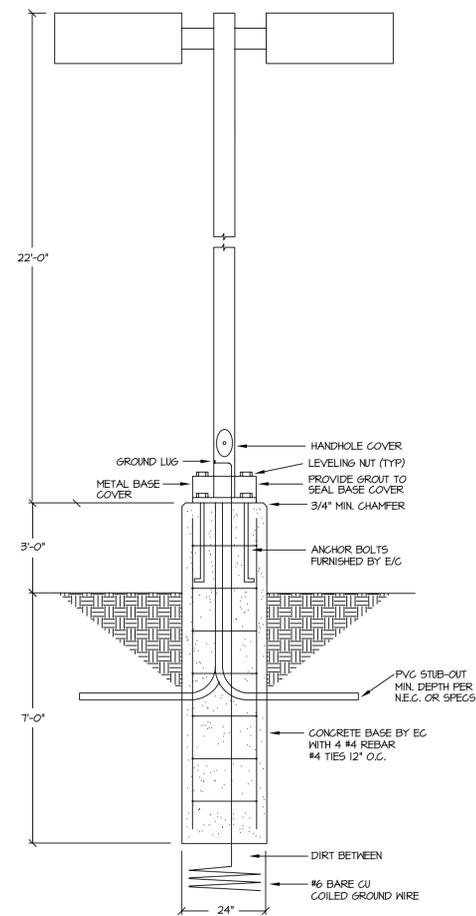
PHOTOMETRIC STATISTICS (NEW PARKING ADDITION)

AVERAGE 1.4 FC
MAXIMUM 2.1 FC
MINIMUM 0.7 FC
MAX/MIN 3.0:1
AVG/MIN 2.0:1

LIGHTING CONTROLS (NEW PARKING ADDITION + EXISTING)

ALL EXTERIOR LIGHTING FIXTURES (EXISTING AND NEW) SHALL BE CONTROLLED BY LIGHTING CONTROL RELAY PANEL. LIGHTS SHALL BE TURNED OFF AUTOMATICALLY BY TIMELOCK DURING OFF BUSINESS HOURS.

ALL EXTERIOR SIGNAGE (EXISTING AND NEW) SHALL BE CONTROLLED BY LIGHTING CONTROL RELAY PANEL. SIGNAGE SHALL BE TURNED OFF AUTOMATICALLY BY TIMELOCK DURING OFF BUSINESS HOURS.



PARKING LOT POLE BASE DETAIL
NOT TO SCALE

TYPE 'BB'

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

INTENDED USE
Dish wall sconce or pendant mount fixture for entrances, hallways, closets, corridors or other utility applications. Its end-use, fluorescent, metal halide or high pressure sodium sources are available.

CONSTRUCTION
Rugged die-cast aluminum housing with heavy-duty glass globe. 3/4" thread knockouts allow for side or top auxiliary wiring feeds.
Designed for easy installation and maintenance.
Optional globe for even distribution.
 Junction box included.

LISTINGS
Listed and labeled to UL standards for wet locations.
Listed and labeled to CSA standards.

WARRANTY
Fixtures are covered by Lithonia Lighting 24-month warranty against mechanical defects in manufacture.
Notes: Specifications subject to change without notice.

Contractor Select

Utility Vapor Tights



WC
VP
YW

ORDERING INFORMATION

Catalog Number	UPC	Description	Lamp Wattage	Source	Lamp Voltage	Lamp Included	Fixture (Sh)	Standard Carton Qty
WV118-W1	54273117104	Utility vapor tight	150	Incandescent	120	Y	2	300
WV118-W2	54273117109	Utility vapor tight	150	Incandescent	120	N	2	300
WV118-W3	54273117111	Utility vapor tight	150	Incandescent	120	Y	2	300
WV118-W4	54273117112	Utility vapor tight	150	Incandescent	120	N	2	300
WV118-W5	54273117113	Utility vapor tight	150	Incandescent	120	Y	2	300
WV118-W6	54273117114	Utility vapor tight	150	Incandescent	120	N	2	300
WV118-W7	54273117115	Utility vapor tight	150	Incandescent	120	Y	2	300
WV118-W8	54273117116	Utility vapor tight	150	Incandescent	120	N	2	300
WV118-W9	54273117117	Utility vapor tight	150	Incandescent	120	Y	2	300
WV118-W10	54273117118	Utility vapor tight	150	Incandescent	120	N	2	300
WV118-W11	54273117119	Utility vapor tight	150	Incandescent	120	Y	2	300
WV118-W12	54273117120	Utility vapor tight	150	Incandescent	120	N	2	300
WV118-W13	54273117121	Utility vapor tight	150	Incandescent	120	Y	2	300
WV118-W14	54273117122	Utility vapor tight	150	Incandescent	120	N	2	300
WV118-W15	54273117123	Utility vapor tight	150	Incandescent	120	Y	2	300
WV118-W16	54273117124	Utility vapor tight	150	Incandescent	120	N	2	300
WV118-W17	54273117125	Utility vapor tight	150	Incandescent	120	Y	2	300
WV118-W18	54273117126	Utility vapor tight	150	Incandescent	120	N	2	300
WV118-W19	54273117127	Utility vapor tight	150	Incandescent	120	Y	2	300
WV118-W20	54273117128	Utility vapor tight	150	Incandescent	120	N	2	300

CONTRACTOR SELECT / BIDDING

DATE	DESC.
10-20-15	FDP SUBMITTAL
11-24-15	FDP SUBMITTAL

MEP PROJECT #15217
DESIGNED BY: TJM CHECKED BY: DGM



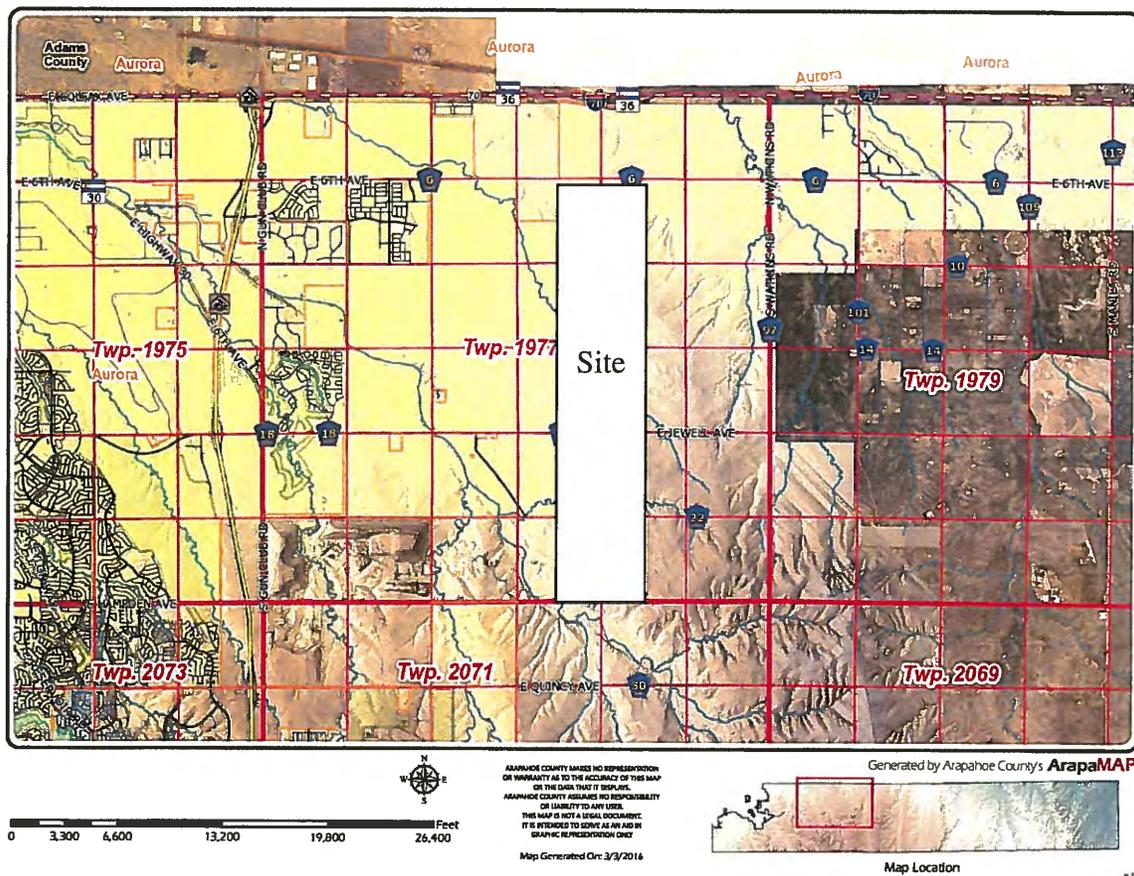
MEP ENGINEERING INC.
CLIENT CENTRIC CONSULTING

6402 S. Troy Circle, Suite 100 (W) 303.936.1633
Centennial, CO 80111 (F) 303.934.3299
info@mep-eng.com www.mep-eng.com

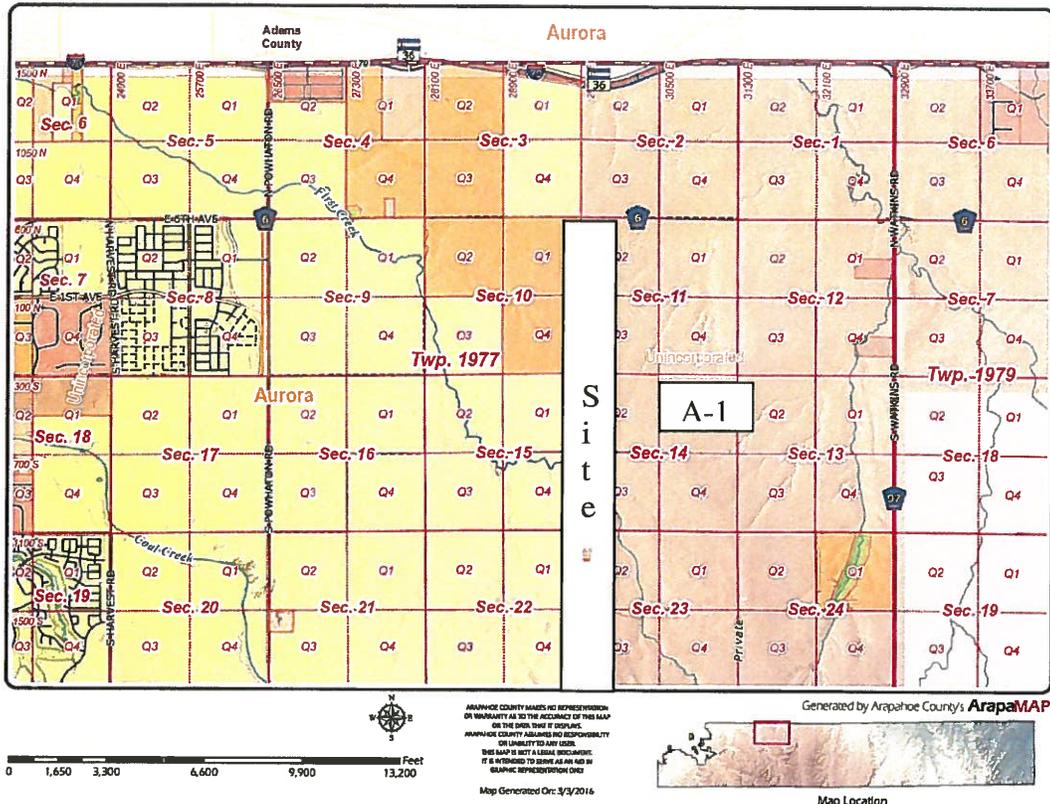
ARAPAHOE COUNTY PLANNING COMMISSION
PUBLIC HEARING
March 15, 2016
6:30 P.M.

SUBJECT: L16-001 – RANGEVIEW METRO WATER PIPELINE LOCATION & EXTENT
Sherman Feher, Senior Planner March 4, 2016

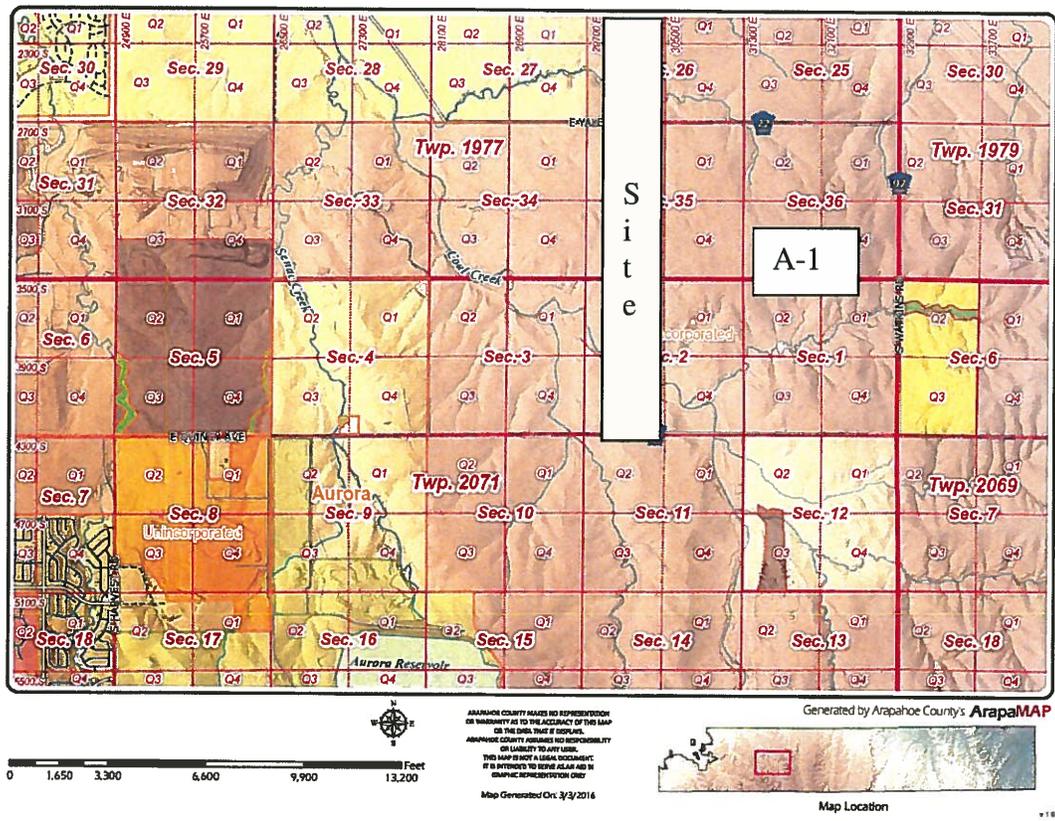
VICINITY: The property is located primarily along the Hayesmount Road alignment between Quincy Avenue and Sixth Avenue



VICINITY MAP



Zoning Map: North



Zoning Map: South

LOCATION: This proposal is in Commissioner District #3.

ADJACENT SUBDIVISIONS, ZONING, AND LAND USES:

-
- | | | |
|-------|---|---|
| North | - | Prosper Subdivision, MU-PUD, Vacant and I-70 Freeway; Some City of Aurora property; subject to City of Aurora Regulations; Mostly Vacant. |
| South | - | No subdivisions; State Land Board Land; mostly A-1, Agriculture. |
| East | - | No Subdivisions other than Prosper; Zoning mostly A-1 and MU-PUD; Agriculture. |
| West | - | Mostly City of Aurora; subject to City of Aurora Regulations; Agriculture. Sky Ranch Subdivision; MU-PUD; Agriculture. |



**Looking North from
Quincy Avenue**



**Looking Southeast from
Yale Avenue**



**Looking South from 6th
Avenue & Hayesmount**

PROPOSAL:

The applicant, Rangeview Metropolitan District, on behalf of various property owners, is requesting approval of a Location and Extent for a 24” diameter water pipeline. The pipeline will transport water between Rangeview Metropolitan District wells on the State Land Board to the Sky Ranch Development. Easements will cross a number of properties to allow the water pipeline to be constructed and placed in the easements.

RECOMMENDATION:

Staff: Staff is recommending approval of this case with conditions, based on the findings listed in the staff report.

I. BACKGROUND

Zoning

The properties are zoned MU-PUD, A-1 (agriculture) and O (open).

II. DISCUSSION

Staff review of this application included a comparison of the project to policies and goals outlined in the Comprehensive Plan, a review of pertinent zoning regulations, background activity, and analysis of referral comments.

