



Administration Building  
East Hearing Room  
5334 S. Prince St.  
Littleton, CO 80120  
303-795-4630  
Relay Colorado 711  
303-795-4630 Audio Agenda Line

Nancy A. Doty, Chair, District 1  
Nancy Sharpe, District 2  
Rod Bockenfeld, District 3  
Nancy Jackson, Chair Pro-Tem, District 4  
Bill Holen, District 5

**Public Meeting**  
**September 27, 2016**  
**9:30 A.M.**

The Board of County Commissioners holds its weekly Public Hearing at 9:30 a.m. on Tuesdays. Public Hearings are open to the public and items for discussion are included on this agenda. Items listed on the consent agenda are adopted with one vote. Items listed under regular business are considered separately. Agendas are available through the Commissioners' Office or through the County's web site at [www.arapahoegov.com](http://www.arapahoegov.com). Questions about this agenda, please contact the Commissioners' Office at 303-795-4630 or by e-mail at [commissioners@arapahoegov.com](mailto:commissioners@arapahoegov.com).

**AGENDA**

**1. CALL TO ORDER**

Arapahoe County Board of County Commissioners

**2. INTRODUCTION**

Ron Carl, County Attorney  
Joleen Sanchez, Asst. Clerk to the Board

**3. ROLL CALL**

**4. PLEDGE OF ALLEGIANCE**

**5. MODIFICATION TO THE AGENDA**

**6. ADOPTION OF THE AGENDA**

**7. APPROVAL OF THE MINUTES**

**7.a. BOCC Public Meeting Minutes - August 23, 2016**

Documents:

[BOCC PUBLIC MEETING MINUTES 08.23.2016.PDF](#)

**7.b. BOCC Public Meeting Minutes - August 30, 2016**

Documents:

7.c. **BOCC Public Meeting Minutes - September 6, 2016**

Documents:

[BOCC PUBLIC MEETING MINUTES 09.06.2016.PDF](#)

8. **CITIZEN COMMENT PERIOD**

Citizens are invited to speak to the Commissioners on non-agenda items. There is a 3-minute time limit per person, unless otherwise noted by the Chair.

9. **CONSENT AGENDA**

9.a. **9.6.2016 Warrant ACH Expenditure Report**

Authorization to sign the Warrant Disbursement Register

*Ron Carl, County Attorney*

Documents:

[9.6.2016 WARRANT ACH EXPENDITURE REPORT.PDF](#)

9.b. **9.12.2016 Warrant ACH Expenditure Report**

Authorization to sign the Warrant Disbursement Register

*Ron Carl, County Attorney*

Documents:

[9.12.2016 WARRANT ACH EXPENDITURE REPORT.PDF](#)

9.c. **9.19.2016 Warrant ACH Expenditure Report**

Authorization to sign the Warrant Disbursement Register

*Ron Carl, County Attorney*

Documents:

[9.19.2016 WARRANT ACH EXPENDITURE REPORT.PDF](#)

9.d. **CDBG Medici Grant to Loan Conversion**

Adoption of a resolution approving the conversion of the Medici Brant Award of \$150,000 to an interest only loan with an option to purchase, pursuant to the terms contained therein

*Liana Escott, Community Development Administrator, Community Resources*

*Linda Haley, Division Manager, Housing and Community Development*

*Don Klemme, Director, Community Resources*

*Janet Kennedy, Director, Finance*

*Tiffanie Bleau, Senior Assistant County Attorney*

Documents:

[2016 CDBG MEDICI LOAN CONVERSION CONSENT AGENDA.DOCX](#)

9.e. **Extension of Job Store Agreement for Services**

Adoption of a resolution authorizing the Clerk and Recorder to extend its agreement with The Job Store through December 31, 2016 and not to exceed \$100,000 for the continued use of temporary employees

*Jennifer Morrell, Deputy of Elections*  
*Victoria Gallegos, Chief Deputy Clerk and Recorder*  
*Matt Crane, Clerk and Recorder*  
*Keith Ashby, Purchasing Manager, Finance*  
*Monica Kovaci, Assistant County Attorney*

Documents:

[PUBLIC MEETING BSR RE JOB STORE 2.DOC](#)  
[2015 RESO RE EXTENSION OF JOB STORE AGREEMENT.DOC](#)

9.f. **Grant of Easement - South Suburban Parks and Recreation**

Adoption of a resolution approving a request from South Suburban Parks and Recreation District (SSPR) to grant an easement across County property to install a new water service to the South Suburban Golf Course (GC)

*Dick Hawes, Director, Facilities and Fleet Management*  
*Todd Weaver, Budget Manager, Finance*  
*John Christofferson, Deputy County Attorney*

Documents:

[CONSENT COVER - SSPR GRANT OF EASEMENT.DOC](#)  
[DRAFT RESO NO. SSPR.DOC](#)

9.g. **Loan Servicing Transfer from South Metro Housing Options to Funding Partners**

Adoption of a resolution approving for South Metro Housing Options (SHMO,) to transfer 32 housing rehabilitation loans from SHMO to Funding Partners for servicing for a transfer fee of \$100/file and then the annual portfolio servicing fee of 1% with a cap of \$2,500 billed the first of each year based upon the outstanding balance at 12/31 of the prior year, pursuant to the terms contained therein

*Liana Escott, Community Development Administrator, Community Resources*  
*Linda Haley, Division Manager, Housing and Community Development, Community Resources*  
*Don Klemme, Director, Community Resources*  
*Janet Kennedy, Director, Finance*  
*Tiffanie Bleau, Senior Assistant County Attorney*

Documents:

[2016 SHMO PORTFOLIO TRANSFER TO FUNDING PARTNERS](#)  
[CONSENT AGENDA.DOCX](#)  
[FUNDING PARTNERS LOAN SERVICING.DOCX](#)

9.h. **P16-008 169 Inverness Final Development Plan (previously called 163 Inverness FPD)**

Adoption of a resolution approving Case P16-008, for the Final Development Plan for a 119,362 square foot office building located on Lot 2, Inverness Subdivision

Filing No. 61

*Molly Orkild-Larson, Senior Planner, Public Works and Development*  
*Jan Yeckes, Planning Division Manager, Public Works and Development*  
*Dave Schmit, Director, Public Works and Development*  
*Todd Weaver, Budget Manager, Finance*  
*Robert Hill, Senior Assistant County Attorney*

Documents:

[P16-008 BSR.PDF](#)  
[P16-008 FDP.PDF](#)  
[P16-008 STAFF REPORT.PDF](#)

**9.i. Select Source Procurement Waiver - Real Estate Broker Affiliation**

Adoption of a resolution approving a waiver of the Arapahoe County Purchasing Policies for a select source procurement with Inverness Properties (Inverness) that would enable Ken Morris, Projects Management Manager and Dick Hawes, Director, Facilities and Fleet Management, to work under their real estate brokerage supervision for county property and leasing transactions

*Dick Hawes, Director, Facilities and Fleet Management*  
*Keith Ashby, Purchasing Manager, Finance*  
*John Christofferson, Deputy County Attorney*

Documents:

[CONSENT COVER - INVERNESS SELECT SOURCE PROCUREMENT WAIVER FOR RE AFFILIATION.DOC](#)  
[DRAFT RESOLUTION - INVERNESS RE AFFILIATION PROCUREMENTWAIVER \\_ SELECT SOURCE .DOCX](#)

**9.j. State Plan of Operations Between the State of Colorado and the Arapahoe County Sheriff's Office**

Adoption of a resolution authorizing the Arapahoe County Sheriff to sign the 2016 State Plan of Operation (SPO). This SPO will grant the Sheriff's Office eligibility to request excess personal property from the Department of Defense

*Olga Fujaros, Budget & Logistics Manager, Sheriff's Office*  
*Larry Etheridge, Bureau Chief Support Services, Sheriff's Office*  
*Louie Perea, Undersheriff, Sheriff's Office*  
*David C. Walcher, Sheriff*  
*Tiffanie Bleau, Senior Assistant County Attorney*

Documents:

[2016 SPO 1033 BSR.DOC](#)  
[RESO FOR 2016 SPO 1033.DOC](#)  
[3-APPLICATION.PDF](#)  
[CO STATE PLAN OF OPERATION \(SPO\) AUGUST 2016.PDF](#)

**10. GENERAL BUSINESS ITEMS**

10.a. **There are no Public Hearing or General Business resolutions to consider**

**11. COMMISSIONER COMMENTS**

**\*Denotes a requirement by federal or state law that this item be opened to public**

**testimony. All other items under the “General Business” agenda may be opened for public testimony at the discretion of the Board of County Commissioners.**

*Arapahoe County is committed to making its public meetings accessible to persons with disabilities.*

*Assisted listening devices are available. Ask any staff member and we will provide one for you.*

*If you need special accommodations, contact the Commissioners' Office at 303-795-4630 or Relay Colorado 711.*

*Please contact our office at least 3 days in advance to make arrangements.*

**MINUTES OF THE ARAPAHOE COUNTY  
BOARD OF COUNTY COMMISSIONERS  
TUESDAY, AUGUST 23, 2016**

At a public meeting of the Board of County Commissioners for Arapahoe County, State of Colorado, held at 5334 South Prince Street, Littleton, Colorado 80120 there were:

<b>Nancy Doty, Chair</b>	<b>Commissioner District 1</b>	<b>Present</b>
<b>Nancy Jackson, Chair Pro-Tem</b>	<b>Commissioner District 4</b>	<b>Present</b>
<b>Nancy A. Sharpe</b>	<b>Commissioner District 2</b>	<b>Present</b>
<b>Rod Bockenfeld</b>	<b>Commissioner District 3</b>	<b>Present</b>
<b>Bill Holen</b>	<b>Commissioner District 5</b>	<b>Present</b>
<b>Ron Carl</b>	<b>County Attorney</b>	<b>Present</b>
<b>Matt Crane</b>	<b>Clerk to the Board</b>	<b>Absent and Excused</b>
<b>Joleen Sanchez</b>	<b>Asst. Clerk to the Board</b>	<b>Present</b>

when the following proceedings, among others, were had and done, to-wit:

**CALL TO ORDER**

Commissioner Doty called the meeting to order.

**INTRODUCTIONS**

**ROLL CALL**

**PLEDGE OF ALLEGIANCE**

**MODIFICATION(S) TO THE AGENDA**

There were no modifications to the agenda.

**ADOPTION OF THE AGENDA**

**The motion was made by Commissioner Holen and duly seconded by Commissioner Jackson to adopt the Agenda as presented.**

**The motion passed 5-0.**

**CEREMONIES**

There were no ceremonies on this date.

**CITIZEN COMMENT PERIOD**

Maureen Welch discussed funding to Developmental Pathways. She asked that the Commissioners reconsider Referendum 4A from 2001.

Denver Fox discussed his concern regarding the audit issue with Developmental Pathways and asked the Board to audit Developmental Pathways and mill levy funds.

## **CONSENT AGENDA**

**The motion was made by Commissioner Jackson and duly seconded by Commissioner Sharpe to approve the items on the Consent Agenda as presented.**

**The motion passed 5-0.**

## **GENERAL BUSINESS ITEMS**

### **Item 1 – Resolution No. 160511-160522 - Adoption of the 2<sup>nd</sup> Quarter Supplemental Appropriations**

Deputy County Attorney John Christofferson established jurisdiction for the Board to hear these requests.

Todd Weaver, Budget Manager, presented a PowerPoint presentation, a copy of which has been retained for the record.

**There were no public comments.**

**The motion was made by Commissioner Sharpe, duly seconded by Commissioner Holen, to adopt Items 1 through 15 of the supplemental appropriation requests of the 2016 budget that were presented to the Board at the second quarter budget review study session on August 8, 2016, and brought forward for today's public hearing for formal adoption.**

**The motion passed 5-0.**

**The motion was made by Commissioner Jackson, duly seconded by Commissioner Sharpe, to adopt Item 16 of the supplemental appropriation requests of the 2016 budget that was presented to the Board at the second quarter budget review study session on August 8, 2016, and brought forward for today's public hearing for formal adoption.**

**The motion passed 4-1, Commissioner Bockenfeld opposed.**

**The motion was made by Commissioner Jackson, duly seconded by Commissioner Sharpe, to adopt Item 17 of the supplemental appropriation requests of the 2016 budget that was presented to the Board at the second quarter budget review study session on August 8, 2016, and brought forward for today's public hearing for formal adoption.**

Commissioner Bockenfeld explained why he is voting against this motion.

Commissioner Sharpe expressed her concerns regarding the need to move cases from Arapahoe County to Douglas County.

Dick Hawes explained why the study is being requested instead of building the additional courtroom.

Commissioner Sharpe asked if there is a way to build a larger courtroom with the \$85,000 that has been requested for the study.

Mr. Hawes said there is agreement that there should be no new construction until the right solution for the facility is determined.

Commissioner Jackson mentioned the increased security needs and structural issues.

Mr. Hawes stated that the previous study was good at the time, but problems have evolved, and explained what some of those problems are.

Commissioner Bockenfeld further explained why he would not support this motion.

Commissioner Sharpe asked if work has been done to improve deficiencies.

Mr. Hawes said yes, and those deficiencies drove the need to consider an expansion of the facility and how the existing buildings could be modernized; however the chief judge feels that a new building should also be considered. He said the goal of the study is to look at those issues and come up with the right solution.

**The motion passed 4-1, Commissioner Bockenfeld opposed.**

#### **COMMISSIONER COMMENTS**

There were no commissioner comments on this date.

**There being no other business before the Board, the public meeting was adjourned by Commissioner Doty at 10:36 a.m.**

#### **ARAPAHOE COUNTY BOARD OF COUNTY COMMISSIONERS**

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**MATT CRANE, CLERK TO THE BOARD**  
**BY JOLEEN SANCHEZ, ASSISTANT CLERK TO THE BOARD**

**MINUTES OF THE ARAPAHOE COUNTY  
BOARD OF COUNTY COMMISSIONERS  
TUESDAY, AUGUST 30, 2016**

At a public meeting of the Board of County Commissioners for Arapahoe County, State of Colorado, held at 5334 South Prince Street, Littleton, Colorado 80120 there were:

<b>Nancy Doty, Chair</b>	<b>Commissioner District 1</b>	<b>Present</b>
<b>Nancy Jackson, Chair Pro-Tem</b>	<b>Commissioner District 4</b>	<b>Present</b>
<b>Nancy A. Sharpe</b>	<b>Commissioner District 2</b>	<b>Present</b>
<b>Rod Bockenfeld</b>	<b>Commissioner District 3</b>	<b>Present</b>
<b>Bill Holen</b>	<b>Commissioner District 5</b>	<b>Present</b>
<b>Ron Carl</b>	<b>County Attorney</b>	<b>Present</b>
<b>Matt Crane</b>	<b>Clerk to the Board</b>	<b>Absent and Excused</b>
<b>Joleen Sanchez</b>	<b>Asst. Clerk to the Board</b>	<b>Present</b>

When the following proceedings, among others, were had and done, to-wit:

**CALL TO ORDER**

Commissioner Doty called the meeting to order.

**INTRODUCTIONS**

**ROLL CALL**

**PLEDGE OF ALLEGIANCE**

**MODIFICATION(S) TO THE AGENDA**

There were no modifications to the agenda.

**ADOPTION OF THE AGENDA**

**The motion was made by Commissioner Sharpe and duly seconded by Commissioner Holen to adopt the Agenda as presented.**

**The motion passed 5-0.**

**CEREMONIES**

**Retirement Resolution honoring Rick Lantz for 5 Years of Very Dedicated Service to the Arapahoe County Information Technology Office.**

Information Technology Director David Bessen read the retirement resolution into the record.

**The motion was made by Commissioner Jackson and duly seconded by Commissioner Sharpe to adopt the Retirement Resolution Honoring Rick Lantz for over 5 years of dedicated service to the Arapahoe County Information Technology Office.**

**The motion passed 5-0.**

#### **ADOPTION OF THE MINUTES**

**The motion was made by Commissioner Sharpe and duly seconded by Commissioner Jackson to adopt the minutes of August 2, 2016 public meeting as presented.**

**The motion passed 5-0.**

#### **CITIZEN COMMENT PERIOD**

Maureen Welch explained why she is requesting an independent audit of Developmental Pathways.

#### **CONSENT AGENDA**

**The motion was made by Commissioner Holen and duly seconded by Commissioner Jackson to approve the items on the Consent Agenda as presented.**

**The motion passed 5-0.**

#### **GENERAL BUSINESS ITEMS**

##### **Item 1 – Resolution No. 160534 - Centennial East Corporate Center/A+ Athletics, Final Development Plan Amendment (P15-011)**

Robert Hill, Senior Assistant County Attorney, established jurisdiction for the Board to hear this case.

Sherman Feher, Senior Planner, introduced the applicants and gave an overview of the project. He stated staff recommends approval of this application, with conditions.

Applicant, Eric Oldham, representing A-Plus Athletics, discussed the programs offered at A-Plus.

Brian Ostler, representing the applicant, discussed the parking at the site. He explained that there would be sixty extra spaces per the parking agreement with City Lighting.

**The public comment period was opened.**

**There were no public comments.**

**The motion was made by Commissioner Sharpe and duly seconded by Commissioner Bockenfeld in the case of P15-011, Centennial East Corporate Center/A Plus Athletics Final Development Plan Amendment, the Board has read the staff report and received testimony at the public hearing. The Board agrees with staff findings including the draft plan and attachments as set forth in the Board Summary Report dated August 4, 2016, and approves of this case, subject to the following conditions:**

1. The applicant must make all modifications to the Final Development Plan Amendment Exhibit as requested by the Public Works & Development Department.
2. The applicant agrees to address all Engineering Services Division and SEMSWA comments and concerns, as identified within their reports, prior to signed mylars.

**The motion passed 5-0.**

**Item 2 – Resolution No. 160535 - Case Z15-007 - Iliff Avenue Single Family Homes, Preliminary Development Plan**

Robert Hill, Senior Assistant County Attorney, established jurisdiction for the Board to hear this case.

Sherman Feher, Senior Planner, introduced the applicants and gave an overview of the project.

Scott Alpert, representing the applicant, presented a PowerPoint presentation, and described the proposed buildings and site layout.

Commissioner Jackson asked about the walls surrounding the site. The applicant stated that there would be a 6-foot wall, but it has not been decided if it will be constructed of brick or stone.

Commissioner Holen explained why he supports this project.

Mr. Alpert stated the homes would be 1,500 – 1,600 square feet and would sell for approximately \$400,000.

**The public comment period was opened.**

Allen Adleborg, representing Snow’s Concrete Forming, supports this project, and said his construction business is concerned about being a good neighbor; his company is willing to work with the neighbors to keep his sight aesthetically pleasing and help barricade noise.

Ed Jennings supports this project and asked where the exits would be.

Terry Overhulse, representing Swingle Tree, said he is concerned with noise from his company and is concerned about traffic from Yosemite and Warren.

**The public hearing was closed.**

Mr. Alpert presented a rendering of the site and referenced the entrances.

Commissioner Sharpe asked how far the commercial development is from this site.

Mr. Alpert stated that Swingle Tree northwest of this site and said he's never heard any noise from that business.

Commissioner Sharpe said it is important for people to realize that this is a light industrial area and noise might occur.

Commissioner Jackson said this is a great place to build new homes, but there have been business near the site for a long time. She asked if the applicant has considered screening with trees or shrubbery where the site faces the industrial area.

Mr. Alpert said four homes would back to the concrete business, so the impact would be minimal.

**The motion was made by Commissioner Jackson and duly seconded by Commissioner Bockenfeld in the case of Z15-007, Iliff Avenue Single-Family Homes Preliminary Development Plan, that the Board has read the staff report and received testimony at the public hearing. The Board agrees with staff findings including the draft plan and attachments as set forth in the Board Summary Report dated August 4, 2016, and approves this case, subject to the following conditions:**

1. The applicant must make all modifications to the Preliminary Development Plan as requested by the Public Works & Development Department.
2. The applicant agrees to address all Engineering Services Division and SEMSWA comments and concerns, as identified within their reports, prior to signed mylars.
3. The applicant will comply with all Cunningham Fire Protection District referral comments.
4. The applicant will use the appraised value cash-in-lieu method as mentioned in the Cherry Creek School District referral letter at the Final Plat stage. Also the applicant will use the appraised value cash-in-lieu method for public parks and other public purposes.
5. The applicant will bury utilities and dedicate right-of-way as required by the County.
6. The width of the right-of-way dedication for Iliff Avenue will be determined at the time of Final Development Plan or Final Plat process.

**The motion passed 5-0.**

**Item 3 – Resolution No. 160536 - Building Code Amendment - Adoption of the 2015 I-Codes**

Robert Hill, Senior Assistant County Attorney, established jurisdiction for the Board to hear this request.

Steve Byer, Building Division Manager, presented the request to the Board.

**The public comment period was opened.**

A representative from the Home Builders Association of Metro Denver, thanked the County for adopting these building codes.

**In the matter of amending the Arapahoe County Building Code to adopt the 2015 International Building Code and certain other amendments as set forth in the proposed Resolution and Board Summary Report, and having read the proposed amendments and having received testimony at a duly noticed public hearing, the motion was made by Commissioner Bockenfeld to approve the Resolution to amend the Arapahoe County Building Code to adopt the 2015 International Building Code and the certain other amendments as set forth in the Resolution and Board Summary Report as presented this day, duly seconded by Commissioner Holen.**

**The motion passed 5-0.**

**COMMISSIONER COMMENTS**

There were no commissioner comments on this date.

**There being no other business before the Board, the public meeting was adjourned by Commissioner Doty at 10:24 a.m.**

**ARAPAHOE COUNTY BOARD OF COUNTY COMMISSIONERS**

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**MATT CRANE, CLERK TO THE BOARD  
BY JOLEEN SANCHEZ, ASSISTANT CLERK TO THE BOARD**

**MINUTES OF THE ARAPAHOE COUNTY  
BOARD OF COUNTY COMMISSIONERS  
TUESDAY, September 6, 2016**

At a public meeting of the Board of County Commissioners for Arapahoe County, State of Colorado, held at 5334 South Prince Street, Littleton, Colorado 80120 there were:

<b>Nancy Doty, Chair</b>	<b>Commissioner District 1</b>	<b>Present</b>
<b>Nancy Jackson, Chair Pro-Tem</b>	<b>Commissioner District 4</b>	<b>Present</b>
<b>Nancy A. Sharpe</b>	<b>Commissioner District 2</b>	<b>Present</b>
<b>Rod Bockenfeld</b>	<b>Commissioner District 3</b>	<b>Present</b>
<b>Bill Holen</b>	<b>Commissioner District 5</b>	<b>Present</b>
<b>Ron Carl</b>	<b>County Attorney</b>	<b>Present</b>
<b>Matt Crane</b>	<b>Clerk to the Board</b>	<b>Absent and Excused</b>
<b>Joleen Sanchez</b>	<b>Asst. Clerk to the Board</b>	<b>Present</b>

when the following proceedings, among others, were had and done, to-wit:

**CALL TO ORDER**

Commissioner Doty called the meeting to order.