1. The Comprehensive Plan

The Comprehensive Plan designates this area as “Planning Reserve.” As such, this proposal is compatible with this designation, since the “Planning Reserve” area designates areas outside of the County’s existing Urban Service Area that are projected for use within the 20 year planning time horizon of the Comprehensive Plan.

2. Regulatory Review and additional Background Information

Chapter 13, Section 13-700 of the Land Development Code, covers the policy and regulatory aspects of a Location and Extent. This includes a specific review of – Location and Extent, Section 13-702 – General Requirements and Procedure. A Location and Extent does not have specific approval criteria but may be approved upon the findings that:

- 13-702.01A No road, park, public way, ground, or space, no public building or structure, and no major facility of a public utility shall be constructed or authorized in the unincorporated areas of Arapahoe County unless and until the proposed

location and extent thereof has been submitted to and approved by the Arapahoe County Planning Commission.

13-702.05

The Planning Commission and the Board of County Commissioners, when applicable, may approve the facilities as submitted, approve it with conditions, or deny the facility. The conditions to be imposed are those necessary, in the discretion of the Planning Commission and Board of County Commissioners, to mitigate or eliminate any adverse impacts of the proposed facility on the surrounding area, and may include the posting of sufficient performance guarantees with the County to guarantee the construction of any improvements.

SUBMITTAL REQUIREMENTS - The applicant is in compliance with Section 13-703, sub-section 13-703.01, by submitting all of the required materials.

3. Referral Comments

The following chart is an overview of referral comments. A copy of all referral comments follows the staff report. The Applicant's response is in italics

Engineering Services	-	Comments on L&E Exhibit, utility easements, GESG Plan and permits. <i>The applicant has addressed or will address these comments. Some of these items may be conditions of approval.</i>
Mapping	-	Comments on L&E Exhibit. <i>The applicant has addressed these comments.</i>
Zoning Administrator	-	No comments
REAP	-	Supportive of project.
Oil and Gas	-	A number of comments were given, including seed mix, cultural resources and timing of the project. <i>The applicant acknowledged the comments.</i>
Bennett Fire District	-	Fire District has no objections to this pipeline.
Colorado Parks & Wildlife	-	Concern about protected species (burrowing owls) and noxious weeds. <i>These items will be conditions of approval.</i>
Army Corps of Engineers	-	No response

Assessors Office	-	No response
Tri-County Health	-	Comment on onsite wastewater treatment systems (OWTS), groundwater quality protection, protection of above-ground valves, and sanitary and solid waste disposal. <i>Applicant acknowledged these items.</i>
Xcel Energy	-	No response
East End Advisory Committee	-	Carl Kroh: No comments; no response from other members.

III. STAFF FINDINGS

Staff has visited the site and has reviewed the plans and supporting documentation and referral comments. Based upon review of applicable policies and approval standards in the Land Development Code and analysis of referral comments, our findings include:

1. The application for the water pipeline L&E complies with the Arapahoe County Comprehensive Plan.
2. The submitted L&E application is in conformance with the submittal and processing requirements of the Land Development Code.
3. Staff finds that the request for approval of Location and Extent for the water pipeline is in conformance with policies and goals outlined in the Land Development Code for a Location & Extent.
4. There are some Engineering issues that need to be addressed.
5. The Colorado Parks and Wildlife referral has some concerns regarding protected species and noxious weeds.

IV. RECOMMENDATION:

Considering the findings and other information provided herein, the staff recommends approval of Rangeview Metropolitan Water Pipeline case (Case No. L16-001), subject to the following conditions:

1. The applicant makes any minor modifications to plans, as requested by the Public Works and Development Department.
2. The applicant agrees to address the Division of Engineering Services' comments and concerns as identified within the various Division of Engineering Services reports.

3. The applicant will execute and record all utility easements prior to commencing construction of the project.
4. The applicant will obtain all necessary permits prior to commencing project.
5. If the applicant does any earth-moving or construction between March 15th and October 31st related to the pipeline, they will conduct a burrowing owl survey and provide the results to Colorado Parks and Wildlife (CPW) and the County and if any burrowing owls are found during the survey the applicant will follow CPW protocols related to burrowing owls.
6. The applicant will prepare a noxious weed control plan and will implement the plan. The applicant will provide a copy of the plan to the County.

This is based upon:

- The proposed use is acceptable and consistent with the standards as determined by the Land Development Code.
- The proposed use benefits and serves the interest of the citizens of Arapahoe County.

V. DRAFT MOTIONS:

- A. In the case of L16-001, Rangeview Metropolitan Water Pipeline Location and Extent, we have read the staff report and received testimony at the public hearing. We find ourselves in agreement with staff findings including all plans and attachments as set forth in the staff report dated March 4, 2016, and move to approve this case, subject to the following conditions:
 1. The applicant makes any minor modifications to plans, as requested by the Public Works and Development Department.
 2. The applicant agrees to address the Division of Engineering Services' comments and concerns as identified within the various Division of Engineering Services reports.
 3. The applicant will execute and record all utility easements prior to commencing construction of the project.
 4. The applicant will obtain all necessary permits prior to commencing project.
 5. If the applicant does any earth-moving or construction between March 15th and October 31st related to the pipeline, they will conduct a burrowing owl survey and provide the results to Colorado Parks and Wildlife (CPW) and the County and if any burrowing owls are found during the survey the applicant will follow CPW protocols related to burrowing owls.
 6. The applicant will prepare a noxious weed control plan and will implement the plan. The applicant will provide a copy of the plan to the County.

Staff provides the following Draft Motions listed below as general guidance in preparing an alternative motion if the Planning Commission reaches a different determination:

Recommend Denial

In the case of L16-001, Rangeview Metropolitan Water Pipeline, we have read the staff report. We do not find ourselves in agreement with staff findings, including all exhibits and attachments as set forth in the staff report dated March 4, 2016, and recommend denial of this application based on the following findings:

1. State new findings in support of denial as part of the motion.

Continue to Date Certain:

In the case of L16-001, Rangeview Metropolitan Water Pipeline, I move to continue the hearing to [date certain], 6:30 p.m., to obtain additional information and to further consider the information presented.

Attachments: Application
 Response Letter
 Referral Letters
 Location and Extent Exhibit



Public Works and Development
 6924 S. Lima Street
 Centennial, Colorado 80112
 Phone: 720-874-6650
 www.arapahoegov.com

Land Development Application
 Form must be complete

Land Development Application materials received after 2pm shall be date stamped received the following working day.

APPLICANT/REPRESENTATIVE: Rangeview Metropolitan District	ADDRESS: 34501 East Quincy Ave., Bldg. 34, Box 10 Watkins CO 80137 PHONE: 303 292-3456 FAX: 303 292-3475 EMAIL: mharding@purecycwater.com	SIGNATURE: NAME: Mark Harding President TITLE:
OWNER(S) OF RECORD: Rangeview Metropolitan District (easement holder)	ADDRESS: 34501 East Quincy Ave., Bldg. 34, Box 10 Watkins CO 80137 PHONE: 303 292-3456 FAX: 303 292-3475 EMAIL: mharding@purecycwater.com	SIGNATURE: NAME: Mark Harding President TITLE:
ENGINEERING FIRM: CVL Consultants of Colorado, Inc.	ADDRESS: 10333 East Dry Creek Rd., Suite 240 Englewood, CO 80112 PHONE: 720 249-3539 FAX: 720 482-9546 EMAIL: mlundquist@cvlci.com	CONTACT PERSON: Melinda Lundquist

Pre-Submittal Case Number: **Q15-072** Pre-Submittal Planner: **Sherman Feher** Pre-Submittal Engineer: **Sue Liu**

Parcel ID no. (AIN no.)	1977-00-0-00-324,-413,-291,-368,-370,-348,-372,-384,-385,-287,-386,-114,-21-001,-17-001;2071-00-0-00-110,-098,-108
Parcel Address or Cross Streets:	34501 E. Quincy Ave. (south end) 29520 E. 6th Ave. (north end)
Subdivision Name & Filing No.:	n/a

Related Case Numbers:
(Preliminary/Final Development Plan, Rezoning, and / or Plat)

	EXISTING	PROPOSED
Zoning:	MU, A-1, O	no changes
Case/Project/Subdivision Name:		Rangeview Metro. District Water Pipeline
Site Area (Acres):		37
Floor Area Ratio (FAR):		n/a
Density (Dwelling Units/Acre):		n/a
Building Square Footage:		n/a
Disturbed Area (Acres):		20

CASE TYPE (Administrative Case types are shaded in Gray)

<input type="checkbox"/> Preliminary Development Plan or Major Amendment <input type="checkbox"/>	<input checked="" type="checkbox"/> Location & Extent or Major Amendment <input type="checkbox"/>	<input type="checkbox"/> Administrative Site Plan	<input type="checkbox"/> Preliminary Plat
<input type="checkbox"/> Master Development Plan or Major Amendment <input type="checkbox"/>	<input type="checkbox"/> Rezoning - Conventional	<input type="checkbox"/> Administrative Amendment to _____ (PDP, FDP, etc.)	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Final Development Plan or Major Amendment <input type="checkbox"/>	<input type="checkbox"/> Land Development Code Amendment	<input type="checkbox"/> Technical Amendment to _____ (PDP, FDP, etc.)	<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Planned Sign Program or Major Amendment <input type="checkbox"/>	<input type="checkbox"/> Use by Special Review or Major Amendment <input type="checkbox"/>	<input type="checkbox"/> Commercial Mobile Radio Service (CMRS/cellular antennas)	<input type="checkbox"/> Subdivision Exemption
<input type="checkbox"/> Vacation of Right of Way/Easement/Plat	<input type="checkbox"/> Use by Special Review - Oil and Gas	<input type="checkbox"/> Plat Correction	<input type="checkbox"/> Replat (Major)
<input type="checkbox"/> 1041 - Areas & Activities of State Interest - Use by Special Review <input type="checkbox"/>	<input type="checkbox"/> Special District Title 30 <input type="checkbox"/> Title 32 <input type="checkbox"/>	<input type="checkbox"/> Administrative Oil & Gas Use by Special Review (AOGUSR)	<input type="checkbox"/> Administrative Replat
<input type="checkbox"/> Comprehensive Plan	<input type="checkbox"/> Rural Cluster	<input type="checkbox"/> Street Name Change	<input type="checkbox"/> _____

THIS SECTION FOR OFFICE USE ONLY

Case No: L16-001	Planning Manager:	Engineering Manager:
Planning Fee: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N \$ 20,500.00	Engineering Fee: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N \$ 6561.50	TCHD Fee? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N \$ 55.00

This application shall be submitted with all applicable application fees. Submittal of this application does not establish a vested property right in accordance with C.R.S. 24-68-105(1). Processing and review of this application may require the submittal of additional information, subsequent reviews, and/or meetings as outlined in the Arapahoe County Land Development Code.

slaf

RECEIVED

JAN 15 2016

Rev 1-04-2016

**ARAPAHOE COUNTY
 PLANNING DIVISION**



RECEIVED
JAN 15 2016
ARAPAHOE COUNTY
PLANNING DIVISION

November 19, 2015

Sherman Feher
Arapahoe County Planning Department
6924 South Lima Street
Centennial, Colorado 80112

**RE: Rangeview Metropolitan District
Waterline Improvements, Phase 2
Letter of Intent for Location and Extent Application
Arapahoe County Pre-submittal Case No. Q15-072**

Dear Mr. Feher:

On behalf of Rangeview Metropolitan District, please consider this Location and Extent application submittal to complete a waterline in Arapahoe County. This seven miles of 24 inch diameter waterline is proposed in a rural cattle grazing area, generally along the future-planned Hayesmount Road corridor (beginning near East 6th Avenue to East Yale Avenue) and through State Land Board property (adjacent to the BroncoPipeline Spine G alignment), terminating just south of East Quincy Avenue in Sections 10, 11, 14, 23, 26 of Township 4 South, R65W and Sections 1 and 2 of Township 5 South of the 6th PM.

This infrastructure is proposed within un-subdivided properties currently zoned MU, A-1 and O. The proposed project will consist of the excavation and temporary stock piling of trenched soil materials during the installation of a new water pipeline underground. The disturbed areas not returning to cultivated farmland will be seeded and mulched after pipe installation.

While the pipe depths have been set to accommodate future roadway (Hayesmount Road) grading along this alignment, no grading over this pipe alignment is anticipated as part of this project. This pipe alignment will be subject to GESC plans and BMP's as required by Arapahoe County. The site will be accessed from Jewell Avenue, Quincy Avenue, Yale Avenue and Hayesmount Road.

Please feel free to contact me directly during the course of the review process.

Sincerely,
CVL Consultants of Colorado, Inc.

A handwritten signature in blue ink that reads "Melinda E. Lundquist".

Melinda Lundquist, PE
Vice President



ARAPAHOE COUNTY
COLORADO'S FIRST

Public Works and Development

6924 South Lima Street
Centennial, Colorado 80112-3853
Phone: 720-874-6500
Fax: 720-874-6611
TDD: 720-874-6574
www.arapahoegov.com
publicworks@arapahoegov.com

DAVID M. SCHMIT, P.E.
Director

Planning Commission Summary Report

Date: March 1, 2016

To: Arapahoe County Planning Commission

Through: Sherman Feher, Planning Division
Planning Division

Through: Chuck Haskins, PE
Engineering Services Division, Manager

From: Sue Liu, PE
Engineering Services Division

Case name: L16-001 Rangeview Metropolitan District Waterline Phase 2 – L & E

Purpose and Recommendation

The purpose of this report is to communicate the Engineering Services Staff findings, comments, and recommendations regarding the land use application(s) identified above.

Engineering Services Staff has reviewed the land use application(s) and has the following findings and comments:

1. The waterline crosses tributaries to First Creek and its tributaries. The County defines a floodplain as any drainageway with a tributary area of 130 acres or more. The tributaries that meet the County's definition of a floodplain should be identified (Floodplain Delineation Analysis should be provided for review).
2. A Floodplain Development Permit (FDP) is required for all activities within a County designated floodplain, regardless of impact. Even when it is apparent that there are no adverse impacts to the floodplain, a permit is required for administrative purposes to ensure that the County is aware of the activities within the floodplain and that they have been evaluated for compliance with the County's requirements (an engineer's Certification of No Impact will be required).
3. In order to properly replace drainage patterns, the applicant is required to provide as-built conditions of all existing major drainageways, as defined by the Arapahoe County Stormwater Management Manual, along the proposed utility alignment/disturbance prior to approval. The major drainageways shall be restored to meet the existing as-built. A restored as-built will also be required and that requirement will be placed on the floodplain development permit.

MISSION

Enhancing your quality of life through exceptional delivery of services and efficient use of public funds.

4. All easements for the waterline are required and must be in place prior to the construction. All executed utility easements must be submitted to the County for files.
5. Construction activities that disturb one acre or more are required by the Environmental Protection Agency (EPA) to obtain a Construction Stormwater Permit.

Engineering Services Staff is recommending the land use application(s) favorably subject to the following conditions:

1. The applicant agrees to address the Division of Engineering Services' findings, comments, and concerns as identified within this report.
2. All easements related to the project must be in place prior to the construction.



February 17, 2016

Sherman Feher
Planning Division
Arapahoe County Public Works and Development
6924 South Lima Street
Centennial, CO 80112

**RE: Rangeview Metropolitan District Waterline
Phase 2 L & E
Arapahoe County Case No. L16-001**

Dear Mr. Feher:

We have received the comments dated February 1, 2016 and have revised the submittal documents accordingly. The following is a point by point response to each of the comments, in bold italics.

ARAPAHOE COUNTY ENGINEERING, Sue Liu, PE

Location and Extent

1. Comment: Include "Arapahoe County Case No. L16-001" in the lower left-hand corner of the plans.

Response: Complete.

2. Comment: Please include a note indicated that the district would be willing to subordinate/ vacate their easement in favor of the county's right-of-way once obtained/needed for road, subject to a license for the water line in that location

Response: Complete.

3. Comment: Include a note regards to the vertical depth of the pipe to the existing ground, floodplain, and the depth at the roadways.

Response: Complete.

4. Comment: Please modify the Hayesmount Road roadway cross-section by using the County standard.

Response: Complete.

5. Comment: Dimension ROW for Quincy Ave.

Response: Complete.

6. Comment: Call out the source of designation for all floodplains.

Response: Note 23 on the cover sheet of the GESC plan indicated the source the floodplains. This note has now also been included on the cover of the L & E.

7. Comment: Please remove the blow off valves outside of the 100-year floodplain if it can be done without impact to the water line.