**INTRODUCTIONS**

**ROLL CALL**

**PLEDGE OF ALLEGIANCE**

**MODIFICATION(S) TO THE AGENDA**

There were no modifications to the agenda.

**ADOPTION OF THE AGENDA**

**The motion was made by Commissioner Sharpe and duly seconded by Commissioner Holen to adopt the Agenda as presented.**

**The motion passed 4-0, Commissioner Bockenfeld absent and excused.**

**ADOPTION OF THE MINUTES**

**The motion was made by Commissioner Jackson and duly seconded by Commissioner Sharpe to adopt the minutes of August 9, 2016 public meeting as presented.**

**The motion passed 3-0, Commissioner Hole abstained, Commissioner Bockenfeld absent and excused.**

## **CEREMONIES**

There were no ceremonies on this date.

## **CITIZEN COMMENT PERIOD**

Maureen Welch, Greenwood Village resident, explained her request that the Board of County Commissioners audit the funds that are going to Developmental Pathways.

**Commissioner Bockenfeld arrived at 9:34 A.M.**

## **CONSENT AGENDA**

**The motion was made by Commissioner Sharpe and duly seconded by Commissioner Jackson to approve the items on the Consent Agenda as presented.**

**The motion passed 5-0.**

## **GENERAL BUSINESS ITEMS**

**Item 1 – Resolution No. 160540 - Case No. P16-009 - Sky Mark, Filing No. 1, Replat/Final Plat and Item 2 – Resolution No. 160541 - Case No. P16-010 - Sky Mark Apartments, Final Development Plan**

Senior Assistant County Attorney Robert Hill established jurisdiction for the Board to hear this case. He stated that Item No. 1 and Item No. 2 would be heard together.

Senior Planner Sherman Feher introduced both cases and reviewed the conditions of approval.

It was clarified that there will be a pedestrian bridge with no access for automobiles.

Chuck Haskins, Engineering Services Division, discussed site distance issue at the north access and screening on the west side of the project.

Jared Carlan, Norris Design, presented a PowerPoint presentation, a copy of which has been retained for the record. He reviewed the site plan and discussed access, setbacks and the pedestrian bridge.

Chris Grady, Gephardt Community Planning Architecture, explained the architecture, density, and parking.

Mr. Carlan reviewed the conditions of approval.

Mr. Sheldon noted that this project has no subsidies, as rents will average \$2,000 per month or higher.

Roger Harvey, Arapahoe County Open Spaces, explained the maintenance agreement related to the pedestrian bridge.

**The public comment period was opened.**

David Strohlfus, representing Cherry Creek School District, stated that the District is neutral and has no opposition to this project.

Commissioner Sharpe said schools are over capacity and asked what the County should keep in mind regarding future developments in this area.

Mr. Strohlfus explained the fluctuation of enrollment due to increasing rents.

Sharon Schonhaut, representing the HOA for the Villas at Sky Mark, explained concerns with the project and stated that the HOA has embraced this development.

Lynn Suave, representing the Hughes Mountain View HOA, suggested utilizing the Highline Canal as a detention pond in order to plant more trees on the site.

Ted Wagner asked about traffic and if the units would be for sale or rent.

**The public comment period was closed.**

Mr. Sheldon said there are contracts in place with the neighbors that address neighbors' concerns and said the developer will comply with County regulations regarding drainage. He confirmed that the garages will have controlled access, but the site itself would not.

Mr. Haskins explained the traffic impact and storm water.

**The motion was made by Commissioner Jackson and duly seconded by Commissioner Holen in the case of P16-009, Sky Mark, Filing No. 1, Final Plat/Replat, that the Board has read the staff report and received testimony at the public hearing. The Board finds itself in agreement with staff findings including the draft plan and attachments as set forth in the staff report dated August 19, 2016, and approve this case, subject to the following conditions:**

1. The applicant must make all modifications to the Final Plat/Replat as requested by the Public Works & Development Department.
2. The applicant agrees to address all Engineering Services Division comments and concerns, as identified within their reports, prior to signed mylars.
3. The applicant will enter into a Subdivision Improvement Agreement (SIA) and provide collateral to the County for all public improvements associated with the project.
4. The Applicant provides modification to the plan and support documentation as identified in the SEMSWA Staff Report.
5. Per the BOCC-approved Preliminary Development Plan condition of approval, the applicant will use the appraised value cash-in-lieu for land for public schools, public parks and other public purposes.

6. According to the Land Development Code formula for cash-in-lieu of land, the applicant will pay a total amount of cash-in-lieu of \$717,525.50 to be distributed as follows: Land for Public Schools: \$226,375.50; Land for Public Parks: \$471,504.00; and Land for Other Public Purposes: \$19,646.00.
7. Per the Land Development Code, Section 14-111.07 the BOCC approves the Arapahoe County Open Spaces Department/Arapahoe Recreation District to credit the amount for constructing and maintaining the pedestrian bridge across the Highline Canal in place of the full cash-in-lieu payment for Land for Public Parks.

**The motion passed 5-0.**

**The motion was made by Commissioner Jackson and duly seconded by Commissioner Bockenfeld in the case of P16-010, Sky Mark Apartments Final Development Plan, the Board has read the Board Summary Report, dated August 19, 2016, and received testimony at the public hearing. Based on a review of the application materials and plans and on testimony received at the public hearing, the Board finds that the proposal meets the relevant review and approval criteria, and APPROVE the request for the proposed Final Development Plan with the stipulated conditions of approval, based on the findings contained in the staff report:**

1. The applicant agrees to abide by all material representations as presented with the P16-010 application at the public hearing, including but not limited to:
  - a. Applicant's representation and portrayal of the overall project that the portion of the project on the adjacent property within the City and County of Denver will be of such configuration, scale and design to result in the appearance of a cohesively planned and designed project across the two jurisdictions, and that in order to achieve this cohesiveness, on the adjacent Denver portion of the project, applicant will restrict the number of dwelling units to 95, with no more than five floors of residential units above a two-floor garage and a maximum building height of 90 feet; and
  - b. Evidence of final site plan approval for the Denver portion of the project by the City and County of Denver must be made available to the Arapahoe County Planning Division prior to issuance of building permits by the Arapahoe County Building Division, subject to approval of a Final Development Plan for the unincorporated property by the Arapahoe County Board of County Commissioners.
2. The applicant will pay cash-in-lieu of land fees at the Final Plat stage for the Land for Public Schools to the Cherry Creek School District using the Appraised Value method of calculation established within the Land Development Code (Section 14-111.05.02).
3. The applicant will pay other cash-in-lieu of land fees at the Final Plat stage for the Land for Other Public Purposes to the Arapahoe County Library District, as well as Land for Public Parks to the Arapahoe County Recreation District using the Appraised Value method. (Land Development Code, Section 14-111.05.02)
4. The applicant will provide the County with a Mosquito Control Plan per the recommendation of Tri-County Health Department.

5. The applicant will comply with all conditions and requirements listed in the Cunningham Fire Protection District referral letter.
6. The applicant will allow the public to use the proposed pedestrian access to the Highline Canal Trail with a public-use easement, if location, design and construction of a pedestrian access are approved by the Denver Water Board or other regulating authority. The trail location and design shall be acceptable to Arapahoe County and the Denver Water Board.
7. The applicant will address all issues and concerns raised by Public Works and Development staff prior to the signing of mylars
8. The applicant will meet all of the requirements listed in all of the reports and letters by Arapahoe County Engineering Services Division; this includes a Subdivision Improvement Agreement.
9. The applicant will need to provide the County with a cross-access/shared parking agreement for both the Denver County and Arapahoe County parcels. The agreement will need to be recorded in both jurisdictions and referenced on the replat and FDP exhibits.
10. The applicant will comply with all SEMSWA conditions and requirements listed in the referral letters of SEMSWA.
11. Prior to the issuance of any building permits, the applicant shall obtain legal access to the project site from Parker Road that complies with all applicable County and State laws and regulations and shall resolve the claims against the title to the project site asserted by Creekside at Highline Owners Association by letter dated November 6, 2015 from Attorney John H. Licht or provide evidence of a title insurance policy providing title insurance covering the claims against the title asserted by the Creekside at Highline Owners Association.
12. The applicant will provide additional landscape buffering on the western side of this development (preferably evergreen trees).

**The motion passed 5-0.**

#### **COMMISSIONER COMMENTS**

Commissioner Holen mentioned that next week is suicide prevention week and noted that there is a problem with prescription drugs.

**There being no other business before the Board, the public meeting was adjourned by Commissioner Doty at 10:35 a.m.**

#### **ARAPAHOE COUNTY BOARD OF COUNTY COMMISSIONERS**

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**MATT CRANE, CLERK TO THE BOARD**  
**BY JOLEEN SANCHEZ, ASSISTANT CLERK TO THE BOARD**

REPORT FOR 08/30/2016 TO 09/06/2016

FUNDS SUMMARY:

FUNDS SUMMARY:

10 General Fund	2,321,924.94
11 Social Services	294,103.93
12 Electronic Filing Technology	79,585.75
14 Law Enforcement Authority Dist	9,292.33
15 Arapahoe / Douglas Works!	71,398.71
16 Road and Bridge	143,551.16
20 Sheriff's Commissary	19,587.47
21 Community Development	25,301.75
22 Forfeited Property	3,835.00
26 Grants	19,325.08
28 Open Space Sales Tax	242,150.92
29 Homeland Security - North Cent	10,708.22
33 Building Maintenance Fund	19,830.47
34 Fair Fund	6,357.71
41 Capital Expenditure	16,957.93
42 Infrastructure	3,989.05
43 Arapahoe County Recreation Dis	176.23
70 Central Services	22,331.97
71 Self-Insurance Liability	2,906.11
72 Employee Flexible Benefit	1,667.00
74 Self-Insurance Dental	14,775.50
34 E-911 Authority	17,159.64
	=====
TOTAL	3,346,916.87