Response: Blow off valves within floodplain to have water tight seals.

8. Comment: Include the major Drainageway name such as Yamaha Creek and First Creek.

Response: Completed.

Grading, Erosion, and Sediment Control (GESC) Plan

9. Comment: Include “Arapahoe County Case No. L16-001” in the lower left-hand corner of the plans.

Response: Completed.

10. Comment: Areas outside the limits of construction/disturbance shall be lightly shaded.

Response: Revised.

11. Comment: VTC is proposed to be installed at entrance of Jewell. Is it the only construction access point for the project? GESC plan shows one VTC and cost estimate show two.

Response: Access is planned from four locations: 1-70 and Airpark Road exit, Jewell Avenue, the existing, tenant access points to the Lowry Range from Quincy Avenue and Watkins Road. These locations are now indicated on the L & E. The southern Jewell access requires a VTC, but the northern access will be onto an existing gravel road, so no VTC is necessary. Cost estimate has been updated for 1 VTC.

12. A Stabilized staging area (SSA) must be provided for parking, equipment/vehicle and all material. Please show the location of the area and update the Engineers Cost Estimate spreadsheets accordingly.

Response: An SSA will not be necessary. As was accomplished with Phase 1 of the waterline, pipe is delivered directly to the pipeline alignment and not stockpiled in staging areas.

13. Comment: Provide the station for beginning and ending point of the boring.

Response: Completed.

14. Comment: Recommend to use boring at all roadway crossings.

Response: As discussed, boring will be performed only at Quincy Avenue.

15. Comment: The GESC Standard Notes and Details are offered on the County website as three 24x36 PDF's please include them within the GESC plan.

Response: Included.

16. Comment: Include the text of “Phase 2” in the certification statements.

Response: Completed.

17. Comment: The report states that the boring in drainageways, and the plan shows open cuts. Please verify.

Response: Drainageways to be open cut; the narrative has been revised accordingly.

18. Comment: Clarify the slope that required ECB to be used.

Response: *ECB to be used on all slopes greater than 4:1. Plans and cost estimates have been adjusted accordingly.*

19. Comment: Page 5: include discussion of VTC, ECB, and GR under section of structure practices for erosion control.

Response: *Completed.*

20. Comment: Per Appendix B, no concrete washout area is proposed for the project, however, the cost sheet include it in the initial BMPs.

Response: *The cost estimate has been revised to exclude a washout.*

21. Comment: Include the cost for construction marker and GR.

Response: *The costs for the construction markers are now included, but since the GR relates to gravel and is not a BMP, it has not been included in the BMP cost estimates.*

22. Comment: Please use the County standard engineer's cost estimate (see attached). Please note that only the higher of the two engineer's cost estimates will be used to determine the collateral amount.

Response: *The second pages of the standard cost forms are now included. We acknowledge the higher of the two costs will amount to the collateral. It is the District's intent to enter into a "MS4 Permit Security Agreement for Public Agencies" for this project.*

Drainage Letter

23. Comment: Include "Arapahoe County Case No. L16-001 on the cover sheet.

Response: *Completed.*

24. Comment: Please include and add the following items in this letter:

- a. Developer/Owner/Engineer submitting the letter
- b. Total disturbed area
- c. Overall drainage patterns of the site
- d. the major drainageways. Does the project cause any impacts to the 100-year floodplain?

Response: *Completed. The project does not cause any adverse impacts to the floodplain. Considering the location of this proposed waterline is directly adjacent to the BroncoPipeline Spine G alignment, the same floodplain delineation that was prepared for the Spine G application applies herein. No further delineation analysis is anticipated.*

ARAPAHOE COUNTY PLANNING, Diane Kocis

1. Comment: The last sentence of the 2nd paragraph in the cover letter should include: will be seeded "with an approved native seed mix". There should also be a provision for reseeded if the first revegetation doesn't achieve 80% coverage in the 2nd growing season.

Response: *As discussed, since the letter of intent is only submitted with the initial application, it will not be revised. There has been a note added to the cover sheet regarding seeding and mulching. The requested seeding provision is not necessary, as that is addressed with the County's standard GESC requirements.*

2. Comment: The planned construction timing (perhaps a range of dates) should be mentioned in the cover letter. CPW may have some restrictions during breeding and nesting times.

Response: *As responded to in comment #1, said letter is not being resubmitted. Construction is anticipated this Spring.*

3. Comment: Would the SHPO be involved if artifacts were discovered during construction?

Response: *As discussed, this will be a Condition of Approval.*

4. Comment: A sheet showing both phases would be helpful.

Response: *The cover sheet depicts Phase 1 now.*

BENNETT FIRE PROTECTION DISTRICT #7, Caleb Connor

1. Comment: Bennett Fire Protection District has no objections to the proposed water pipeline.

Response: *Acknowledged.*

2. Comment: As there is limited to no water supplies in the general area of this proposed water line, Bennett Fire Protection District would like to enter dialogue with Rangeview Metropolitan District to explore the feasibility of any potential access to this water line or any existing fresh water supply for emergency fire suppression activities.

Response: *Rangeview will be coordinating with the fire district to determine in the field where these hydrants may be located.*

3. Comment: Bennett Fire Protection District is requesting notification of any potential road closures or impact to public roadways or emergency response due to the installation of this water line.

Response: *Acknowledged.*

TRI COUNTY HEALTH DEPARTMENT, Laurel Boten

On-Site Wastewater Treatment Systems

Comment: Houses and other buildings equipped with plumbing facilities on properties located along the pipeline route may be serviced by Onsite Wastewater Treatment Systems (OWTS). TCHD recommends that the applicant review the locations of the pipeline routes to determine if they may encroach on OWTS. If it appears that encroachment will occur, it may be necessary to revise the pipeline location or relocate the OWTS. TCHD can provide specific permit information and system diagrams on OWTS for the affected properties.

Response: *Acknowledged.*

Ground Water Quality Protection

Comment: A scan of the proposed for the pipeline routes indicates that there may be water wells on the properties where the pipeline(s) are located. Heavy equipment may inadvertently drive over wells during construction, causing damage that may expose the water in the wells to contamination. Where wells are within or close to pipeline routes, we recommend the applicant protect the wells by identifying the areas around wells so that they are visible to vehicle operators/construction crews. This can be accomplished by delineating the area around each well with stakes, colored tape or orange plastic netting.

Response: *Acknowledged.*

Comment: If the pipeline routes cross over streams and/or wetlands, alluvial groundwater flow could be impacted if trenching intersects the shallow groundwater. If trench dewatering is necessary, the water will be pumped and discharged to alluvia/colluvial sediments close to the stream channel. If discharge of groundwater is necessary during construction, a discharge permit from the Colorado Department of Public Health and Environment (CDPHE), Water Quality Control Division will be necessary.

Response: Acknowledged.

Protection of Above-Ground Valves

Comment: Above-Ground valves may be damaged or vandalized once they are installed and placed into use. TCHD recommends that the valve be enclosed in a chain link fence for security.

Response: Acknowledged.

Sanitary and Solid Waste Disposal

Comment: The application does not specify how sanitary and solid waste will be provided during the construction for construction workers. We anticipate trash dumpsters and portable toilets will be necessary during construction. TCHD has no objection to the use of portable toilets, provided they are properly maintained. TCHD recommends that the applicant address these, in terms of numbers, locations, and vendor.

Response: Sanitary and solid waste handling is discussed in the GESC report. Generally, facilities will be moved along the construction corridor, as construction progresses.

Redlines on the L & E, GESC plan and report, drainage letter and easement legal descriptions and exhibits have been addressed also. Applicable comment responses were made directly on those documents and are being submitted electronically, along with this letter and revised plans and reports. If you have any additional questions please do not hesitate to contact me directly at 720.249.3539.

Sincerely,
CVL Consultants of Colorado, Inc.



Melinda Lundquist, PE
Vice President



February 1, 2016

Sherman Feher
Arapahoe County Planning Division
6924 S Lima St
Centennial CO 80112

RE: Rangeview Metropolitan District Water Pipeline Phase 2 / Location and Extent
Case No. L16-001
TCHD No. 3782

Dear Mr. Feher:

Thank you for the opportunity to review and comment on the Location and Extent application for Rangeview Metropolitan District Water Pipeline Phase 2 for seven miles of 24 in diameter waterline along the Hayesmount Road corridor from near E 6th Ave to E Yale Ave. Tri-County Health Department (TCHD) staff has reviewed the application for compliance with applicable environmental and public health regulations. After reviewing the application, TCHD has the following comments:

On-Site Wastewater Treatment Systems

Houses and other buildings equipped with plumbing facilities on properties located along the pipeline route may be serviced by Onsite Wastewater Treatment Systems (OWTS). TCHD recommends that the applicant review the locations of the pipeline routes to determine if they may encroach on OWTS. If it appears that encroachment will occur, it may be necessary to revise the pipeline location or relocate the OWTS. TCHD can provide specific permit information and system diagrams on OWTS for the affected properties.

Groundwater Quality Protection

A scan of the area proposed for the pipeline routes indicates that there may be water wells on the properties where the pipeline(s) are located. Heavy equipment may inadvertently drive over wells during construction, causing damage that may expose the water in the wells to contamination. Where wells are within or close to pipeline routes, we recommend the applicant protect the wells by identifying the areas around wells so that they are visible to vehicle operators/construction crews. This can be accomplished by delineating the area around each well with stakes, colored tape or orange plastic netting.

If the pipeline routes cross over streams and/or wetlands, alluvial groundwater flow could be impacted if trenching intersects the shallow groundwater. If trench dewatering is necessary, the water will be pumped and discharged to alluvia/colluvial sediments close to the stream channel. If discharge of groundwater is necessary during construction, a discharge permit from the

Colorado Department of Public Health and Environment (CDPHE), Water Quality Control Division will be necessary

Protection of Above-Ground Valves

Above-Ground valves may be damaged or vandalized once they are installed and placed into use. TCHD recommends that the valve be enclosed in a chain link fence for security.

Sanitary and Solid Waste Disposal

The application does not specify how sanitary and solid waste will be provided during the construction for construction workers. We anticipate trash dumpsters and portable toilets will be necessary during construction. TCHD has no objection to the use of portable toilets, provided they are properly maintained. TCHD recommends that the applicant address these, in terms of numbers, locations, and vendor.

Please feel free to contact me at (720) 200-1585 or lbroten@tchd.org if you have any questions about TCHD's comments.

Sincerely,



Laurel Broten, MPH
Land Use and Built Environment Specialist
Tri-County Health Department

CC: Sheila Lynch, Brad Turpin, Steve Chevalier, TCHD



COLORADO

Parks and Wildlife

Department of Natural Resources

Northeast Region
6060 Broadway
Denver, CO 80216
(303) 291-7227

February 16, 2016

Sherman Feher
Arapahoe County Planning Division
6924 S. Lima Street
Centennial, CO 80112

Re: Rangeview Metropolitan District Water Pipeline Phase 2 / Case No. L16-001/ Location and Extent

Dear Sherman Feher:

Thank you for the opportunity to comment on Rangeview Metropolitan District Water Pipeline Phase 2. The 24-inch water pipeline will run along the future-planned Hayesmount Road Corridor beginning near East 6th Avenue to East Yale Avenue and through State Land Board property adjacent to the Bronco Pipeline Spine G alignment terminating just south of East Quincy Avenue. The approximately 7 mile long site is located in Sections 10, 11, 14, 23, 26 of Township 4 South and Sections 1 and 2 of Township 5 South, Range 65 West, of the 6th Principal Meridian in Arapahoe County, Colorado.

The mission of the Colorado Parks and Wildlife (CPW) is to protect, preserve, enhance, and manage wildlife and their environment for the use, benefit and enjoyment of the people of Colorado and its visitors. One of the ways we achieve our mission is to comment on land use proposals such as the request we received from your agency. Our goal is to provide complete, consistent and timely information to all entities who request comment on matters within our statutory authority and our mission.

Although development of the 24-inch water pipeline will generally follow the future Hayesmount Road corridor and the Bronco Pipeline Spine G alignment, the site is proposed in a rural cattle grazing area with agricultural status and does hold value as wildlife habitat for many wildlife species. CPW would expect to find a variety of ground-nesting birds, small ground-dwelling mammals, raccoons, fox, coyotes, pronghorn, and deer along with a variety of avian raptor species such as falcons, owls, and hawks.

The most significant impact to wildlife resulting from the proposed development of Rangeview Metropolitan District Water Pipeline Phase 2 is disturbance impacts from the installation of the pipeline. Many wildlife species (such as pronghorn and swift fox) found on Colorado's eastern plains are intolerant of human disturbances. CPW recommends that any earthmoving and pipeline installation occur outside of nesting and fawning seasons in the spring and early summer. Many avian species including hawks, eagles, falcons, and owls utilize cottonwood trees along riparian corridors for nesting purposes as well as for roosting and hunting perches. CPW recommends minimizing disturbance to any avian raptor nests during the active breeding and rearing season. Raptor nest buffer zone guidelines are available online or by contacting Colorado Parks and Wildlife.



Due to the fact that prairie dog towns are present at the site, CPW recommends that a burrowing owl survey be conducted. Burrowing owls live on flat, treeless land with short vegetation, and nest underground in burrows dug by prairie dogs, badgers, and foxes. These raptors are classified as a state threatened species and are protected by both state and federal laws, including the Migratory Bird Treaty Act. These laws prohibit the killing or taking of burrowing owls or disturbance of their nests. Therefore, if any earth-moving will occur between March 15st and October 31st a burrowing owl survey should be performed. Guidelines for performing a burrowing owl survey may be obtained from District Wildlife Manager Travis Harris, or by visiting the CPW website at www.wildlife.state.co.us or by calling the Denver CPW Headquarters at (303) 291-7227.

CPW recommends that consideration be made for using principles of an integrated weed management plan which Arapahoe County may already have in place for its eastern rural development plan. Invasive plants endanger the ecosystem by disturbing natural processes and jeopardizing the survival of native plants and the wildlife that depend on them. The threat is so severe in the United States that scientists now agree that the spread of invasive species is one of the greatest risks to biodiversity (Nature Conservancy - 2003). Revegetating disturbed areas with native grass seeds is recommended.

Thank you again for the opportunity to comment on the proposed development of Rangeview Metropolitan District Water Pipeline Phase 2. Please do not hesitate to contact us again about ways to continue managing the property in order to maximize wildlife value while minimizing potential conflicts. If you have further questions please contact District Wildlife Manager Travis Harris at (303) 915-8444.

Sincerely,


Eliza Hunholz
Area Wildlife Manager
Area 5 - Northeast Region
Colorado Parks and Wildlife



BENNETT FIRE PROTECTION DISTRICT #7

DISTRICT OFFICE: 303-644-3572 FAX: 303-644-3401
EMAIL: LIFESAFETY@BENNETTFIRERESCUE.ORG
"Striving to Preserve Life and Property"

January 25th, 2016
Sherman Feher
Arapahoe County Public Works & Development
6924 S. Lima Street
Centennial, CO 80112
Re: L16-001 Rangeview Metropolitan District Water Pipeline Phase 2 / L&E

Planner Feher,

In regards case L16-001 Rangeview Metropolitan District Water Pipeline Phase 2 / L&E, Bennett Fire Protection District has the following comments and considerations:

- Bennett Fire Protection District has no objections to the proposed water pipeline.
- As there is limited to no water supplies in the general area of this proposed water line, Bennett Fire Protection District would like to enter dialogue with Rangeview Metropolitan District to explore the feasibility of any potential access to this water line or any existing fresh water supply for emergency fire suppression activities.
- Bennett Fire Protection District is requesting notification of any potential road closures or impact to public roadways or emergency response due to the installation of this water line.