FUND REPORT - EXPENDITURE TYPE

FUND 10 EXPENDITURE REPORT

A2M4SEEN LLP	Supplies	9,375.17
ACCURACY INC	Supplies	688.00
ADAMSON POLICE PRODUCTS	Supplies	1,658.00
ALLIED ELECTRONICS, INC	Supplies	28.36
ALLIED SECURITY HOLDINGS LLC	Services And Other	8,641.58
ALSCO	Supplies	97.29
AMERICAN TIRE DISTRIBUTORS INC	Supplies	584.56
ANGELA WILLIAMS	MISC.	15.00
ARAMARK CHICAGO LOCKBOX	Services And Other	5,708.00
ARAMARK CHICAGO LOCKBOX	Supplies	51,971.74
ARAPAHOE WATER AND WASTEWATER	Services And Other	7,461.23
ARAPAHOE/DOUGLAS	Services And Other	69,075.00
ARTHUR AND PERLMUTTER	MISC.	15.00
AURORA MENTAL HEALTH CTR	Services And Other	3,120.00
AUTO MOTORS OF ENGLEWOOD LLC	Supplies	74.48
AVI SYSTEMS INC	Services And Other	1,976.00
BATTERY SYSTEMS INC	Supplies	16.98
BC SERVICES INC	MISC.	65.00
BILL L HOLEN	Services And Other	74.64
BRENT W TERRY LAW OFFICES	MISC.	15.00
BRIAN KNUDSEN	Services And Other	164.00
BRIDGESTONE RETAIL OPERATIONS LLC	Services And Other	49.99
CANDACE BRETSCH	Supplies	1,269.25
CARQUEST AUTO PARTS	Supplies	114.86
CENTURYLINK	Services And Other	288.08

REPORT FOR 09/07/2016 TO 09/12/2016

## FUNDS SUMMARY:

## FUNDS SUMMARY:

10 General Fund	1,941,463.04
11 Social Services	545,860.04
14 Law Enforcement Authority Dist	75,441.34
15 Arapahoe / Douglas Works!	113,173.61
16 Road and Bridge	737,960.46
20 Sheriff's Commissary	7,059.42
21 Community Development	21,015.50
26 Grants	411,623.76
28 Open Space Sales Tax	468,461.46
29 Homeland Security - North Cent	6,398.99
33 Building Maintenance Fund	44,882.64
34 Fair Fund	6,510.97
41 Capital Expenditure	481,468.96
42 Infrastructure	807,517.76
43 Arapahoe County Recreation Dis	41,846.85
70 Central Services	23,038.34
71 Self-Insurance Liability	56,083.93
73 Self-Insurance Workers Comp	306,312.68
74 Self-Insurance Dental	69,407.89
91 Treasurer	8,097,664.21
	=====
TOTAL	14,263,191.85

## FUND REPORT - EXPENDITURE TYPE

## FUND 10 EXPENDITURE REPORT

4 RIVERS EQUIPMENT AG LLC	Supplies	726.71
ADAMSON POLICE PRODUCTS	Supplies	105.00
AG WASSENAAR, INC.	Supplies	862.00
AMERICAN CORRECTIONAL ASSOCIATION	Supplies	30.00
AN/CF ACQUISITION CORP	Services And Other	3,380.94
ANDREA RASIZER	Services And Other	70.35
ANDREW ESTES	Services And Other	12.96
AQUA SERVE	Services And Other	166.00
ARAMARK CHICAGO LOCKBOX	Services And Other	3,154.00
ARAMARK CHICAGO LOCKBOX	Supplies	24,963.57
ARAPAHOE WATER AND WASTEWATER	Services And Other	61,473.06
AUTO MOTORS OF ENGLEWOOD LLC	Supplies	1,457.92
AVI SYSTEMS INC	Services And Other	305.00
BATTERY SYSTEMS INC	Supplies	70.17
BC SERVICES INC	MISC.	40.00
BOBCAT OF THE ROCKIES LLC	Services And Other	256.55
BRYAN D WEIMER	Services And Other	151.14
CAITLIN MOCK	Services And Other	157.09
CALIFORNIA STATE DISBURSEMENT UNIT	MISC.	52.15
CARQUEST AUTO PARTS	Supplies	150.21
CATHLEEN VALENCIA	Services And Other	160.00
CHARLES V HASKINS	Services And Other	160.00
CINDY WERT	Services And Other	5.09
CLEAN DESIGNS INC	Services And Other	225.00
COLLEGE ASSIST	MISC.	359.95
COLORADO COUNTY TREASURERS ASSN	Services And Other	400.00
COLORADO DEPARTMENT OF REVENUE	MISC.	1,159.82

REPORT FOR 09/13/2016 TO 09/19/2016  
FUNDS SUMMARY:

FUNDS SUMMARY:

10 General Fund	349,708.91
11 Social Services	77,493.98
14 Law Enforcement Authority Dist	12,164.10
15 Arapahoe / Douglas Works!	68,046.17
16 Road and Bridge	144,491.19
19 Communications Network Replace	2,000.00
20 Sheriff's Commissary	26,563.21
25 Developmental Disability	40,298.66
26 Grants	69,773.88
28 Open Space Sales Tax	72,737.63
33 Building Maintenance Fund	22,796.86
34 Fair Fund	32,198.16
41 Capital Expenditure	83,944.63
42 Infrastructure	72,623.22
43 Arapahoe County Recreation Dis	6,096.14
70 Central Services	56,638.27
71 Self-Insurance Liability	2,895.63
74 Self-Insurance Dental	24,891.15
84 E-911 Authority	58,734.82
=====	
TOTAL	1,224,096.61

Corrections:

10 -	285,840.46
11 -	57,475.68
14 -	8,664.10
15 -	64,951.82
16 -	143,529.29
26 -	68,816.48
28 -	72,705.63
43 -	5,736.89
	1,131,304.96

FUND REPORT - EXPENDITURE TYPE  
FUND 10 EXPENDITURE REPORT

ACCOUNT BROKERS OF LARIMER COUNTY	MISC.	15.00
ACCURACY INC	Supplies	1,840.00
ALLIED SECURITY HOLDINGS LLC	Services And Other	45,785.09
ALSCO	Supplies	27.50
AMANDA J CRUZ	Services And Other	77.00
ANDREA BRAY	MISC.	15.00
ANDREA RASIZER	Services And Other	81.40
AQUA SERVE	Supplies	21.60
ARAMARK CHICAGO LOCKBOX	Services And Other	2,874.00
ARAMARK CHICAGO LOCKBOX	Supplies	25,125.58
ARAP CO DIST CT-PROB	MISC.	115.20
ARAPAHOE LIBRARY DISTRICT	Services And Other	11,515.16
ARTURO ARGUMEDO-PUENTES	MISC.	15.00
AUTO MOTORS OF ENGLEWOOD LLC	Supplies	48.78
AVI SYSTEMS INC	Services And Other	260.00
BATTERIES PLUS	Supplies	48.69
BATTERY SYSTEMS INC	Supplies	157.80
BERGKAMP INC	Supplies	1,148.79
BETTY WRIGHT	Services And Other	77.00
BRANDON BEASLEY	Services And Other	27.00
BRENDA SIMONS	Services And Other	2.48
BRUCE L ISAACSON	Services And Other	141.00
BRUMBAUGH & QUANDAHL PC	MISC.	15.00
CAITLYN CAHILL	Services And Other	88.50
CARQUEST AUTO PARTS	Supplies	121.01
CARRIE LARAIA	Services And Other	225.70
CHEMATOX LABORATORY INC	Services And Other	540.00
CHRIS RAFTERY	MISC.	15.00

Consent Agenda:



## Board Summary Report

**Date:** September 15, 2016

**To:** Board of County Commissioners

**Through:** Don Klemme, Director, Community Resources

**From:** Liana Escott, Community Development Administrator, Housing and Community Development Services

**Subject:** Medici Loan Conversion

**Request:**

At a Study Session on September 12, 2016 HCDS staff was directed to convert the Medici CDBG grant award of \$150,000 to an interest only loan with an option to purchase.

### Background

On June 13, 2016 the BoCC approved granting \$150,000 in CDBG funds to Medici for the construction of 111 units of affordable housing in Englewood (3405 S Broadway, Englewood, CO) known as the Broadway Lofts.

Historically the County has allocated CDBG funds to non-profit, housing developers, as grants. Medici is a for-profit business, and therefore, by accepting a grant they are creating a taxable event and the \$150,000 would be taxed at a 40% rate, not desirable for Medici. In order to prevent the taxable event it is being proposed that the grant be converted to a loan with the following terms:

A 40 year loan with interest-only payments to be made annually at a rate of 1%, with payments starting once the building is occupied. Payments will only be made annually if there is sufficient cash flow, if there is not, the interest payment will be deferred to the following year.

Medici will pay in year two of the loan a \$6,000 Options fee to allow for the sale of the loan in year 5 to Medici for \$20,000.

### Staff Recommendation

HCDS staff recommended converting the grant to an interest-only bearing loan with the option for Medici to buy an Option to purchase the loan in year5.

### Links to Align Arapahoe

## Consent Agenda:

1. Enhance Quality of Life. Citizens' lives may be enhanced by utilizing federal CDBG funds for housing activities that will benefit lower income families.
2. Service First. Using CDBG funds to help residents of Arapahoe County obtain stable housing will reduce the number of CDBG less persons and persons with inadequate housing.

### **Alternatives**

The BOCC may choose not to convert the grant to a loan or to recommend different loan terms.

### **Fiscal Impact**

CDBG funds are allocated by the U.S. Department of Housing and Urban Development. No County funds are affected.

Currently, as a grant, there is no Program Income generated. If converted, the following Program Income will be generated:

\$26,000 (Option Fee and Sale Fee) + \$1,500 annual 1% payments (\$7,500) for a total of \$33,500 of Program Income generated.

### **Attorney Comments**

#### **Reviewed By:**

Liana Escott, Community Development Administrator  
Linda Haley, Housing and Community Development Division Manager  
Don Klemme, Community Resources Department Director  
Janet Kennedy, Finance Department Director  
Tiffanie Bleau, Assistant County Attorney

CDBG Funds –Convert \$150,000 grant to Medici Communities LLC. to a Loan.

Resolution # . It was moved by Commissioner \_\_\_\_\_ and duly seconded by Commissioner \_\_\_\_\_, to convert the \$150,000 grant to a 5 year loan with interest-only payments to be made annually at a rate of 1%, with payments starting once the building is occupied. Payments will only be made annually if there is sufficient cash flow, if there is not, the interest payment will be deferred to the following year. In year 2 Medici can pay an option fee to allow them to purchase the loan in year 5, for \$20,000.

The vote was: Commissioner Bockenfeld, \_\_\_; Commissioner Doty, \_\_\_; Commissioner Holen, \_\_\_; Commissioner Jackson, \_\_\_; Commission Sharpe, \_\_\_.

The Chair declared the motion carried and so ordered.



## Board Summary Report

**Date:** September 20, 2016  
**To:** Board of County Commissioners  
**Through:** Matt Crane, Clerk and Recorder  
**From:** Victoria Gallegos, Chief Deputy Clerk and Recorder  
**Subject:** Extension of Agreement for Services with Job Store Staffing

### **Request and Recommendation**

The Clerk and Recorder met with the Board on September 20, 2016 to discuss extension of the Job Store agreement. The Board approved the request.

### **Background**

The Arapahoe County Clerk and Recorder's Office has seen an increase of 27% in the number of transactions over the past 6 years. In 2015 alone, the Clerk and Recorders Office processed over 1.1 million transactions. Looking specifically at motor vehicle transactions, from 2010-2014, motor vehicle transactions grew at an average rate of just over 4%. In 2015, the transaction growth increased 21.5%, and 2016 figures appear to be on par with last year. The Clerk and Recorder's Office has sought different ways to address the increased demand, including by changing the office hours, installing computers in the administration lobby to encourage the use of online services, and mandatory overtime for staff. Clerk and Recorder staff worked over 10,000 hours of overtime in 2015.