Thank You

Caleb J. Connor
Fire Marshal
Life Safety Division
Bennett Fire Protection District
303-644-3572 - Headquarters / 303-532-7733 - Direct
www.BennettFireRescue.org



Public Works and Development

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

www.co.arapahoe.co.us

Planning Division

Referral Routing

Case Number / Case Name:	L16-001, Rangeview Metropolitan District Water Pipeline Phase 2 / Location and Extent (L&E)
Planner:	Sherman Feher
Engineer:	Sue Liu
Date:	01-20-2016
Date to be returned:	02-03-2016

Arapahoe County Agencies		Citizen's Organizations	
<input checked="" type="checkbox"/>	Assessor / Arapahoe County	Beverly Reynolds	
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/> CCNA-Cherry Creek Neighborhoods Ass.
<input type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/> CECON-(Within Centennial)
<input checked="" type="checkbox"/>	Engineering / Arapahoe County	Sue Liu	<input type="checkbox"/> Four Square mile Neighborhood
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	<input type="checkbox"/> South Metro Chamber of Commerce
<input checked="" type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	Conservation District
<input type="checkbox"/>	Open Space / Arapahoe County	Shannon Carter	<input type="checkbox"/> Deer Trail Conservation District
<input checked="" type="checkbox"/>	Planning / Arapahoe County	Sherman Feher	<input checked="" type="checkbox"/> West Arapahoe Conservation District
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	Transportation
<input type="checkbox"/>	Weed Control / Arapahoe County	Russell Johnson	<input type="checkbox"/> CDOT / State Highway Dept- Region 1
<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input type="checkbox"/> E-470 Authority
Referral Agencies			<input type="checkbox"/> RTD
<input type="checkbox"/>	Architectural Review Committee		
<input type="checkbox"/>	Airport or Military Base		Utilities: Gas, Electric & Phone
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input type="checkbox"/> Centurylink/Phone
<input type="checkbox"/>	City / Town		<input type="checkbox"/> Conoco Phillips / Gas Pipeline
<input checked="" type="checkbox"/>	Colorado Parks and Wildlife	Travis Harris	<input checked="" type="checkbox"/> XCEL
<input type="checkbox"/>	County		<input type="checkbox"/> IREA
<input type="checkbox"/>	DRCOG		Water / Sanitation / Stormwater / Wetlands
<input checked="" type="checkbox"/>	Bennett Fire Protection District		<input type="checkbox"/> ACWWA
<input type="checkbox"/>	Metro District		<input checked="" type="checkbox"/> U.S. Army Corp. of Engineer
<input type="checkbox"/>	Post Office Growth Coordinator	J. Hernandez	<input type="checkbox"/> CCBWQA
<input checked="" type="checkbox"/>	Reap I-70 Regional Economic Advancement Partnership	1 to Matt Reay 1 to Jack Keever	<input type="checkbox"/> Colorado Division of Water Resources
<input type="checkbox"/>	Recreation District / Park District (External)		<input type="checkbox"/> SEMSWA
<input type="checkbox"/>	School District		<input type="checkbox"/> ECCVW&S
<input type="checkbox"/>	Special District		<input type="checkbox"/> Urban Drainage
<input checked="" type="checkbox"/>	Tri-County Health Dept.	Sheila Lynch	<input checked="" type="checkbox"/> Other / 5 Sets East End Adv. Committee
<input type="checkbox"/>	HOA/Homeowners Associations		

The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate line and return to the Arapahoe County Planning Office on or before the date indicated above.

COMMENTS:		SIGNATURE
<input checked="" type="checkbox"/>	Have NO Comments to make on the case as submitted	
<input type="checkbox"/>	Have the following comments to make related to the case:	

Sherman Feher

From: jack keever <jakreap@aol.com>
Sent: Saturday, January 23, 2016 8:42 AM
To: Sherman Feher
Cc: mharding@purecyclewater.com; Gary.Duke@guarantybankco.com
Subject: Case L16-001 Rangeview Metropolitan District Water Pipeline Phase 2 / Location and Extent (L&E)

Dear Sherman;

Reap is very pleased that Rangeview is planning to complete their waterline in Arapahoe County. This will enable the district to begin developing Sky Ranch. Bringing new water to The I-70 corridor area has long been a priority interest of Reap. Besides water resources, this action will bring fresh visibility to the area for other, needed investors. We hope Arapahoe County approves this application. Thank you for your consideration.

Sincerely,

Jack Keever



Public Works and Development

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

www.co.arapahoe.co.us

Planning Division

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<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/> CCNA-Cherry Creek Neighborhoods Ass.	
<input type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/> CECON-(Within Centennial)	
<input checked="" type="checkbox"/>	Engineering / Arapahoe County	Sue Liu	<input type="checkbox"/> Four Square mile Neighborhood	
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	<input type="checkbox"/> South Metro Chamber of Commerce	
<input checked="" type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	Conservation District	
<input type="checkbox"/>	Open Space / Arapahoe County	Shannon Carter	<input type="checkbox"/> Deer Trail Conservation District	
<input checked="" type="checkbox"/>	Planning / Arapahoe County	Sherman Feher	<input checked="" type="checkbox"/> West Arapahoe Conservation District	Tasha Chevarria
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	Transportation	
<input type="checkbox"/>	Weed Control / Arapahoe County	Russell Johnson	<input type="checkbox"/> CDOT / State Highway Dept- Region 1	Rick Solomon
<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input type="checkbox"/> E-470 Authority	Peggy Davenport
	Referral Agencies		<input type="checkbox"/> RTD	Chris Quinn
<input type="checkbox"/>	Architectural Review Committee		<input type="checkbox"/>	
<input type="checkbox"/>	Airport or Military Base		Utilities: Gas, Electric & Phone	
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input type="checkbox"/> Centurylink/Phone	Charles Place
<input type="checkbox"/>	City / Town		<input type="checkbox"/> Conoco Phillips / Gas Pipeline	
<input checked="" type="checkbox"/>	Colorado Parks and Wildlife	Travis Harris	<input checked="" type="checkbox"/> XCEL	Donna George
<input type="checkbox"/>	County		<input type="checkbox"/> IREA	
<input type="checkbox"/>	DRCOG		Water / Sanitation / Stormwater / Wetlands	
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<input checked="" type="checkbox"/>	Reap I-70 Regional Economic Advancement Partnership	1 to Matt Reay 1 to Jack Keever	<input type="checkbox"/> Colorado Division of Water Resources	Joanne Williams
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<input type="checkbox"/>	School District		<input type="checkbox"/> ECCVW&S	Chris Douglass
<input type="checkbox"/>	Special District		<input type="checkbox"/> Urban Drainage	David Mallory
<input checked="" type="checkbox"/>	Tri-County Health Dept.	Sheila Lynch	<input checked="" type="checkbox"/> Other / 5 Sets East End Adv. Committee	Kroh
<input type="checkbox"/>	HOA/Homeowners Associations			

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COMMENTS:	SIGNATURE
<input checked="" type="checkbox"/> Have NO Comments to make on the case as submitted	<i>Carl Kroh</i>
<input type="checkbox"/> Have the following comments to make related to the case:	

LOCATION AND EXTENT

RANGEVIEW METROPOLITAN DISTRICT WATERLINE, PHASE 2

SECTIONS 10, 11, 14, 23, 26, AND 35 TOWNSHIP 4 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN AND SECTIONS 1 AND 2, TOWNSHIP 5 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN
COUNTY OF ARAPAHOE, STATE OF COLORADO

SHEET INDEX

1.	L&E COVER SHEET
2.	KEY MAP & LEGEND
3.	L&E PLAN - STA: 10+00 TO 57+00
4.	L&E PLAN - STA: 57+00 TO 104+00
5.	L&E PLAN - STA: 104+00 TO 145+50
6.	L&E PLAN - STA: 145+50 TO 192+50
7.	L&E PLAN - STA: 192+50 TO 240+00
8.	L&E PLAN - STA: 240+00 TO 287+00
9.	L&E PLAN - STA: 287+00 TO 334+50
10.	L&E PLAN - STA: 334+50 TO 363+50

STANDARD NOTES:
THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDERS(S) OF THE LOCATION AND EXTENT KNOWN AS RANGEVIEW METROPOLITAN DISTRICT WATERLINE, PHASE 2, THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

STREET MAINTENANCE:
IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAN WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE OF CONSTRUCTION. PLANS ARE APPROVED, AND PROVIDED CONSTRUCTION OF SAID ROADWAYS IS STARTED WITHIN ONE YEAR OF THE DATE OF CONSTRUCTION PLAN APPROVAL. THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

DRAINAGE MAINTENANCE:
THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENT. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. ARAPAHOE COUNTY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

EMERGENCY ACCESS NOTE:
EMERGENCY ACCESS IS GRANTED HEREWITH OVER AND ACROSS ALL PAVED AREAS FOR POLICE, FIRE, AND EMERGENCY VEHICLES.

DRIVES, PARKING AREAS, AND UTILITY EASEMENTS MAINTENANCE:
THE OWNERS OF THIS PLAN OR PLAT, THEIR SUCCESSORS, AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS AND EASEMENTS, I.E.: CROSS-ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.

PRIVATE STREET MAINTENANCE:
IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE PRIVATE ROADWAYS SHOWN ON THIS PLAN ARE NOT IN CONFORMANCE WITH ARAPAHOE COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION. THE OWNERS, DEVELOPERS, AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

LANDSCAPE MAINTENANCE:
THE OWNERS OF THIS PLAN OR PLAT, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNER'S ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS.

DRAINAGE LIABILITY:
IT IS THE POLICY OF ARAPAHOE COUNTY THAT IT DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY MELINDA LUNDQUIST, P.E., ARAPAHOE COUNTY REVIEWS DRAINAGE PLANS PURSUANT TO COLORADO REVISED STATUTES TITLE 30, ARTICLE 28, BUT CANNOT, ON BEHALF OF RANGEVIEW METROPOLITAN DISTRICT GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW WILL ABSOLVE RANGEVIEW METROPOLITAN DISTRICT AND/OR THEIR SUCCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN. IT IS THE POLICY OF ARAPAHOE COUNTY THAT APPROVAL OF THE FINAL PLAN AND/OR FINAL DEVELOPMENT PLAN DOES NOT IMPLY APPROVAL OF CIVIL CONSULTANTS OF COLORADO, INC., DRAINAGE DESIGN.

SIGHT TRIANGLE MAINTENANCE:
THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITH SAID TRIANGLE.

PUBLIC IMPROVEMENTS NOTE:
AFTER FINAL DEVELOPMENT PLAN/FINAL PLAT APPROVAL, ISSUANCE OF INDIVIDUAL BUILDING PERMITS WILL BE SUBJECT TO THE FOLLOWING SPECIFICATIONS AND/OR CONDITIONS PRECEDENT, WHICH OWNER AGREES TO IN CONJUNCTION WITH APPROVAL OF THE FINAL DEVELOPMENT PLAN AND/OR FINAL PLAT. SUCH BUILDING PERMITS WILL BE ISSUED ONLY AFTER THE OWNERS GUARANTEE PUBLIC IMPROVEMENTS IN A FORM ACCEPTABLE TO THE BOARD OF COUNTY COMMISSIONERS PURSUANT TO STATE STATUTE.

DRAINAGE MASTER PLAN NOTE:
THE POLICY OF THE COUNTY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW:
1. DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE PHASE III DRAINAGE REPORT AND PLAN.
2. DESIGN AND CONSTRUCT THE CONNECTION OF THE SUBDIVISION DRAINAGE SYSTEM TO A DRAINAGEWAY OF ESTABLISHED CONVEYANCE CAPACITY SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGEWAY. THE COUNTY WILL REQUIRE THAT THE CONNECTION OF THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFFSITE FLOW) LEAVING THE SPECIFIC DEVELOPMENT SITE, TO MINIMIZE OVERALL CAPITAL COSTS. THE COUNTY ENCOURAGES ADJACENT DEVELOPMENTS TO JOIN IN DESIGNING AND CONSTRUCTING CONNECTION SYSTEMS. ALSO, THE COUNTY MAY CHOOSE TO PARTICIPATE WITH A DEVELOPER IN THE DESIGN AND CONSTRUCTION OF THE CONNECTION SYSTEM.
3. EQUITABLE PARTICIPATION IN THE DESIGN AND CONSTRUCTION OF THE MAJOR DRAINAGEWAY SYSTEM THAT SERVES THE DEVELOPMENT AS DEFINED BY ADOPTED MASTER DRAINAGEWAY PLANS (SECTION 3.4 OF THE ARAPAHOE COUNTY STORMWATER MANAGEMENT MANUAL) OR AS REQUIRED BY THE COUNTY AND DESIGNATED IN THE PHASE III DRAINAGE REPORT.

SPECIFIC NOTES

STREET LIGHTING:
ALL LOTS ARE SUBJECT TO AND BOUND BY TARIFFS WHICH ARE NOW AND MAY IN THE FUTURE BE FILED WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO RELATING TO STREET LIGHTING IN THIS PLAN OR PLAT, TOGETHER WITH RATES, RULES, AND REGULATIONS THEREIN PROVIDED AND SUBJECT TO ALL FUTURE AMENDMENTS AND CHANGES THERETO. THE OWNER OR OWNERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL PAY AS BILLED, A PORTION OF THE COST OF PUBLIC STREET LIGHTING IN THE PLAN OR PLAT ACCORDING TO APPLICABLE RATES, RULES, AND REGULATIONS, INCLUDING FUTURE AMENDMENTS AND CHANGES ON FILES WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO.

REGIONAL TRANSPORTATION IMPROVEMENT FEE (RTIF) AREA
THIS RANGEVIEW METROPOLITAN DISTRICT WATERLINE IS LOCATED WITHIN AN AREA THAT HAS BEEN IDENTIFIED AS DEFICIENT IN REGIONAL INFRASTRUCTURE. THE BOARD OF COUNTY COMMISSIONERS HAS ADOPTED RESOLUTION 375-98A, WHICH REQUIRES FEES, PURSUANT TO THE FEE SCHEDULE ADOPTED BY THIS RESOLUTION, TO BE CHARGED BY THE BUILDING DIVISION, AND COLLECTED UPON THE ISSUANCE OF ALL BUILDING PERMITS FOR NEW CONSTRUCTION WITHIN THE REGION BOUNDARIES. THE FEES, AND OTHER PERTINENT PORTIONS OF THE FEE SCHEDULE MAY BE FURTHER STUDIED AND AMENDED FROM TIME TO TIME, AS NEEDED TO ENSURE A FAIR BALANCED SYSTEM.

ADDITIONAL NOTES:
1. SEED MIX (PERMANENT) WILL BE USED AFTER THE PIPELINE HAS BEEN BURIED UNLESS OTHERWISE SPECIFIED BY LAND OWNERS.
2. THE DISTRICT WILL SUBORDINATE/VACATE THEIR EASEMENT IN FAVOR OF THE COUNTY'S RIGHT OF WAY ONCE OBTAINED/NEEDED FOR ROAD, SUBJECT TO A LICENSE AGREEMENT FOR THE WATERLINE IN THAT LOCATION.
3. VERTICAL DEPTH OF PIPE WILL VARY BETWEEN A MINIMUM OF 4' UNDER THE EXISTING GROUND AND 6' UNDER ROADWAY CROSSINGS.
4. 100 YEAR FLOODPLAIN LIMITS, DEPICTED ARE SHOWN PER THE 2014 DRAINAGE COMPUTATIONS PREPARED BY CIVIL CONSULTANTS OF COLORADO, INC. DESCRIBED IN THE "PHASE - BRONCO PIPELINE GATHERING SYSTEM USR FLOODPLAIN SUMMARY LETTER", "UPPER SANDY CREEK BASIN OUTFALL PLANNING STUDY PRELIMINARY DESIGN" BY KIOVA ENGINEERING CORPORATION DATED AUGUST 1990, AND "FIRST CREEK UPPER MASTER DRAINAGE PLAN" BY MOSER AND ASSOCIATES ENGINEERING DATED AUGUST 2010.
5. JEWELL AVENUE SHALL BE OPEN CUT. DISTURBANCE TO EXISTING ASPHALT SHALL BE MINIMIZED. ROAD SHALL BE OPEN TO TRAFFIC DURING CONSTRUCTION. REPAIR OF THE TRENCH SHALL BE ACCOMPLISHED PER ARAPAHOE COUNTY SPECIFICATIONS, INCLUDING 6" MILLING BACKFILL.

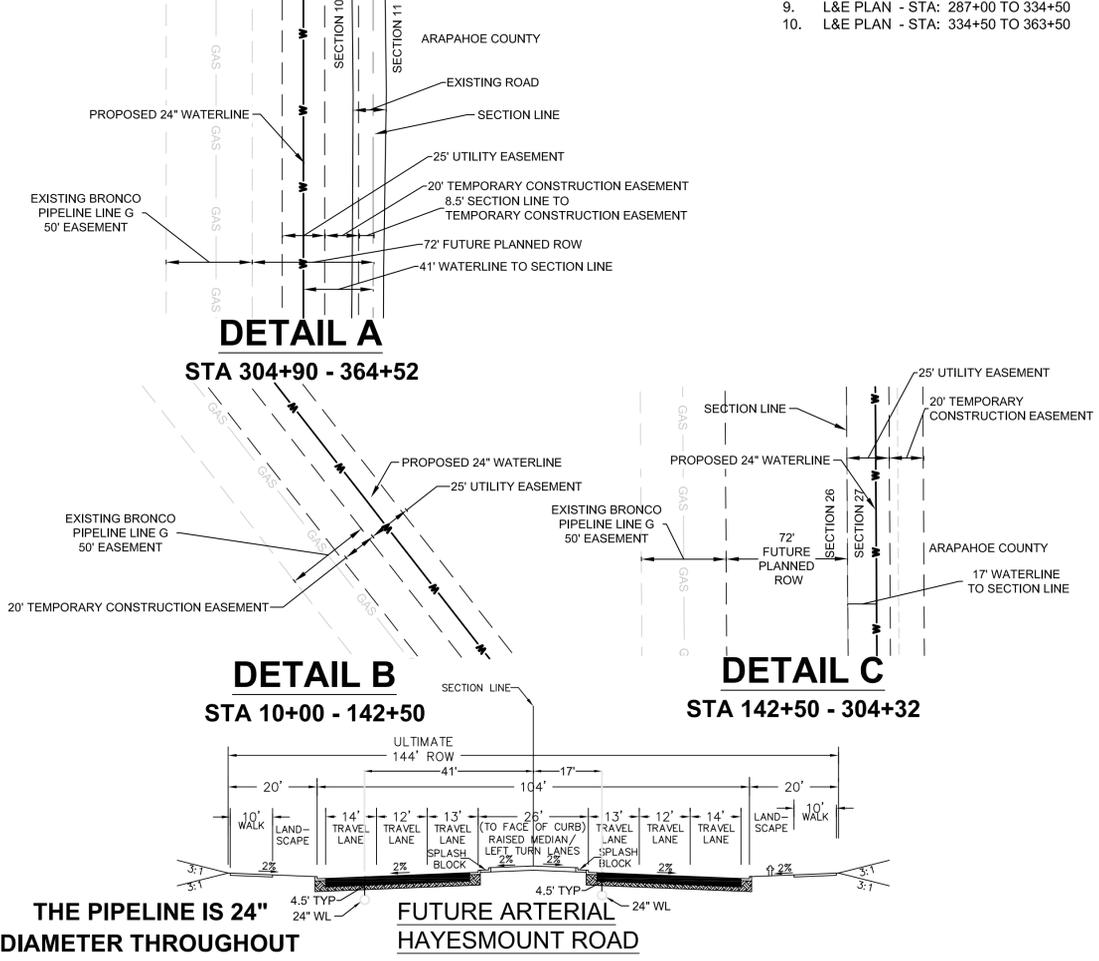
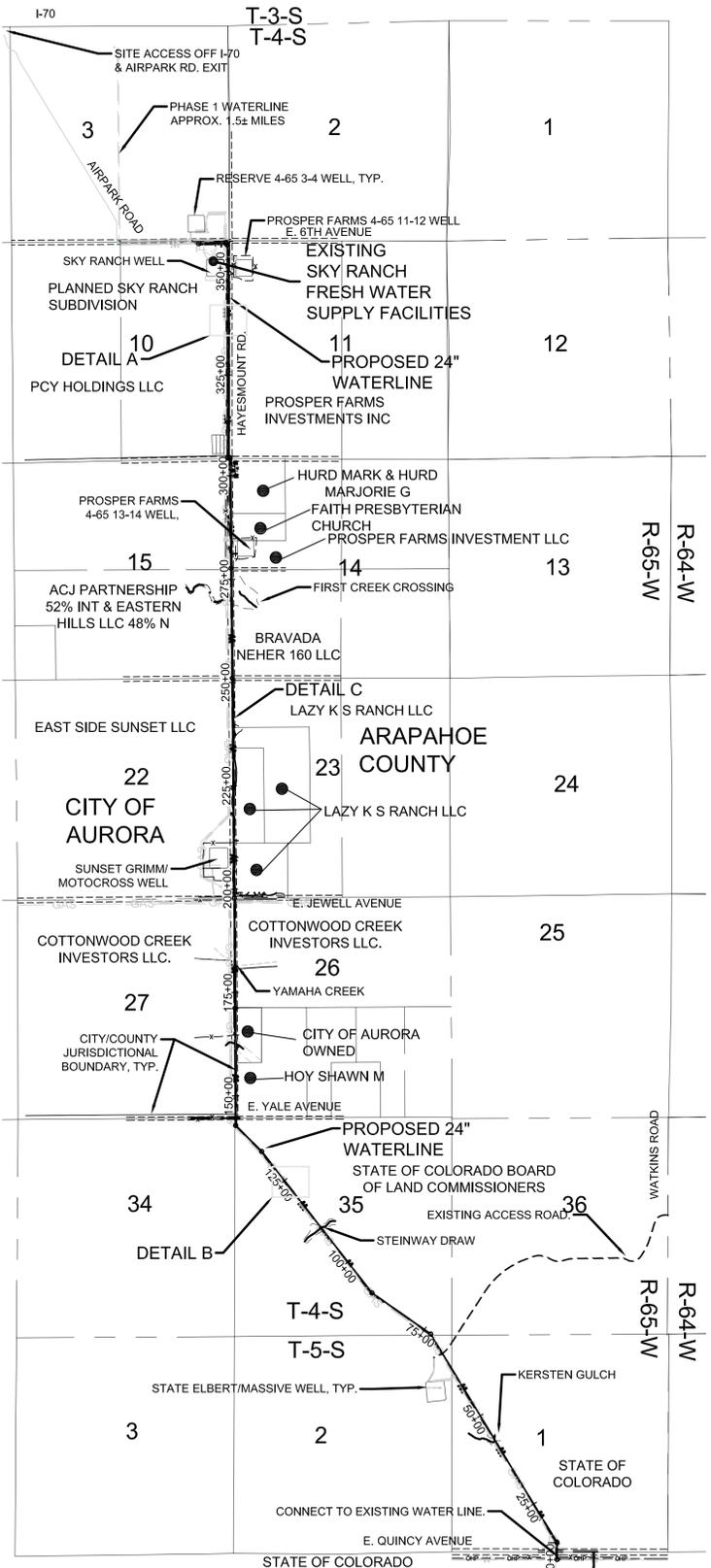
PLANNING COMMISSION APPROVAL
APPROVED BY THE ARAPAHOE COUNTY PLANNING COMMISSION ON THIS _____ DAY OF _____ A.D., 20____
CHAIR: _____

CERTIFICATE OF OWNERSHIP
I, _____ HEREBY AFFIRM THAT I AM THE OWNER OR AUTHORIZED AGENT OF ALL INDIVIDUALS HAVING OWNERSHIP INTEREST IN THE PROPERTY DESCRIBED HEREIN, KNOWN AS RANGEVIEW METROPOLITAN DISTRICT WATERLINE PHASE 2.
OWNER OF RECORD OR AUTHORIZED AGENT
STATE OF _____ }
COUNTY OF _____ } S.S.
THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 20____
BY _____
AS _____ OF _____ AN AUTHORIZED SIGNATORY.
BY _____ WITNESS MY HEAD AND SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES _____
ADDRESS _____
CITY _____ STATE _____ ZIP CODE _____

ARAPAHOE COUNTY CASE NUMBER: L16-001



THE PIPELINE IS 24" DIAMETER THROUGHOUT THE PROJECT FOR THE APPROXIMATE 7 MILES OF ALIGNMENT AS IDENTIFIED ON THE VICINITY MAP.

DETAIL D
STA 148+00 - 363+50 = 35,350 LF

Range/Township	Section	Parcel No.	Owner	Affected Land Parcels	City/State	Zoning
45 65W	10	1977-00-0-00-324	PCY Holdings LLC	24501 E Quincy Ave Bldg. 34 Box 10	Watkins, CO 80137	Dry Farm Class IIB/IC
	11	1977-00-0-00-413	Prosper Farms Investments LLC	5641 N Broadway	Denver, CO 80216	Dry Farm Class IIB/IC/IIID/IIIB/IVA
	14	1977-00-0-00-291	Mark L & Marjorie G Hurd	308 S Hayesmount Rd	Watkins, CO 80137	Dry Farm Class IIB
		1977-00-0-00-368	Bravada/Neher 160 LLC	7400 E Crestline Cir Suite 250	Greenwood Village, CO 80111	Dry Farm Class IIB/IC
	23	1977-00-0-00-370	Prosper Farms Investments LLC	5641 N Broadway	Denver, CO 80216	Dry Farm Class IIC
		1977-00-0-21-001	Faith Presbyterian Church	11373 E Alameda Ave.	Aurora, CO 80012	Dry Farm Class IIC
	26	1977-00-0-00-348	Lazy K S Ranch LLC	30075 E Jewell Ave #A	Watkins, CO 80137	Recreation
		1977-00-0-00-372	Lazy K S Ranch LLC			Recreation, Dry Farm Class IID/IIA, Grazing Land Class VIB/VIII
		1977-00-0-00-384	Lazy K S Ranch LLC			Recreation, Residential Mixed Use, Warehouse/Storage
	35	1977-00-0-00-385	Lazy K S Ranch LLC			Dry Farm Class IID/IIA/IVB
		1977-00-0-00-287	Shawn McHoy	29801 E Yale Ave	Watkins, CO 80137	Grazing Land Class VIB/VIC, Single Family Residential Acreage
		1977-00-0-17-001	City of Aurora	15151 E Alameda Pkwy, Suite 3200	Aurora, CO 80012	Vacant Res. Lots/Sites
1977-00-0-00-386		Cottonwood Creek Investors	4915 S Gaylord St.	Cherry Hills Village, CO 80113	Dry Farm Class IIB, Grazing Land Class VIIA	
55 65W	1	2071-00-0-00-110	Colorado State of Board of Land Commissioners	1313 Sherman St	Denver, CO 80203	Grazing Land Class VIB
	2	2071-00-0-00-098	Colorado State of Board of Land Commissioners	1313 Sherman St	Denver, CO 80203	Grazing Land Class VIB
	12	2071-00-0-00-114	Colorado State of Board of Land Commissioners	1313 Sherman St	Denver, CO 80203	Grazing Land Class VID/VE
		2071-00-0-00-108	State of Colorado	P.O. Box 3239	Englewood, CO 80155	Grazing Land Class VID

BENCHMARK
BENCHMARK - CITY OF AURORA BENCHMARK KNOWN AS 456509SE001 (OLD REFERENCE NAME 23-045), BEING A 3" DIAMETER BRASS CAP STAMPED "C.O.A., BM, 23-45" ATOP THE NORTHEAST CONCRETE BASE OF THE TOWER FOR THE OVERHEAD TRANSMISSION LINES LOCATED ON THE WEST SIDE OF POWHATON ROAD IN THE VICINITY OF THE EAST-WEST CENTERLINE OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 65 WEST HAVING A PUBLISHED ELEVATION OF 5612.875' NAVD 88 DATUM.

CALL 811
TWO WORKING DAYS
BEFORE YOU DIG
1-800-922-1987

SCALE: AS SHOWN

DRAWN BY: JF

CHECKED BY: MEL

DATE: FEBRUARY 2016

FILE NO: 8.13.0107304

SHEET NUMBER: 1

UNCC
UNIVERSITY OF NORTHERN COLORADO
CIVIL ENGINEERING

CVL CONSULTANTS
CIVIL ENGINEERING LAND SURVEYING

3450 E. Quincy Ave.
Englewood, CO 80112
Tel: (720) 482-9558
Fax: (720) 482-2546

CONTACT: SCOTT LEHMAN, P.E.
P: 303.292.3456 F: 303.292.3475

RANGEVIEW METROPOLITAN DISTRICT WATERLINE PHASE 2 LOCATION AND EXTENT COVER SHEET

SCALE: AS SHOWN

DRAWN BY: JF

CHECKED BY: MEL

DATE: FEBRUARY 2016

FILE NO: 8.13.0107304

SHEET NUMBER: 1

UNCC
UNIVERSITY OF NORTHERN COLORADO
CIVIL ENGINEERING

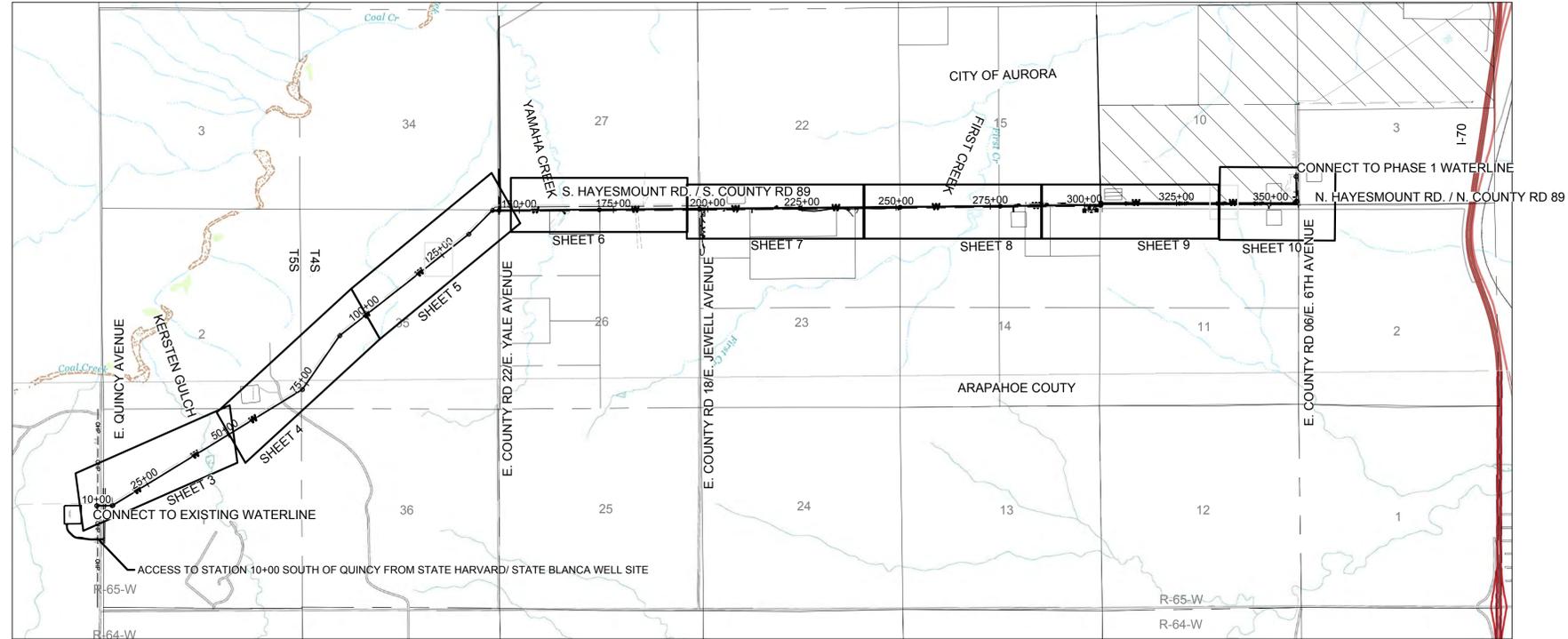
CVL CONSULTANTS
CIVIL ENGINEERING LAND SURVEYING

3450 E. Quincy Ave.
Englewood, CO 80112
Tel: (720) 482-9558
Fax: (720) 482-2546

CONTACT: SCOTT LEHMAN, P.E.
P: 303.292.3456 F: 303.292.3475

LOCATION AND EXTENT

RANGEVIEW METROPOLITAN DISTRICT WATER LINE, PHASE 2
 SECTIONS 10, 11, 14, 23, 26, AND 35 TOWNSHIP 4 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN AND SECTIONS 1 AND 2,
 TOWNSHIP 5 SOUTH, RANGE 65 WEST OF THE SIXTH PRINCIPAL MERIDIAN
 COUNTY OF ARAPAHOE, STATE OF COLORADO



LEGEND	
	PROPOSED NON-POTABLE WATER LINE
	PROPOSED BLOW OFF
	PROPOSED AIR/VAC VALVE
	PROPOSED TEE
	PROPOSED VALVE
	PROPOSED REDUCER
	PROPOSED BEND
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING CULVERT
	EXISTING FENCE
	EXISTING OVERHEAD POWER



KEY MAP

SCALE: 1" = 2,000 FT.



LOCATOR BALL
 PASSIVE RADIO FREQUENCY LOCATOR
 BALLS TO BE BURIED AT 60' INTERVALS
 AND ALL BENDS.



WATER MARKER POST
 4" WIDE, 3' TO 4' TALL FIBERGLASS, TO BE
 INSTALLED NEAR FENCE CROSSINGS.