For numerous reasons, including to alleviate long wait times, to keep up with back office paperwork, and to build a pipeline of full time employees, the Clerk and Recorder's Office entered into an Agreement for Services with the Job Store in April 2016 for \$50,000 for use of temporary personnel in the motor vehicle division. Pursuant to BOCC Resolution 160097, the Clerk and Recorder has been delegated authority to execute contracts for services in an amount not to exceed \$50,000.

### **Discussion**

#### **The Job Store**

In April 2016, the Clerk's Office entered into an agreement for services with the Job Store for use of temporary personnel in the motor vehicle division. We currently have 6 temporary employees working full time and the Clerk's Office has hired 2 full time employees who were previously temporary. The Clerk and Recorder's Office requests approval for extension of the Agreement for

Services with the Job Store to be able to continue hiring temporary employees through the end of 2016. Specifically, we are requesting to increase the contract up to \$100,000 and to set the term through December 31, 2016. The Clerk's Office has available funds in the 2016 budget for this increase.

The Agreement for Services piggybacks off the Job Store Staffing – State of Colorado Price Agreement #96478YYY06P.

**Alternatives**

None. The county budget will not allow for the hiring of the number of FTEs we truly need. Hiring temporary employees will help alleviate customer wait times and frustration while also helping to reduce employee stress.

**Fiscal Impact**

The total compensation to be paid to Job Store Staffing pursuant to the extended Agreement for Services is \$100,000.

**Attorney Comments**

None.

**Reviewed By:**

Monica Kovaci, Assistant County Attorney

**Authorization regarding Extension of Job Store Agreement**

**RESOLUTION NO. 16XXXX**                      It was moved by Commissioner \_\_\_\_\_ and duly seconded by Commissioner \_\_\_\_\_ to authorize the Clerk and Recorder to extend its agreement with The Job Store through December 31, 2016 and not to exceed \$100,000 for the continued use of temporary employees.

The vote was:

Commissioner Bockenfeld, \_\_; Commissioner Doty, \_\_; Commissioner Holen, \_\_; Commissioner Jackson, \_\_; Commissioner Sharpe, \_\_.

The Chair declared the motion carried and so ordered.



## Board Summary Report

**Date:** September 27, 2016  
**To:** Board of County Commissioners  
**From:** Dick Hawes, Department Director, Facilities and Fleet Management  
**Subject:** Grant of Easement – South Suburban Parks and Recreation

### Request and Recommendation

Facilities and Fleet Management requests the Board of County Commissioners approve a resolution granting an easement to South Suburban Parks and Recreation across county property located in the Fairways of South Suburban Subdivision to install a new water service to the South Suburban Golf Course (GC).

### Background

This request was heard before the Board of County Commissioners at a drop-in session on September 19, 2016. It was recommended for approval by all five (5) commissioners in attendance and moved to the Consent Agenda with no changes.

Attested By: Dick Hawes

RESOLUTION NO. \_\_\_\_\_. It was moved by Commissioner \_\_\_\_\_ and duly seconded by Commissioner \_\_\_\_\_ to adopt the (Name of Contract, Policy, or other item being presented for approval) as presented to the Board of County Commissioners on this date.

The vote was:

Commissioner Bockenfeld \_\_\_\_; Commissioner Doty, \_\_\_\_; Commissioner Holen\_\_\_\_; Commissioner Jackson \_\_\_\_; Commissioner Sharpe \_\_\_\_\_.

The Chair declared the motion carried and so ordered.

**RESOLUTION NO.**            It was moved by Commissioner        and duly seconded by Commissioner        to authorize Richard Hawes, Director, Facilities and Fleet Management to sign a non-exclusive grant of easement to South Suburban Parks and Recreation to cross County property located in the Fairways of South Suburban Subdivision for a new water line service for the South Suburban Golf Course.

The vote was:

Commissioner Bockenfeld, ; Commissioner Doty, ; Commissioner Holen, ; Commissioner , ; Commissioner Sharpe, .

The Chair declared the motion carried and so ordered.

Consent Agenda:



## Board Summary Report

**Date:** September 15, 2016

**To:** Board of County Commissioners

**Through:** Don Klemme, Director, Community Resources

**From:** Liana Escott, Community Development Administrator, Housing and Community Development Services (HCDS)

**Subject:** Transferring South Metro Housing Options (SHMO) loan portfolio to Funding Partners

**Request:**

At a Study Session on September 12, 2016, the Board of County Commissioners directed HCDS staff to transfer 32 loans from South Metro Housing Options (SHMO) to Funding Partners for loan servicing.

### Background

SHMO has been servicing 32 housing rehab loans, with a balance of \$387,110, and they have stated that this is a burden on their organization. HCDS staff is directed to transfer the servicing of these 32 loans to Funding Partners. Funding Partners has agreed to service the loans with the following terms:

*A transfer fee of \$100/file and then the annual portfolio servicing fee of 1% with a cap of \$2,500 billed the first of each year based upon the outstanding balance at 12/31 of the prior year.*

### Staff Recommendation

HCDS recommended transferring the Loan Servicing from SHMO to Funding Partners. Funding Partners is currently operating and servicing the County's First Time Home Buyer's program, and this would be a natural progression.

### Links to Align Arapahoe

1. Fiscal Responsibility: Funding Partners has proven to be better steward of County HOME dollars than SHMO.
2. Service First: Provide quality servicing of loans to County residents.

### Alternatives

The BOCC may choose not to transfer the loan servicing from SHMO to Funding Partners.

Consent Agenda:

**Fiscal Impact**

HOME and CDBG funds are allocated by the U.S. Department of Housing and Urban Development. No County funds are affected.

**Attorney Comments**

**Reviewed By:**

Liana Escott, Community Development Administrator  
Linda Haley, Housing and Community Development Division Manager  
Don Klemme, Community Resources Department Director  
Janet Kennedy, Finance Department Director  
Tiffanie Bleau, Assistant County Attorney

Transfer Loan Servicing from South Metro Housing Options (SHMO) to Funding Partners

Resolution # . It was moved by Commissioner \_\_\_\_\_ and duly seconded by Commissioner \_\_\_\_\_, to transfer 32 housing rehabilitation loans from SHMO to Funding Partners for servicing for a transfer fee of \$100/file and then the annual portfolio servicing fee of 1% with a cap of \$2,500 billed the first of each year based upon the outstanding balance at 12/31 of the prior year.

The vote was: Commissioner Bockenfeld, \_\_\_; Commissioner Doty, \_\_\_; Commissioner Holen, \_\_\_; Commissioner Jackson, \_\_\_; Commission Sharpe, \_\_\_.

The Chair declared the motion carried and so ordered.



## Board Summary Report

**Date:** September 12, 2016  
**To:** Board of County Commissioners  
**Through:** Jan Yeckes, Planning Division Manager  
**From:** Molly Orkild-Larson, Senior Planner  
**Subject:** Case # P16-008, 169 Inverness, Lot 2, Filing 61, Final Development Plan

### Purpose

The property is owned by Ax Inverness West LP, and the Applicant/Representative is Tramwell Crow Company. This application proposes to construct an 119,362 square foot five story office building with four floors of office space and one level of parking on a 6.32 acre lot. The building will be 85 feet in height. The subject lot has access from Inverness Drive West.

The attached staff report prepared for the Planning Commission public hearing conducted September 6, 2016, provides details of the proposed development and staff's analysis of the application. This Board Summary Report highlights key discussion points.

Please note that there was an address change on the subject parcel from 163 Inverness Drive West to 169 Inverness Drive West. The new address is reflected in all the documents for the Board of County Commissioner's review with the exception of the original staff report.

### Staff Recommendation

The staff recommended conditional approval of this application based on the following findings included in the Planning Commission staff report and restated here:

1. The proposed Final Development Plan appears to conform to the Arapahoe County Comprehensive Plan, with the lot being designated as "Employment."
2. The proposed Final Development Plan complies with the process outlined in Chapter 13-100, PUD of the Land Development Code. It is also consistent with the approved Preliminary Development Plan for the property.
3. The proposed Final Development Plan is consistent with development standards enumerated in the Arapahoe County Land Development Code with the exception of Section 12-1406.B.3. Landscape Requirements. Staff supports the applicant's plan to use the substitution ratio of three one-gallon Oregon Grape Holly (Mahonia repens) and three one-gallon Purpleleaf Wintercreeper (Euonymus fortunei 'Coloratus') for one five-gallon shrub.
4. The proposed Final Development Plan is consistent with development standards enumerated in the Arapahoe County Land Development Code with the exception of Section

12-200 Parking Standards. This standard is not met since not all the required parking is located on the subject lot. Staff supports the applicant's plan to provide 279 parking spaces on Lot 2 and use 201 existing parking spaces on Lot 3, for a total of 480 parking spaces, which exceeds the required parking for this application, with the stipulation that the property owners of Lots 1, 2 and 3, or their management company, will be responsible for managing parking across all properties long-term to ensure adequacy of parking for the uses on each lot. Even with the proposed office building, the overall site meets/exceeds the minimum required parking.

### **Planning Commission Recommendation**

The Planning Commission recommended approval with staff conditions by a vote of 6 to 0 (one absent). Recommended conditions of approval are included in the attached draft motions.

### **Parking**

The proposed 119,362 square foot office building is required to have 478 parking spaces; 480 are proposed, 279 on-site and 201 off-site. The lot (Lot 3) north and adjacent to the subject site contains 251 parking spaces; 50 of these spaces are allocated to Lot 1 but the remainder are to be used by Lot 2. This parking arrangement is possible because the multi-story parking structure on Lot 1 provides parking to serve that lot's employees and visitors.

The applicant is working on a Cross Parking Agreement to enable Lot 2 to park on Lot 3. Staff proposes as a condition of approval that the applicant provide staff with a Cross Parking Agreement enabling Lot 2 to use the parking spaces on Lot 3. It will be the responsibility of the property owners of Lots 1, 2 and 3, or their management company, to manage parking across all properties long-term to ensure adequacy of parking for the uses on each lot.

### **Links to Align Arapahoe**

If approved, this request may improve the County's economic environment by enabling the construction and implementation of new business in the County.

### **Alternatives**

The Board of County Commissioners has three alternatives:

1. Approve the application with conditions of approval;
2. Continue to a date certain;
3. Deny the application.

### **Fiscal Impact**

This request may have a positive fiscal impact on the County depending on the value of development occurring on the property.

### **Concurrence**

The Arapahoe County Planning Commission and PWD Staff recommend approval of the Final Development Plan.