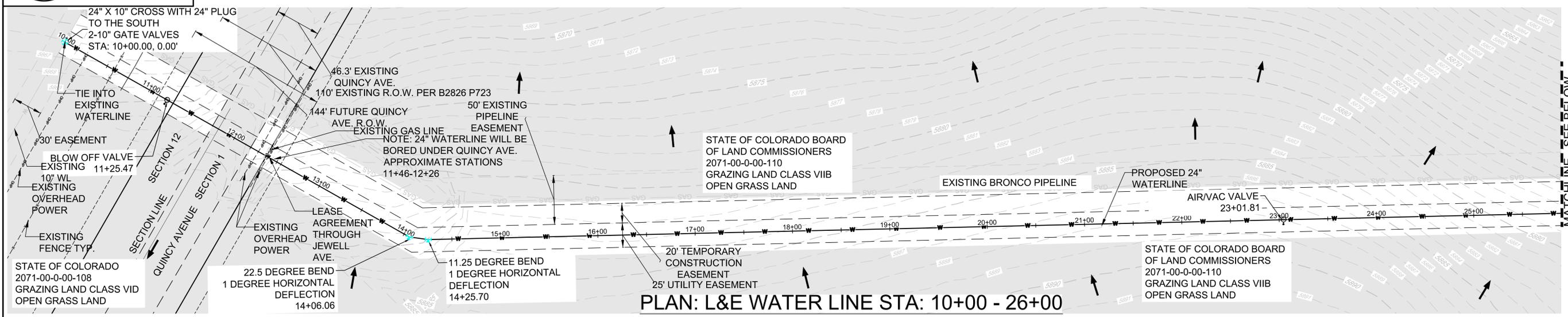
BENCHMARK

BENCHMARK - CITY OF AURORA BENCHMARK KNOWN AS 456508SE001 (OLD REFERENCE NAME 23-045), BEING A 3" DIAMETER BRASS CAP STAMPED "C.O.A., B.M. 23-45" ATOP THE NORTHEAST CONCRETE BASE OF THE TOWER FOR THE OVERHEAD TRANSMISSION LINES LOCATED ON THE WEST SIDE OF POWHATON ROAD IN THE VICINITY OF THE EAST-WEST CENTERLINE OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 65 WEST HAVING A PUBLISHED ELEVATION OF 5612.875' NAVD 88 DATUM.

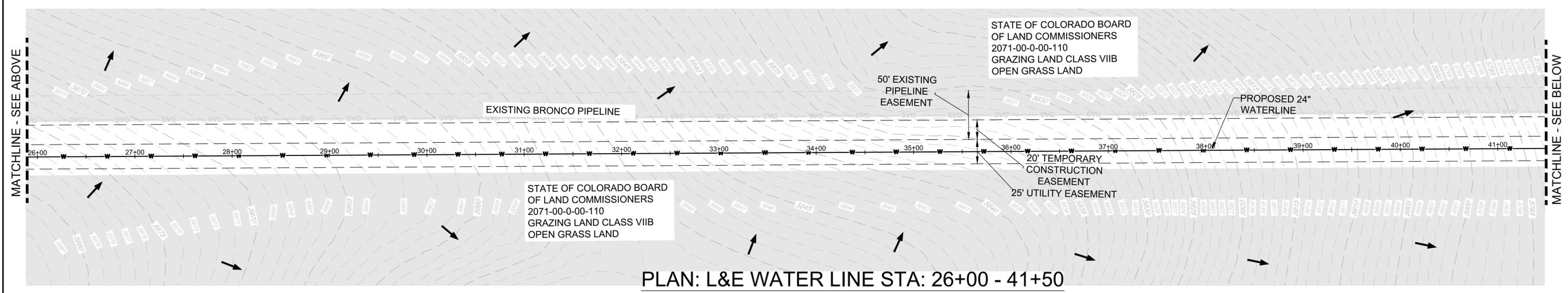
UNCC
 UTILITY NOTIFICATION
 CENTER OF COLORADO

CALL 811
 TWO WORKING DAYS
BEFORE YOU DIG
 1-800-922-1987

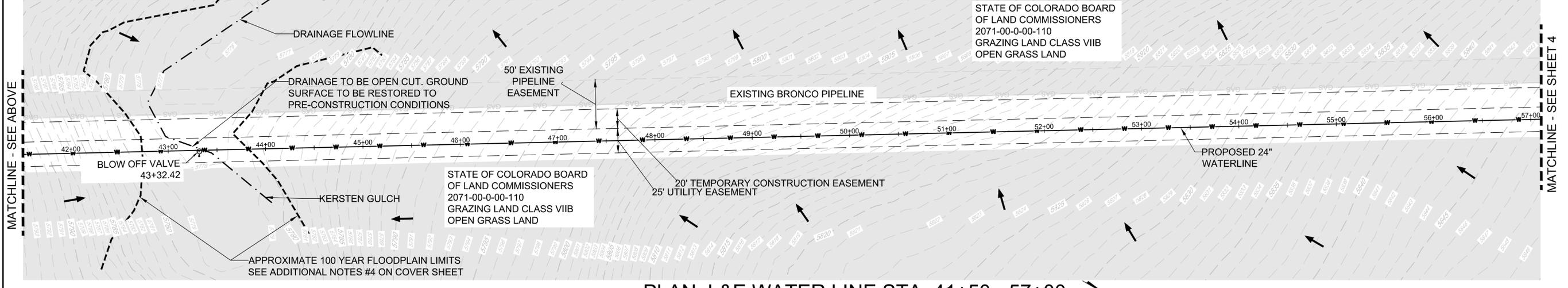
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		CHECKED BY:	MEL	DATE:	FEBRUARY 2016	FILE NO.:	8.13.0107304	
2	RANGEVIEW METROPOLITAN DISTRICT WATERLINE PHASE 2 LOCATION AND EXTENT KEY MAP & LEGEND							Revisions
	RANGEVIEW METROPOLITAN DISTRICT 34501 E. QUINCY AVE. BLDG. 34, BOX 10 WATKINS, CO 80137 CONTACT: SCOTT LEHMAN, P.E. P: 303.292.3456 F: 303.292.3475							No.
10333 E. Dry Creek Rd. Englewood, CO 80110 Tel: (720) 483-9236 Fax: (720) 483-9548								Date
CVL CONSULTANTS CIVIL ENGINEERING LAND SURVEYING								Appr.
								Date



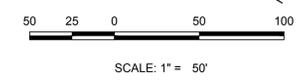
PLAN: L&E WATER LINE STA: 10+00 - 26+00



PLAN: L&E WATER LINE STA: 26+00 - 41+50



PLAN: L&E WATER LINE STA: 41+50 - 57+00



BENCHMARK
 BENCHMARK - CITY OF AURORA BENCHMARK KNOWN AS 456508SE001 (OLD REFERENCE NAME 23-045), BEING A 3" DIAMETER BRASS CAP STAMPED "C.O.A., BM. 23-45" ATOP THE NORTHEAST CONCRETE BASE OF THE TOWER FOR THE OVERHEAD TRANSMISSION LINES LOCATED ON THE WEST SIDE OF POWHATON ROAD IN THE VICINITY OF THE EAST-WEST CENTERLINE OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 65 WEST HAVING A PUBLISHED ELEVATION OF 5612.875' NAVD 88 DATUM.

PREPARED UNDER THE SUPERVISION OF
 MELINDA E. LUNDQUIST
 COLORADO P.E. 38413

ARAPAHOE COUNTY CASE NUMBER: L16-001

NO.	REVISIONS	DATE	INIT.	APPR.	DATE

10338 E. Dry Creek Rd.
 Suite 410
 Englewood, CO 80110
 Tel: (720) 482-9256
 Fax: (720) 482-9548

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 CONSULTANTS
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RANGEVIEW METROPOLITAN DISTRICT
 34501 E. QUINCY AVE.
 BLDG. 34, BOX 10
 WATKINS, CO 80137
 CONTACT: SCOTT LEHMAN, P.E.
 P. 303.292.2456 F. 303.922.3475

RANGEVIEW METROPOLITAN DISTRICT
 NON-POTABLE WATER PIPELINE
 LOCATION AND EXTENT
 STA: 10+00 - STA: 57+00

SCALE: AS SHOWN
 FILE NO: 8.13.0107304

DRAWN BY: M.P.
 CHECKED BY: MEL
 DATE: JANUARY 2016

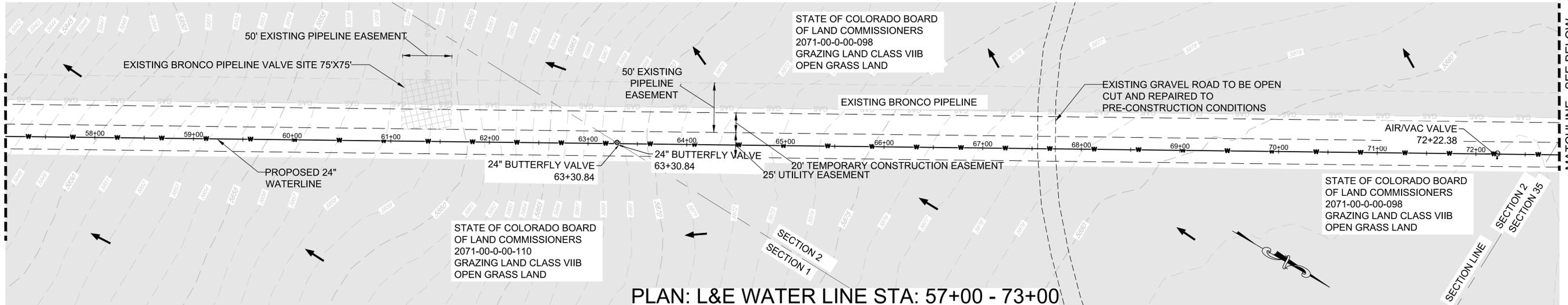
SHEET NUMBER: **3**

N:\Projects\Sky Ranch Metro Dist No 6\CAD\Engineering\Sheet Sets\6 Mile Phase\L&E PLAN.dwg



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534-6700 METRO DENVER AREA
UTILITY NOTIFICATION CENTER OF COLORADO

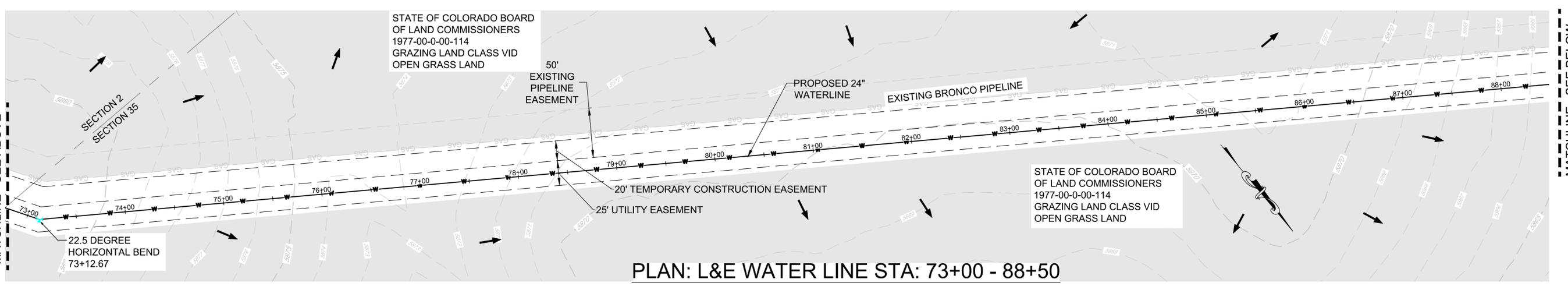
MATCHLINE - SEE SHEET 3



PLAN: L&E WATER LINE STA: 57+00 - 73+00

MATCHLINE - SEE BELOW

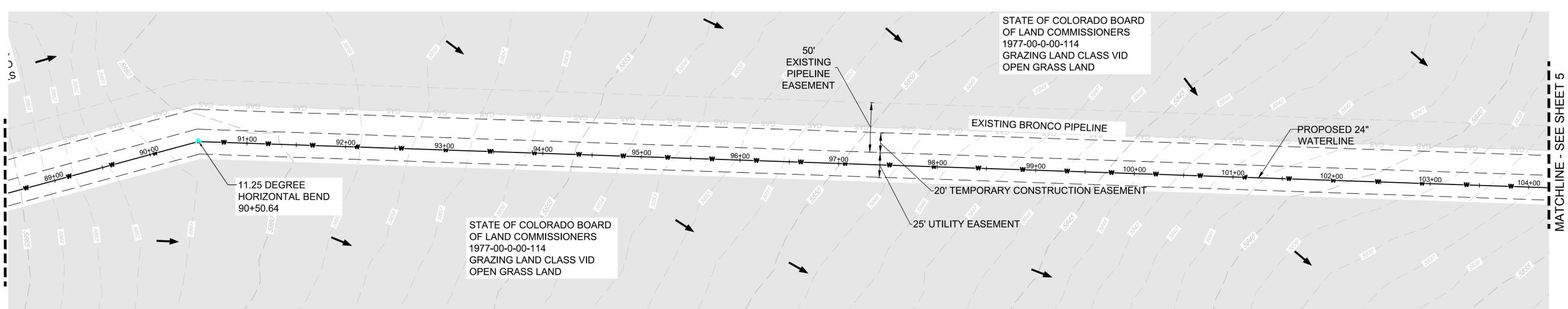
MATCHLINE - SEE ABOVE



PLAN: L&E WATER LINE STA: 73+00 - 88+50

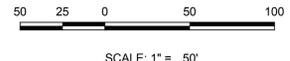
MATCHLINE - SEE BELOW

MATCHLINE - SEE ABOVE



PLAN: L&E WATER LINE STA: 88+50 - 104+00

MATCHLINE - SEE SHEET 5



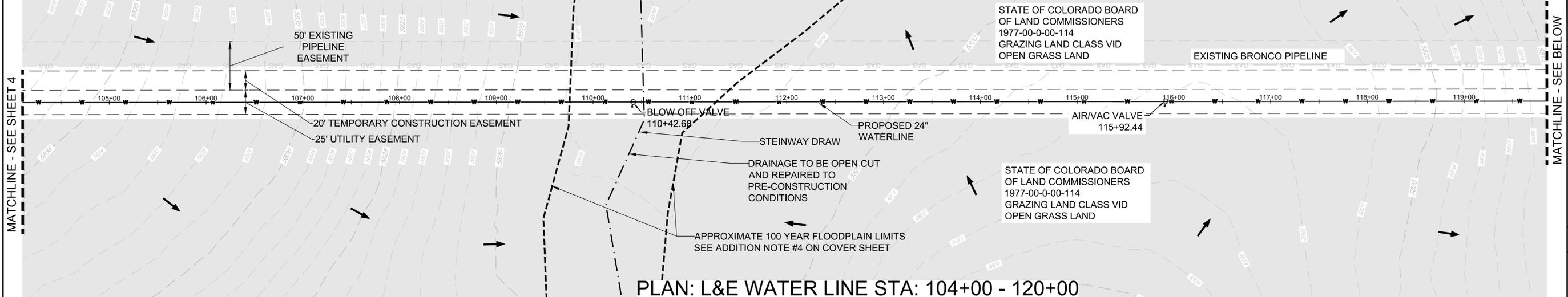
BENCHMARK
BENCHMARK - CITY OF AURORA BENCHMARK KNOWN AS 456508SE001 (OLD REFERENCE NAME 23-045), BEING A 3" DIAMETER BRASS CAP STAMPED "C.O.A., BM, 23-45" ATOP THE NORTHEAST CONCRETE BASE OF THE TOWER FOR THE OVERHEAD TRANSMISSION LINES LOCATED ON THE WEST SIDE OF POWHATON ROAD IN THE VICINITY OF THE EAST-WEST CENTERLINE OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 65 WEST HAVING A PUBLISHED ELEVATION OF 5612.875' NAVD 88 DATUM.

PREPARED UNDER THE SUPERVISION OF

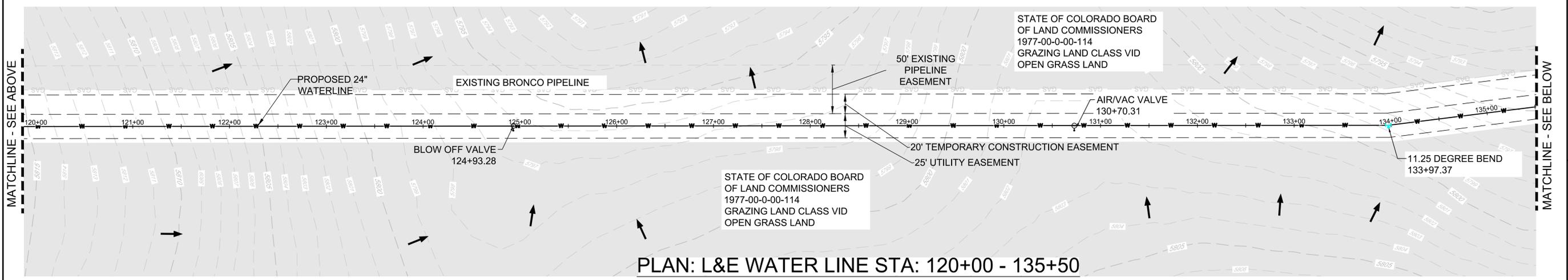
MELINDA E. LUNDQUIST
COLORADO P.E. 38413

ARAPAHOE COUNTY CASE NUMBER: L16-001

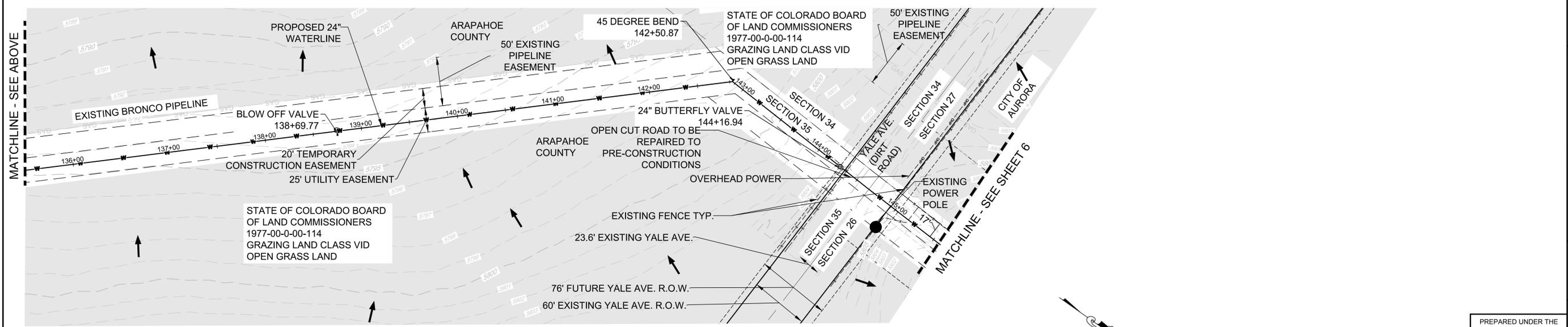
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				M.P.	MEL
4	JANUARY 2016	MEL	MEL	FILE NO.:	8.13.0107304
				SCALE:	AS SHOWN
RANGEVIEW METROPOLITAN DISTRICT				NON-POTABLE WATER PIPELINE LOCATION AND EXTENT	
DISTRICT				STA: 57+00 - STA: 104+00	
CONTACT: SCOTT LEHMAN, P.E.				P: 302.292.2456 F: 303.292.3475	
RANGEVIEW METROPOLITAN DISTRICT				34501 E. QUINCY AVE. BLDG. 34, BOX 10 WATKINS, CO 80137	
ENGINEER				CVL CONSULTANTS	
10333 E. Dry Creek Rd. Suite 410 Englewood, CO 80150				Tel: (720) 482-9526 Fax: (720) 482-9548	
No.	Revisions	Date	Appr.	Date	



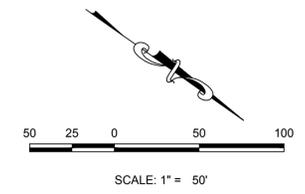
PLAN: L&E WATER LINE STA: 104+00 - 120+00



PLAN: L&E WATER LINE STA: 120+00 - 135+50



PLAN: L&E WATER LINE STA: 135+50 - 145+50



BENCHMARK
 BENCHMARK - CITY OF AURORA BENCHMARK KNOWN AS 4S6508SE001 (OLD REFERENCE NAME 23-045), BEING A 3" DIAMETER BRASS CAP STAMPED "C.O.A., BM. 23-45" ATOP THE NORTHEAST CONCRETE BASE OF THE TOWER FOR THE OVERHEAD TRANSMISSION LINES LOCATED ON THE WEST SIDE OF POWHATON ROAD IN THE VICINITY OF THE EAST-WEST CENTERLINE OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 65 WEST HAVING A PUBLISHED ELEVATION OF 5612.875' NAVD 88 DATUM.

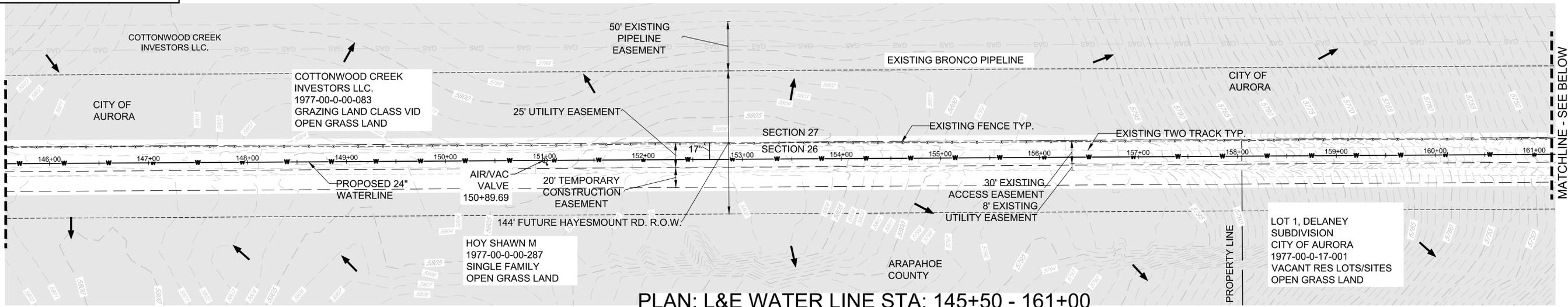
PREPARED UNDER THE SUPERVISION OF
 MELINDA E. LUNDQUIST
 COLORADO P.E. 38413

ARAPAHOE COUNTY CASE NUMBER: L16-001

SHEET NUMBER	DRAWN BY: M.P.		SCALE: AS SHOWN	RANGEVIEW METROPOLITAN DISTRICT NON-POTABLE WATER PIPELINE LOCATION AND EXTENT STA: 104+00 - STA: 145+50	CONTACT: SCOTT LEHMAN, P.E. P: 303.292.2456 F: 303.292.3475
	CHECKED BY: MEL		FILE NO: 8.13.0107304		
5	DATE: JANUARY 2016		DATE: 8.13.0107304	REVISIONS	10333 E. Dry Creek Rd. Suite 410 Englewood, CO 80150 Tel: (720) 482-9526 Fax: (720) 482-9546
				No.	
				Date	Date
				Appr.	Appr.
				Init.	Init.
				Date	Date

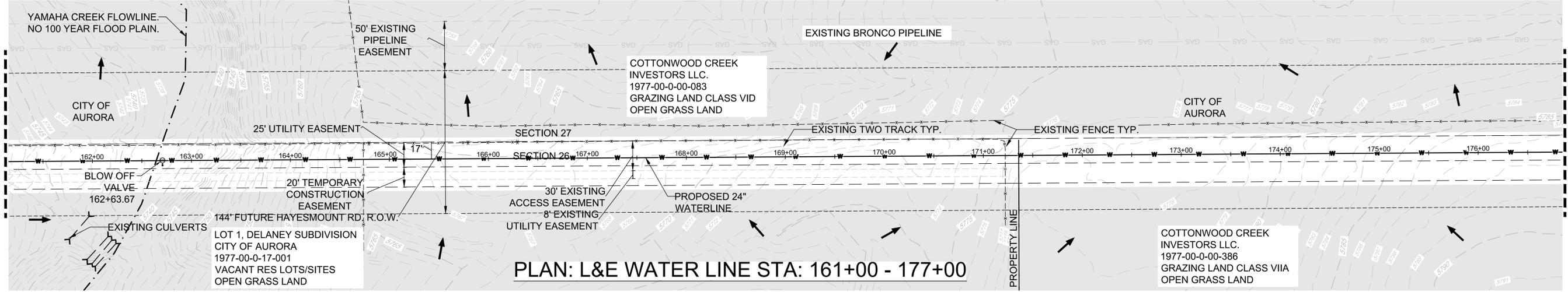


MATCHLINE - SEE SHEET 6



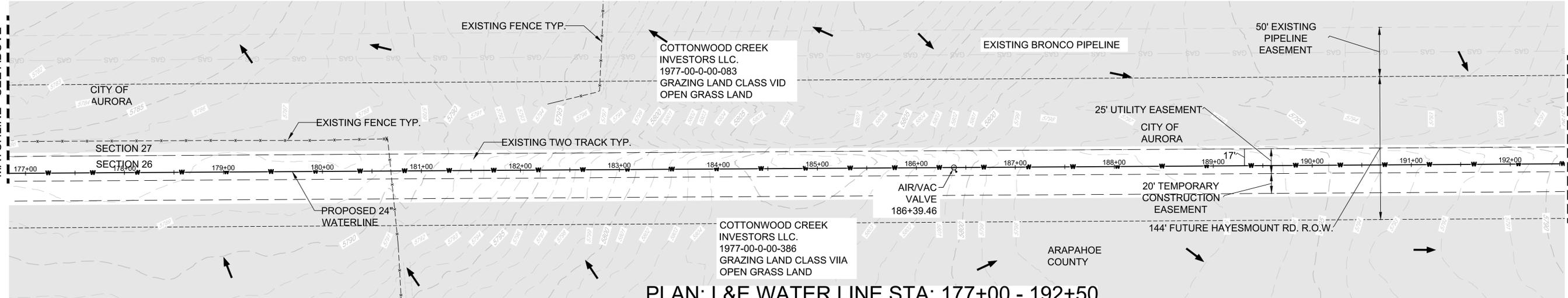
PLAN: L&E WATER LINE STA: 145+50 - 161+00

MATCHLINE - SEE ABOVE

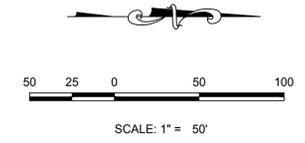


PLAN: L&E WATER LINE STA: 161+00 - 177+00

MATCHLINE - SEE ABOVE



PLAN: L&E WATER LINE STA: 177+00 - 192+50



BENCHMARK
 BENCHMARK - CITY OF AURORA BENCHMARK KNOWN AS 456508SE001 (OLD REFERENCE NAME 23-045), BEING A 3" DIAMETER BRASS CAP STAMPED "C.O.A., BM. 23-45" ATOP THE NORTHEAST CONCRETE BASE OF THE TOWER FOR THE OVERHEAD TRANSMISSION LINES LOCATED ON THE WEST SIDE OF POWHATON ROAD IN THE VICINITY OF THE EAST-WEST CENTERLINE OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 65 WEST HAVING A PUBLISHED ELEVATION OF 5612.875' NAVD 88 DATUM.

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 MELINDA E. LUNDQUIST
 COLORADO P.E. 38413

ARAPAHOE COUNTY CASE NUMBER: L16-001

MATCHLINE - SEE BELOW

MATCHLINE - SEE BELOW

MATCHLINE - SEE SHEET 7

No.	Revisions	Date	Appr.	Date

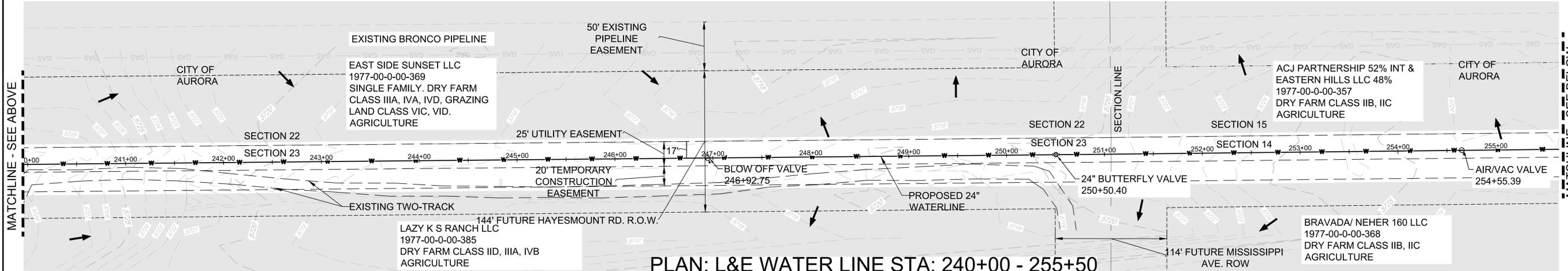
10338 E. Dry Creek Rd.
 Suite 410
 Englewood, CO 80110
 Tel: (720) 482-9526
 Fax: (720) 482-9548



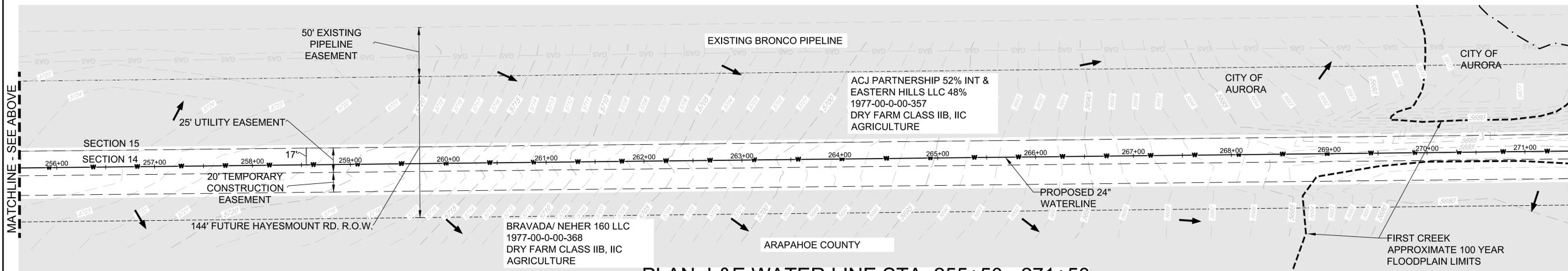
RANGEVIEW METROPOLITAN DISTRICT
 34501 E. QUINCY AVE.
 BLDG. 34, BOX 10
 WATKINS, CO 80137
 CONTACT: SCOTT LEHMAN, P.E.
 P. 303.282.2456 F. 303.282.3475

RANGEVIEW METROPOLITAN DISTRICT
 NON-POTABLE WATER PIPELINE
 LOCATION AND EXTENT
 STA: 145+50 - STA: 192+50

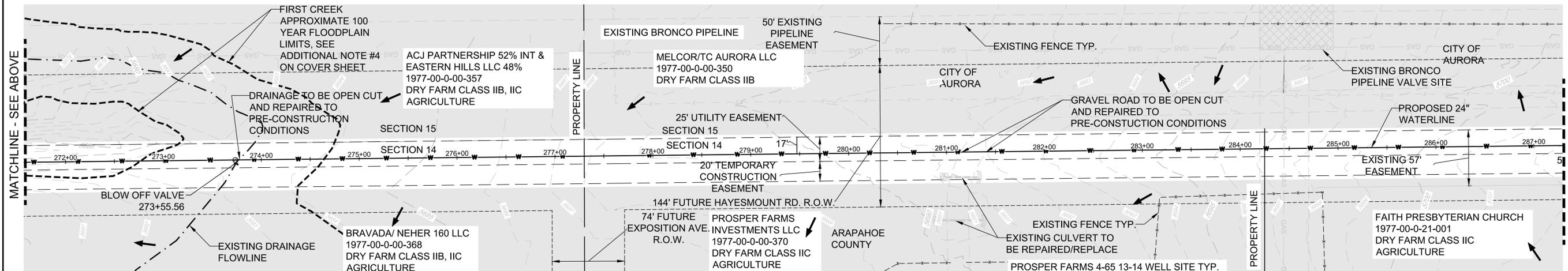
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M.P.	AS SHOWN	JANUARY 2016
CHECKED BY:	FILE NO.:	8.13.0107304
MEL		
SHEET NUMBER	6	