Reviewed By:

Molly Orkild-Larson, Senior Planner  
Jason Reynolds, Current Planning Program Manager  
Jan Yeckes, Planning Division Manager  
Dave Schmit, Director of Public Works and Development  
Todd Weaver, Budget Manager, Finance Department

Bob Hill, Senior Assistant County Attorney

## **DRAFT MOTIONS P16-008 169 Inverness, Lot 2, Filing 61 Final Development Plan**

### **Recommend Conditional Approval:**

*(This motion is consistent with the staff recommendation):* In the case of P16-008, 169 Inverness, Lot 2, Filing 61, Final Development Plan, we have read the Board Summary Report dated September 12, 2016 and staff report and received testimony at the public hearing. We find ourselves in agreement with staff findings 1 through 4, including all plans and attachments as set forth in the staff report dated August 26, 2016 and approve this application subject to the following conditions of approval:

1. Prior to signature of the final mylar copy of these plans, the applicant agrees to address the Planning Division, Mapping Division, Engineering Services Division and Southeast Metro Stormwater Authority comments and concerns, as outlined in their plans and reports.
2. The applicant shall file Form 7460-1 for both the building and associated cranes as required by the Arapahoe County Public Airport Authority (Centennial Airport).
3. The applicant shall provide staff with a Cross Parking Agreement that allows Lot 2 to use 201 existing parking spaces on Lot 3 in order to meet the Land Development Code requirements for a building of the size and use proposed for Lot 2. This agreement shall be recorded with the Arapahoe County Office of the Clerk and Recorder prior to Arapahoe County signing the Final Development Plan. This agreement shall be a permanent agreement that will run with the land and secure the use of the parking rights for Lot 2 for the duration of the office building's operation. Property owners for properties currently shown as Lots 1, 2 and 3, or any management company acting on the owners' behalf, will be responsible for managing parking across all properties long-term to ensure adequacy of parking for the uses on each lot.
4. The applicant shall pay the highway expansion fee for E-470 at the time of building permit as required by the E-470 Authority.
5. All signs shall meet Arapahoe County, Inverness Metro Improvement District, and Colorado Department of Transportation's regulations.

### **Recommend Denial:**

*(This motion is not consistent with the Planning Commission or staff recommendation):* In the case of 169 Inverness, Lot 2, Filing 61, Final Development Plan, we have read the Board Summary Report dated September 12, 2016 and staff report dated August 26, 2016 and received testimony at the public hearing. Based on the information presented and considered during the public hearing, the Board of County Commissioners denies the application based on the following findings:

- a. *State new findings as part of the motion.*

b. ...

Continue to Date Certain:

In the case of 169 Inverness, Lot 2, Filing 61, Final Development Plan, I move to continue the hearing to [*date*], 9:30 a.m., to obtain additional information and to further consider the information presented.

## **FINAL DEVELOPMENT PLAN - APPROVAL**

**RESOLUTION NO. [reso #]** It was moved by Commissioner [moved] and duly seconded by Commissioner [seconded] to adopt the following Resolution:

WHEREAS, application has been made by Tramwell Crow Company, applicant on behalf of Ax Inverness West LP, owner, for a Final Development Plan designated as 169 Inverness, Lot 2, Filing 61, Final Development Plan, P16-008; and

WHEREAS, after a public hearing on this matter under the Streamlined Final Development Plan process in Section 103A, Part III of the Land Development Code, the Arapahoe County Planning Commission approved the Final Development Plan subject to certain stipulations by Resolution of said Planning Commission; and

WHEREAS, the above Final Development Plan was placed on the consent agenda of the Board of County Commissioners for the meeting on the 27th day of September, 2016, at 9:30 o'clock A.M. and

WHEREAS, the administrative record for this Case includes, but is not limited to, all duly adopted ordinances, resolutions and regulations, together with all Department of Public Works and Development processing policies which relate to the subject matter of the consent hearing, the staff files and reports of the Planning and Engineering case managers, and all submittals of the applicant; and

WHEREAS, representations, statements and positions were made by or attributed to the applicant or its representatives on the record, including representations contained in the materials submitted to the Board by the applicant and County staff; and

WHEREAS, the applicant has agreed to all conditions of approval recommended by County staff, and has agreed to execute all agreements and to convey all rights of way and easements recommended by staff, except as stated in this resolution; and

WHEREAS, the hearing was, the Board wishes to approve the above Final Development Plan under the streamlined Final Development Plan review process without holding a public hearing.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners of Arapahoe County as follows:

That the Final Development Plan of 169 Inverness, Lot 2, Filing 61, Final Development Plan, P16-008, be approved on the grounds that the Final Development Plan is compatible with development standards for the area and complies with the requirements of the approved Preliminary Development Plan; and that said development is the result of a desirable plan for land use presented by the applicant in the form of the above mentioned Final Development Plan.

1. Approval of this Final Development Plan is based upon the following understandings, agreements and/or representations:
  - a. The applicant's assent and/or agreement to make all modifications to the final version of the documents that are necessary to conform the documents to the form and content requirements of the County in existence at the time the documents are submitted for signature.
  - b. The representations, statements and positions contained in the record that were made by or attributed to the applicant and its representatives, including all such statements contained in materials submitted to the Board by the applicant and County staff.
2. Approval of this Final Development Plan shall be and is subject to the following stipulations and/or conditions precedent, which the applicant has accepted and which the applicant is also deemed to accept by continuing with the development of the property:
  - a. The applicant's compliance with the stipulations of the Arapahoe County Planning Commission as set forth in its recommendation.
  - b. The applicant's compliance with all conditions of approval recommended by the staff case managers in the written staff reports presented to the Board, and any conditions stated by staff on the record.
  - c. The applicant's compliance with all additional conditions of approval stated by the Board including:
    - 1) Prior to signature of the final mylar copy of these plans, the applicant agrees to address the Planning Division, Mapping Division, Engineering Services Division and Southeast Metro Stormwater Authority comments and concerns, as outlined in their plans and reports.
    - 2) The applicant shall file Form 7460-1 for both the building and associated cranes as required by the Arapahoe County Public Airport Authority (Centennial Airport).
    - 3) The applicant shall provide staff with a Cross Parking Agreement that allows Lot 2 to use 201 existing parking spaces on Lot 3 in order to meet the Land Development Code requirements for a building of the size and use proposed for Lot 2. This agreement shall be recorded with the Arapahoe County Office of the Clerk and Recorder prior to Arapahoe County signing the Final Development Plan. This agreement shall be a permanent agreement that will run with the land and secure the use of the parking rights for Lot 2 for the duration of the office building's operation. Property owners for properties currently shown as Lots 1, 2 and 3, or any management company acting on the owners' behalf, will be responsible for managing parking across all properties long-term to ensure adequacy of parking for the uses on each lot.
    - 4) The applicant shall pay the highway expansion fee for E-470 at the time of building permit as required by the E-470 Authority.

- 5) All signs shall meet Arapahoe County, Inverness Metro Improvement District, and Colorado Department of Transportation's regulations.
- d. The applicant's performance of all commitments and promises made by the applicant or its representatives and stated to the Board on the record, or contained within the materials submitted to the Board.
3. Except to the extent expressly disclosed in the underlying staff reports and set forth in a finding of fact in this Resolution, this approval action does not accept or approve any plan language that varies, in any respect, from the standard notes and language required by the Arapahoe County Land Development Code and applicable department policies. Any nonstandard language appearing on the Final Development Plan shall be of no effect unless so disclosed and unless expressly approved in a Finding of Fact. This Board reserves the power to take further action without further notice, by Resolution, to either remove or ratify any such language at any time.
4. County planning, engineering and legal staff are authorized to make any changes to the mylar form of the approved document as may be needed to conform the documents to the form and content requirements of the County in existence at the time the documents are submitted for signature, and to make such other changes that are expressly stated by staff before the Board, or are recommended by staff in the written staff reports, or are referred to by the movant Commissioner. No other deviation or variance from the form and content of the documents submitted for the Board's consideration are approved except to the extent stated in this resolution.
5. The County Attorney, with the concurrence of the planning and/or engineering case managers, is authorized to make appropriate modifications to the resolution and plan documents as needed to accurately reflect the matters presented to the Board and to record and clarify, as necessary, other aspects and ramifications of the Board's action.
6. The foregoing approval is conditioned upon, and subject to, submission by the applicant of a Mylar form of the Final Development Plan, containing the above changes, within sixty (60) days of the date of this decision. In the event the applicant fails to submit a conforming Mylar by the above deadline, this decision shall be voidable by resolution of the Board of County Commissioners and of no effect whatsoever.
7. Upon the applicant's completion of any and all changes to the Final Development Plan Mylar as required by this Resolution, the Chairman of the Board of County Commissioners is hereby authorized to sign same. In the event of a discrepancy between the terms of this Resolution and the content of the executed Mylar, the terms of this Resolution will control.

The vote was:

Commissioner Bockenfeld, ; Commissioner Doty, ; Commissioner Holen, ; Commissioner Jackson, ; Commissioner Sharpe, .

The Chair declared the motion carried and so ordered.



**ARAPAHOE COUNTY**  
COLORADO'S FIRST

## Public Works and Development

6924 South Lima Street  
Centennial, Colorado 80112-3853  
Phone: 720-874-6500  
Fax: 720-874-6611  
TDD: 720-874-6574  
www.arapahoegov.com  
publicworks@arapahoegov.com

# Board of County Commissioner's Summary Report

DAVID M. SCHMIT, P.E.  
Director

**Date:** September 7, 2016

**To:** Arapahoe County Board of County Commissioners

**Through:** Molly Orkild-Larson, Planning Division  
Planning Division

**Through:** Chuck Haskins, PE  
Engineering Services Division, Manager

**From:** Spencer M. Smith, PE  
Engineering Services Division

**Case name:** P16-008 – 169 Inverness - Lot 2, Filing 61 - Final Development Plan

### Purpose and Recommendation

The purpose of this report is to communicate the Engineering Services Staff findings, comments, and recommendations regarding the land use application(s) identified above.

### Engineering Services Staff has reviewed the land use application(s) and has the following findings and comments:

1. Access
  - a. Primary access to the site will be via an existing drive access on Inverness Drive West. A full movement access was approved by the County's Technical Review Committee. The site may also be accessed via an existing drive access to the north, across from Inverness Blvd. The traffic impact study for the project indicated several roadway improvements for Inverness Drive West that would be triggered by the development of the 169 Inverness site. These were improvements based on the assumption of a full movement access. The improvements include:
    - i. Installation of a traffic signal at the Inverness Boulevard and Inverness Drive West intersection. This intersection was previously studied and identified for signalization. County Traffic Operations staff does not agree that the intersection meets warrants for a signal currently. A traffic signal escrow agreement (TSEA) was in place with previous owners. A new TSEA will be

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executed with the 169 Inverness developer and is currently being drafted by Engineering Services Division staff.

- ii. Incorporating a left turn lane in the existing primary site access for outbound traffic. This is an ultimate condition that will be necessary when full turn lanes are constructed on Inverness Drive West. The primary site access will be restricted to a right-in, right-out movement as an interim condition, until the Inverness Drive West improvements are completed.
- iii. Separate northbound and southbound left turn lanes on Inverness Drive West at the primary site access.
- iv. Lengthening of dual northbound left turn lanes at Dry Creek Road and Inverness Drive West intersection. This improvement was identified because the traffic impact study for 169 Inverness evaluated the corridor from this intersection to south of the 169 Inverness site. This improvement is not considered part of the scope of the 169 Inverness project. The study also identified the need for lengthening of the eastbound dual left turns at the Dry Creek Road and Inverness Drive West intersection in 2035. It was recommended that the County monitor these turn lane queues to determine when the lanes should be lengthened.

As mentioned above, the current intersection improvements to the primary site access will be to install a “porkchop” island to restrict access to right-in, right-out. Once the identified left turn lanes are constructed in the future, the island may be removed and the access restriped to incorporate the outbound left turn lane.

## 2. Drainage

- a. The site is located in the Lower Cottonwood Creek Drainage Basin. The site is tributary to the Inverness Tributary C and Inverness Tributary C Water Quality Pond (Pond C). Pond C discharge is conveyed to Cottonwood Creek via a drainageway. Stormwater detention and Water Quality Control Volume is provided in Pond C.
- b. This site is required to meet the “20/10 Rule” for water quality. On-site water quality enhancements are proposed and include: a grass water quality swale and pervious pavers.
- c. Site runoff is discharged to an existing storm sewer stub on site, that conveys flows to Tributary C.