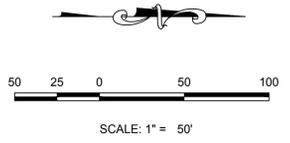
PLAN: L&E WATER LINE STA: 240+00 - 255+50



PLAN: L&E WATER LINE STA: 255+50 - 271+50



PLAN: L&E WATER LINE STA: 271+50 - 287+00

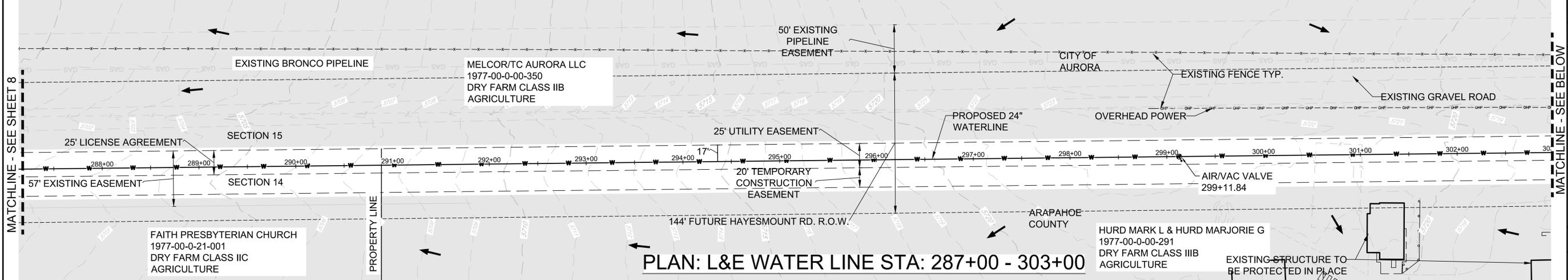


BENCHMARK
 BENCHMARK - CITY OF AURORA BENCHMARK KNOWN AS 456508SE001 (OLD REFERENCE NAME 23-045), BEING A 3\"/>

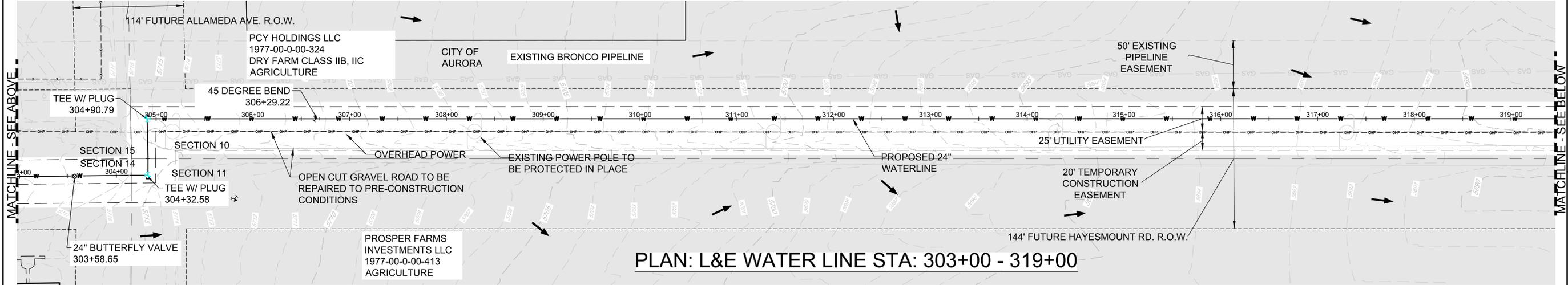
PREPARED UNDER THE SUPERVISION OF
 MELINDA E. LUNDQUIST
 COLORADO P.E. 38413

ARAPAHOE COUNTY CASE NUMBER: L16-001

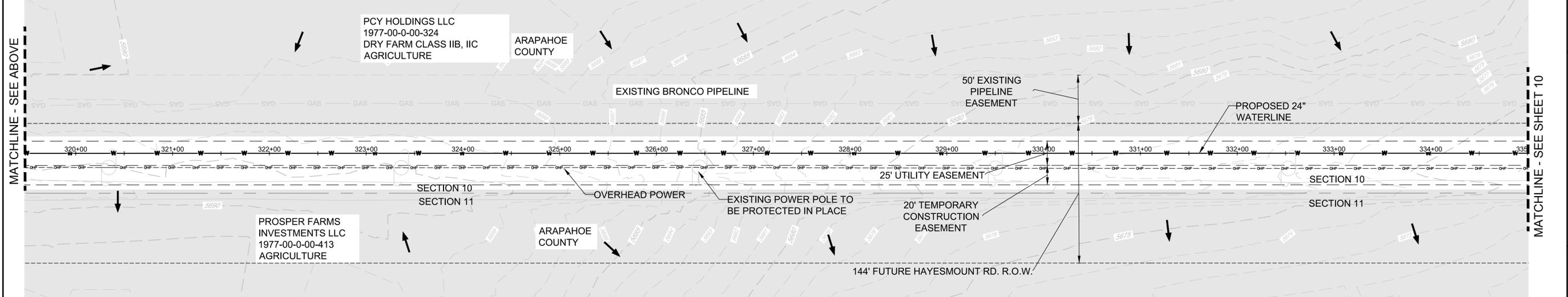
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DRAWN BY:	M.P.
CHECKED BY:	MEL
DATE:	JANUARY 2016
SCALE:	AS SHOWN
FILE NO.:	8.13.0107304
RANGEVIEW METROPOLITAN DISTRICT NON-POTABLE WATER PIPELINE LOCATION AND EXTENT STA: 240+00 - STA: 287+00	
RANGEVIEW METROPOLITAN DISTRICT DISTRICT 34501 E. QUINCY AVE. BLDG. 34, BOX 10 WATKINS, CO 80137 CONTACT: SCOTT LEHMAN, P.E. P. 303.292.2456 F. 303.292.3475	
10338 E. Dry Creek Rd. Suite 410 Englewood, CO 80110 Tel: (720) 482-9526 Fax: (720) 482-9548	
No.	Revisions
Date	Appr.
Date	Date



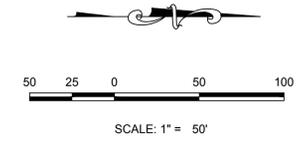
PLAN: L&E WATER LINE STA: 287+00 - 303+00



PLAN: L&E WATER LINE STA: 303+00 - 319+00



PLAN: L&E WATER LINE STA: 319+00 - 334+50



BENCHMARK
 BENCHMARK - CITY OF AURORA BENCHMARK KNOWN AS 456508SE001 (OLD REFERENCE NAME 23-045), BEING A 3" DIAMETER BRASS CAP STAMPED "C.O.A., BM. 23-45" ATOP THE NORTHEAST CONCRETE BASE OF THE TOWER FOR THE OVERHEAD TRANSMISSION LINES LOCATED ON THE WEST SIDE OF POWHATON ROAD IN THE VICINITY OF THE EAST-WEST CENTERLINE OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 65 WEST HAVING A PUBLISHED ELEVATION OF 5612.875' NAVD 88 DATUM.

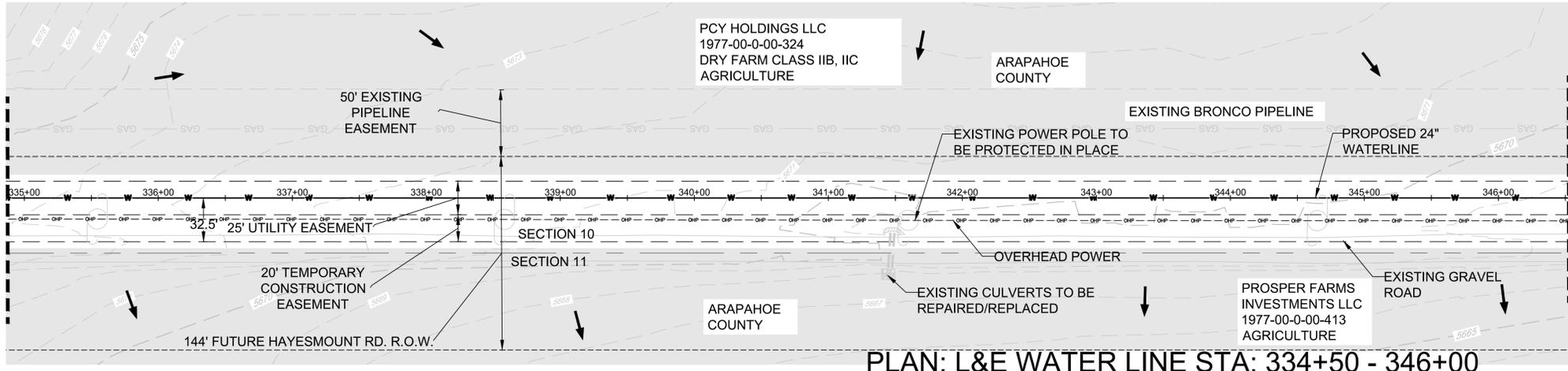
PREPARED UNDER THE SUPERVISION OF
 MELINDA E. LUNDQUIST
 COLORADO P.E. 38413

ARAPAHOE COUNTY CASE NUMBER: L16-001

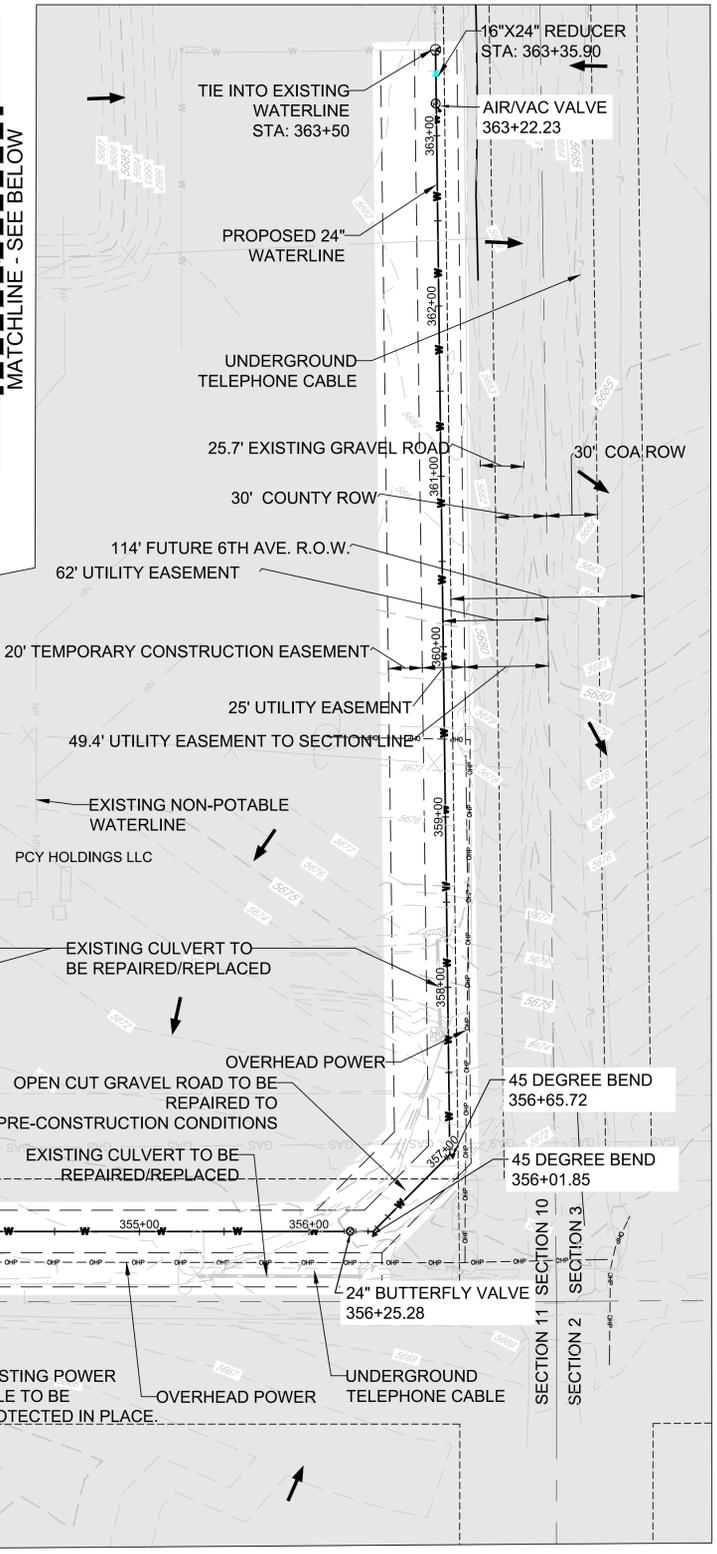
10338 E. Dry Creek Rd. Suite 410 Englewood, CO 80150 Tel: (720) 482-9526 Fax: (720) 482-9548	10338 E. Dry Creek Rd. Suite 410 Englewood, CO 80150 Tel: (720) 482-9526 Fax: (720) 482-9548
CVL CONSULTANTS CIVIL ENGINEERING LAND SURVEYING	CVL CONSULTANTS CIVIL ENGINEERING LAND SURVEYING
RANGEVIEW METROPOLITAN DISTRICT DISTRICT 34501 E. QUINCY AVE. BLDG. 34, BOX 10 WATKINS, CO 80137 CONTACT: SCOTT LEHMAN, P.E. P. 303.292.2456 F. 303.292.3475	RANGEVIEW METROPOLITAN DISTRICT DISTRICT 34501 E. QUINCY AVE. BLDG. 34, BOX 10 WATKINS, CO 80137 CONTACT: SCOTT LEHMAN, P.E. P. 303.292.2456 F. 303.292.3475
RANGEVIEW METROPOLITAN DISTRICT NON-POTABLE WATER PIPELINE LOCATION AND EXTENT STA: 287+00 - STA: 334+50	RANGEVIEW METROPOLITAN DISTRICT NON-POTABLE WATER PIPELINE LOCATION AND EXTENT STA: 287+00 - STA: 334+50
SCALE: AS SHOWN M.P. FILE NO: 8.13.0107304	SCALE: AS SHOWN M.P. FILE NO: 8.13.0107304
DRAWN BY: M.P. CHECKED BY: MEL DATE: JANUARY 2016	DRAWN BY: M.P. CHECKED BY: MEL DATE: JANUARY 2016
SHEET NUMBER: 9	SHEET NUMBER: 9
DATE: JANUARY 2016	DATE: JANUARY 2016
NO.	NO.
REVISIONS	REVISIONS
DATE	DATE
INIT.	INIT.
APPR.	APPR.
DATE	DATE



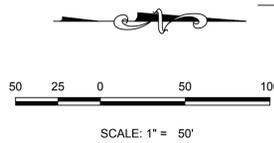
MATCHLINE - SEE SHEET 9



PLAN: L&E WATER LINE STA: 334+50 - 346+00



PLAN: L&E WATER LINE STA: 346+00 - 363+50



BENCHMARK
 BENCHMARK - CITY OF AURORA BENCHMARK KNOWN AS 456508SE001 (OLD REFERENCE NAME 23-045), BEING A 3" DIAMETER BRASS CAP STAMPED "C.O.A., BM. 23-45" ATOP THE NORTHEAST CONCRETE BASE OF THE TOWER FOR THE OVERHEAD TRANSMISSION LINES LOCATED ON THE WEST SIDE OF POWHATON ROAD IN THE VICINITY OF THE EAST-WEST CENTERLINE OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 65 WEST HAVING A PUBLISHED ELEVATION OF 5612.875' NAVD 88 DATUM.

PREPARED UNDER THE SUPERVISION OF

MELINDA E. LUNDQUIST
 COLORADO P.E. 38413

ARAPAHOE COUNTY CASE NUMBER: L16-001

SHEET NUMBER	10		
	DATE	JANUARY 2016	FILE NO.
DRAWN BY:	M.P.	CHECKED BY:	MEL
SCALE:	AS SHOWN	FILE NO.:	8.13.0107304
RANGEVIEW METROPOLITAN DISTRICT NON-POTABLE WATER PIPELINE LOCATION AND EXTENT STA: 334+50 - STA: 363+50			
10338 E. Dry Creek Rd. Suite 410 Englewood, CO 80150 Tel: (720) 482-9526 Fax: (720) 482-9548			
RANGEVIEW METROPOLITAN DISTRICT DISTRICT 34501 E. QUINCY AVE. BLDG. 34, BOX 10 WATKINS, CO 80137 CONTACT: SCOTT LEHMAN, P.E. P. 303.292.3456 F. 303.292.3475			
Revisions	No.	Date	Appr.