Engineering Staff is recommending the land use application favorably subject to the following conditions:

1. Applicant addresses all Arapahoe County Engineering Services Division comments.
2. Applicant obtains all necessary approvals and permits.
3. Applicant enters into an SIA and provides collateral to the County for all public improvements associated with the project.
4. Applicant enters into a TSEA and provides the necessary collateral for the traffic signal improvements.
5. Applicant enters into a License Agreement for connection of underdrains to storm sewer system.

**FINAL DEVELOPMENT PLAN  
163 INVERNESS  
INVERNESS SUBDIVISION FILING NO. 61  
163 INVERNESS DR W. ENGLEWOOD, CO 80112**

PER PLAT ON JULY 19, 2013 IN BOOK 437, PAGE 2, COUNTY OF ARAPAHOE, STATE OF COLORADO, AS RECEPTION NO. D3090591  
LYING WITHIN THE NE 1/4 OF SECTION 34, TOWNSHIP 5 SOUTH, RANGE 67 WEST, OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO

**STANDARD NOTES**

THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDER(S) OF THE FINAL DEVELOPMENT PLAN KNOWN AS LOT 2 INVERNESS SUBDIVISION FILING NO. 61, 163 INVERNESS DRIVE WEST, THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

**STREET MAINTENANCE**

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAT/PLAN WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED, AND PROVIDED CONSTRUCTION OF SAID ROADWAYS IS STARTED WITHIN ONE YEAR OF THE CONSTRUCTION PLAN APPROVAL. THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

**DRAINAGE MAINTENANCE**

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENT. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. ARAPAHOE COUNTY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

**EMERGENCY ACCESS**

EMERGENCY ACCESS IS GRANTED HEREWITH OVER AND ACROSS ALL PAVED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES.

**DRIVES, PARKING AREAS, AND UTILITY EASEMENTS MAINTENANCE**

THE OWNERS OF THIS PLAN OR PLAT, THEIR SUCCESSORS, AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS, AND EASEMENTS, I.E.: CROSS-ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.

**DRAINAGE LIABILITY**

IT IS THE POLICY OF ARAPAHOE COUNTY THAT IT DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY KIMLEY-HORN AND ASSOCIATES, INC. ARAPAHOE COUNTY REVIEWS DRAINAGE PLANS PURSUANT TO COLORADO REVISED STATUTES TITLE 30, ARTICLE 28, BUT CANNOT, ON BEHALF OF AX INVERNESS WEST L.P., (A DELAWARE LIMITED PARTNERSHIP) GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW WILL ABSOLVE AX INVERNESS WEST L.P., (A DELAWARE LIMITED PARTNERSHIP) AND/OR THEIR SUCCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN. IT IS THE POLICY OF ARAPAHOE COUNTY THAT APPROVAL OF THE FINAL PLAT AND/OR FINAL DEVELOPMENT PLAN DOES NOT IMPLY APPROVAL OF KIMLEY-HORN AND ASSOCIATES, INC DRAINAGE DESIGN.

**LANDSCAPE MAINTENANCE**

THE OWNERS OF THIS PLAN OR PLAT, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNER'S ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS.

THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.

**SIGHT TRIANGLE MAINTENANCE**

THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN SAID TRIANGLE.

**PUBLIC IMPROVEMENT**

AFTER FINAL DEVELOPMENT PLAN/FINAL PLAT APPROVAL, ISSUANCE OF INDIVIDUAL BUILDING PERMITS WILL BE SUBJECT TO THE FOLLOWING STIPULATIONS AND/OR CONDITIONS PRECEDENT, WHICH OWNER AGREES TO IN CONJUNCTION WITH APPROVAL OF THE FINAL DEVELOPMENT PLAN AND/OR FINAL PLAT. SUCH BUILDING PERMITS WILL BE ISSUED ONLY AFTER THE OWNERS GUARANTEE PUBLIC IMPROVEMENTS IN A FORM ACCEPTABLE TO THE BOARD OF COUNTY COMMISSIONERS PURSUANT TO STATE STATUTE.

**STREET LIGHTING**

ALL LOTS ARE SUBJECT TO AND BOUND BY TARIFFS WHICH ARE NOW AND MAY IN THE FUTURE BE FILED WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO RELATING TO STREET LIGHTING IN THIS PLAN OR PLAT, TOGETHER WITH RATES, RULES, AND REGULATIONS THEREIN PROVIDED AND SUBJECT TO ALL FUTURE AMENDMENTS AND CHANGES THERETO. THE OWNER OR OWNERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL PAY AS BILLED, A PORTION OF THE COST OF PUBLIC STREET LIGHTING IN THE PLAN OR PLAT ACCORDING TO APPLICABLE RATES, RULES, AND REGULATIONS, INCLUDING FUTURE AMENDMENTS AND CHANGES ON FILE WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO.

**AIRPORT INFLUENCE AREA (EASEMENT/HAZARD EASEMENTS)**

1. AN AVIGATION AND HAZARD EASEMENT AFFECTING ALL PROPERTY CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN HAS BEEN LEGALLY EXECUTED. SAID EASEMENT DOCUMENT CAN BE FOUND IN BOOK 5096, PAGE 399, OF THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER.
2. LANDS CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN LIE WITHIN THE AIRPORT INFLUENCE AREA, AN AREA WHICH IS LIKELY TO BE AFFECTED BY AIRCRAFT OPERATIONS AND THEIR POTENTIAL NOISE AND/OR CRASH HAZARDS TO A GREATER DEGREE THAN LANDS SITUATED OUTSIDE OF THE INFLUENCE AREA.
3. ALL LANDS CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN SHALL COMPLY WITH F.A.R. PART 77, "HEIGHT AND OBSTRUCTIONS CRITERIA".

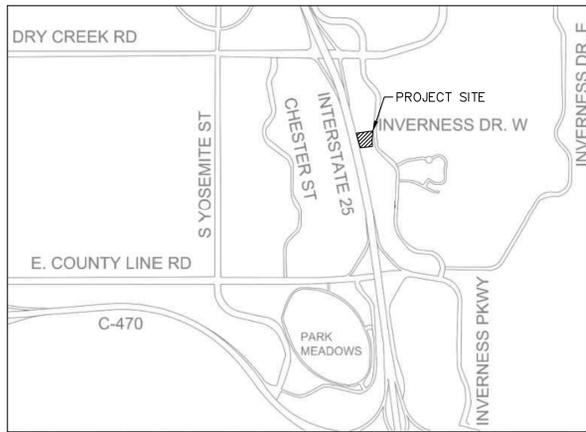
**AIRPORT INFLUENCE AREA (OFF-SITE IMPROVEMENTS)**

TO CARRY OUT ONE OR MORE OF THE FOLLOWING AS MAY BE REQUIRED BY THE BOARD OF COUNTY COMMISSIONERS:

1. TO INCLUDE SAID DEVELOPMENT WITHIN A SPECIAL DISTRICT FOR THE PURPOSE OF PARTICIPATION IN THE CONSTRUCTION OF NECESSARY OFF-SITE IMPROVEMENTS AT THE TIME OF APPROVAL OF FINAL DEVELOPMENT PLANS
2. TO COOPERATE WITH OTHER OWNERS OF OTHER PARCELS AND/OR OTHER SPECIAL DISTRICTS IN OFF-SITE ROADWAY IMPROVEMENTS AS NECESSITATED BY THE DEVELOPMENT IMPACTS AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.
3. TO COMPLETE SUCH OTHER IMPROVEMENTS TO PUBLIC ROADWAYS BROUGHT ABOUT OR IMPACTED BY THIS DEVELOPMENT AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS
4. TO PARTICIPATE AND COOPERATE IN ANY TRANSPORTATION MANAGEMENT PROGRAM AS SPECIFIED IN THE AIRPORT INFLUENCE AREA TRANSPORTATION STUDY, IF SUCH A PROGRAM IS APPROVED AND/OR ADOPTED BY THE BOARD OF COUNTY COMMISSIONERS.

**ROADWAY IMPROVEMENTS**

THE ENTRANCE DRIVE FOR THE SITE HAS BEEN WIDENED IN ANTICIPATION OF THE WIDENING OF INVERNESS DRIVE WEST SHOULD THE INVERNESS METRO DISTRICT CHOOSE TO PURSUE THAT IMPROVEMENT. THE PROPOSED USE OF A RIGHT-IN/RIGHT-OUT TRAFFIC MOVEMENT IS IN COMPLIANCE WITH THE TRAFFIC IMPACT STUDY ASSOCIATED WITH THIS PROJECT.



VICINITY MAP  
SCALE: 1" = 2000'

**SHEET INDEX**

NO.	SHEET TITLE
1	COVER SHEET
2	OVERALL SITE PLAN
3	SITE PLAN
4	GRADING AND UTILITY PLAN
5	LANDSCAPE PLAN
6	LANDSCAPE DETAILS
7	LIGHTING PLAN
8	EXTERIOR ELEVATIONS
9	EXTERIOR ELEVATIONS

**LEGAL DESCRIPTION**

THAT CERTAIN PARCEL OF LAND BEING LOT 2, INVERNESS SUBDIVISION FILING NO. 61, IN THE COUNTY OF ARAPAHOE, STATE OF COLORADO, PER PLAT RECORDED JULY 19, 2013 AT RECEPTION NO. D3090591 IN THE OFFICE OF THE CLERK AND RECORDER OF SAID COUNTY, LYING WITHIN THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 5 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, IN SAID COUNTY AND STATE.

**BENCHMARK AND DATUM**

BEARINGS SHOWN HEREON ARE BASED ON THE SOUTHERLY LINE OF LOT 2, INVERNESS SUBDIVISION FILING NO.61 AS RECORDED IN THE RECORDS OF ARAPAHOE COUNTY, STATE OF COLORADO, SAID LINE BEARING S80°04'11"W

BENCHMARK "UAP2 23" IS A 3/4 INCH ALUMINUM CAP ON THE ARAPAHOE COUNTY URBAN AREA VERTICAL CONTROL NETWORK, LOCATED AT THE NORTHWEST QUADRANT OF I-25 AND EAST DRY CREEK ROAD, 5 FEET SOUTH OF THE SOUTHWEST CORNER OF LIGHT RAIL BRIDGE ABUTMENT. ELEVATION = 5818.51' (NAVD 88)

**OWNER REPRESENTATIVE**

TRAMMELL CROW COMPANY  
TINA LASHBROOK  
1225 17TH STREET  
SUITE 3050  
DENVER, CO 80202  
(303) 628-1738

**ARCHITECT**

FENTRESS ARCHITECTS  
ERIC ZENONI  
421 BROADWAY  
DENVER, CO 80203  
(303) 722-5000

**LANDSCAPE ARCHITECT**

DUNN + KILEY  
TOM GARDNER  
421 BROADWAY  
DENVER, CO 80203  
(303) 355-1970

**SURVEYOR**

ALTURA LAND CONSULTANTS, INC.  
JESSE A. LUGO, PLS  
6551 SOUTH REVERE PARKWAY  
SUITE 165  
CENTENNIAL, CO 80111  
(720) 488-1303

**MEP**

ME ENGINEERS  
KOREY KIRSCHERMANN  
14143 DENVER WEST PKWY  
SUITE 300  
GOLDEN, CO 80401  
(303) 421-6655

**CIVIL ENGINEER**

KIMLEY-HORN AND ASSOCIATES, INC.  
RANDALL J. PHELPS, P.E.  
4582 SOUTH ULSTER STREET  
SUITE 1500  
DENVER, CO 80237  
(303) 228-2300

**DEVELOPMENT CRITERIA COMPARISON CHART**

CRITERIA	PDP (Z14-002)	FDP (P16-008)
LAND AREA	34.97 (PARCEL 2)	6.32 AC (LOT 2, FILING NO 61)
F.A.R.	1:1 MAXIMUM	1:1 MAXIMUM
ZONING	MU	MU
PERMITTED USE	VARIOUS (PRIMARILY OFFICE)	OFFICE
BUILDING HEIGHT:	120' MAXIMUM	85' MAXIMUM
MAXIMUM BUILDING FLOORPLATES	BUILDINGS UP TO 120' = NO MAX	BUILDINGS UP TO 85' = NO MAX
% BUILDING COVERAGE:	40% MAXIMUM	40% MAXIMUM
	(EXCLUDING PARKING STRUCTURES)	(EXCLUDING PARKING STRUCTURES)
% OPEN (LANDSCAPE) COVERAGE:	35% MINIMUM	35% MINIMUM
MINIMUM SETBACKS		
BUILDINGS:		
INVERNESS DRIVE WEST:	35' MINIMUM	35' MINIMUM
I-25 ROW:	35' MINIMUM	35' MINIMUM
INTERNAL LOT LINE:	25' MINIMUM	25' MINIMUM
PARKING:		
INVERNESS DRIVE WEST:	35' MINIMUM	35' MINIMUM
I-25 ROW:	35' MINIMUM	35' MINIMUM
INTERNAL LOT LINE:	15' MINIMUM	15' MINIMUM
DISTANCE BETWEEN BUILDINGS:	30' MINIMUM	30' MINIMUM
PARKING:		
OFFICE:	4 PER 1000 SF OF FLOOR AREA	4 PER 1000 SF OF FLOOR AREA

**DRAINAGE MASTER PLAN**

THE POLICY OF THE COUNTY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW:

1. DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE PHASE III DRAINAGE REPORT AND PLAN.
2. DESIGN AND CONSTRUCT THE CONNECTION OF THE SUBDIVISION DRAINAGE SYSTEM TO A DRAINAGEWAY OF ESTABLISHED CONVEYANCE CAPACITY SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGEWAY. THE COUNTY WILL REQUIRE THAT THE CONNECTION OF THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFFSITE FLOWS) LEAVING THE SPECIFIC DEVELOPMENT SITE. TO MINIMIZE OVERALL CAPITAL COSTS, THE COUNTY ENCOURAGES ADJACENT DEVELOPMENTS TO JOIN IN DESIGNING AND CONSTRUCTING CONNECTION SYSTEMS. ALSO, THE COUNTY MAY CHOOSE TO PARTICIPATE WITH A DEVELOPER IN THE DESIGN AND CONSTRUCTION OF THE CONNECTION SYSTEM.
3. EQUITABLE PARTICIPATION IN THE DESIGN AND CONSTRUCTION OF THE MAJOR DRAINAGEWAY SYSTEM THAT SERVES THE DEVELOPMENT AS DEFINED BY ADOPTED MASTER DRAINAGEWAY PLANS (SECTION 3.4 OF THE ARAPAHOE COUNTY STORMWATER MANAGEMENT MANUAL) OR AS REQUIRED BY THE COUNTY AND DESIGNATED IN THE PHASE III DRAINAGE REPORT.

**STORMWATER MAINTENANCE**

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT BEST MANAGEMENT PRACTICES (BMP'S) AND STORMWATER FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENTS AND THE OPERATIONS AND MAINTENANCE (O AND M) GUIDE IN THE CASE OF PERMANENT BMP'S. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, MAINTAINING THE SPECIFIED BMP'S CONTAINED IN THE O AND M MANUAL RECORDED AT RECEPTION NUMBER \_\_\_\_\_, AND THE STORMWATER FACILITIES SHOWN IN THE APPROVED PHASE III DRAINAGE REPORT AND SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS.

THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL PERMANENT BMP'S AND/OR STORMWATER FACILITIES ASSOCIATED WITH THIS DEVELOPMENT. IF THE PERMANENT BMP'S AND STORMWATER FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

**PLANNING COMMISSION RECOMMENDATION**

NOT RECOMMENDED/RECOMMENDED BY THE ARAPAHOE COUNTY PLANNING COMMISSION, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D, 20\_\_\_\_.

CHAIR: \_\_\_\_\_

**BOARD OF COUNTY COMMISSIONERS APPROVAL**

APPROVED BY THE ARAPAHOE COUNTY BOARD OF COMMISSIONERS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_.

CHAIR: \_\_\_\_\_

**CERTIFICATE OF OWNERSHIP**

I, \_\_\_\_\_ HEREBY AFFIRM THAT I AM THE OWNER OR AUTHORIZED AGENT OF ALL INDIVIDUALS HAVING OWNERSHIP INTEREST IN THE PROPERTY DESCRIBED HEREIN, KNOWN AS LOT 2 INVERNESS SUBDIVISION FILING NO. 61, 163 INVERNESS DRIVE WEST, CASE NO. P16-008.

OWNER OF RECORD OR AUTHORIZED AGENT \_\_\_\_\_

STATE OF \_\_\_\_\_ }  
S.S

COUNTY OF \_\_\_\_\_ }

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016

BY \_\_\_\_\_

AS \_\_\_\_\_ OF \_\_\_\_\_ AN AUTHORIZED SIGNATORY.

(TITLE)

BY \_\_\_\_\_ WITNESS MY HAND AND SEAL

NOTARY PUBLIC

\_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

ADDRESS \_\_\_\_\_

CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP CODE \_\_\_\_\_

NO.	ISSUED FOR	DATE
1	FDP	2/12/2016
2	FDP	4/15/2016
3	FDP	6/22/2016
4	FDP	8/24/2016

STAMP

DRAWING TITLE  
COVER SHEET

PROJECT #20150044

SHEET NUMBER

# FINAL DEVELOPMENT PLAN

## 163 INVERNESS

### INVERNESS SUBDIVISION FILING NO. 61

#### 163 INVERNESS DR W. ENGLEWOOD, CO 80112

PER PLAT ON JULY 19, 2013 IN BOOK 437, PAGE 2, COUNTY OF ARAPAHOE, STATE OF COLORADO, AS RECEPTION NO. D3090591  
 LYING WITHIN THE NE 1/4 OF SECTION 34, TOWNSHIP 5 SOUTH, RANGE 67 WEST, OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO

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 FENTRESS ARCHITECTS

CONSULTANT  
**Kimley»Horn**  
 ARCHITECTS

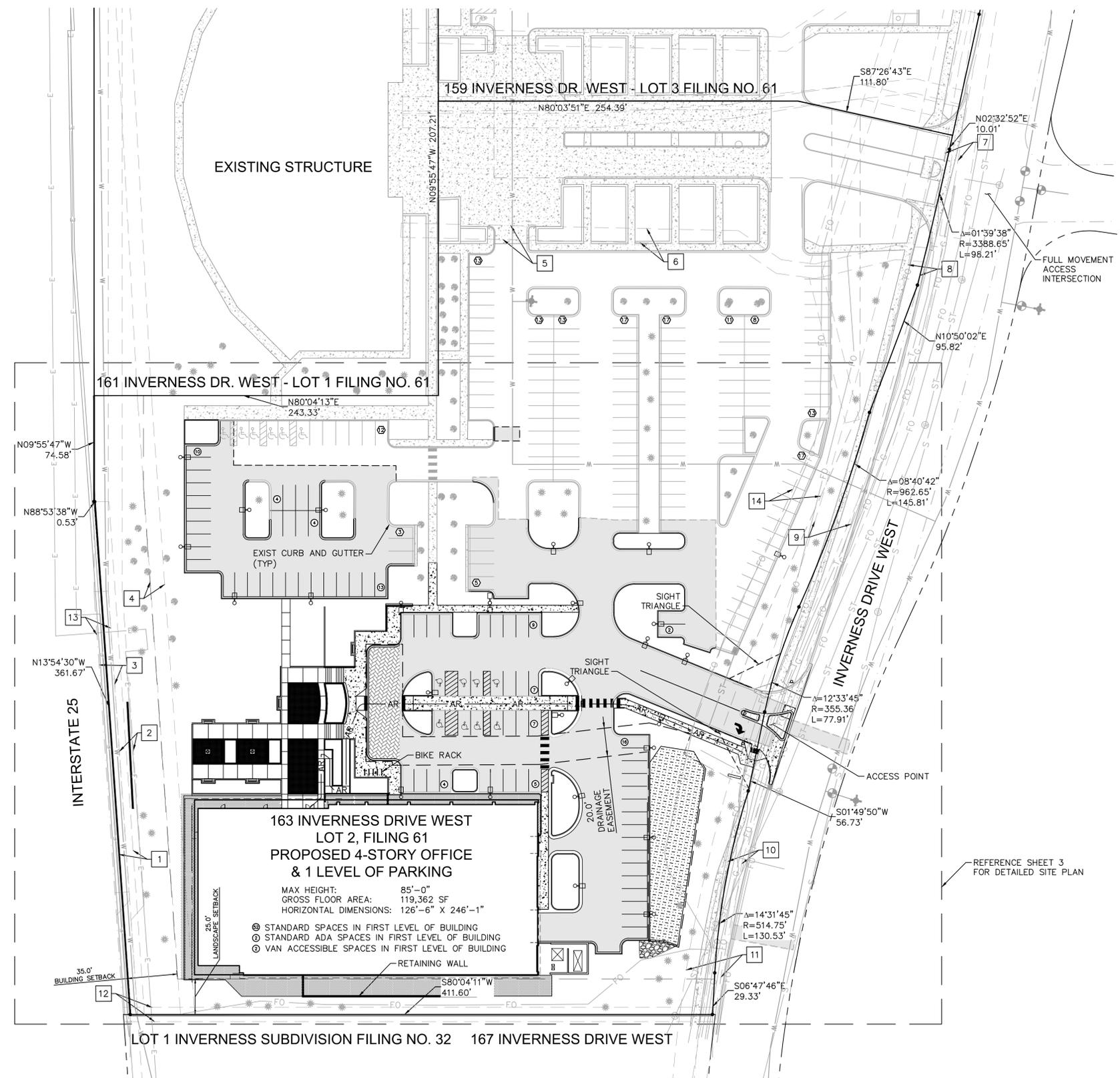
**163 INVERNESS**  
 FINAL DEVELOPMENT PLAN  
 163 INVERNESS DR W, ENGLEWOOD, CO 80112

NO.	ISSUED FOR	DATE
1	FDP	2/12/2016
2	FDP	4/15/2016
3	FDP	6/22/2016
4	FDP	8/24/2016

STAMP

DRAWING TITLE  
 OVERALL SITE PLAN

PROJECT # 20150044  
 SHEET NUMBER



### LEGEND

	PROPERTY LINE
	LOT LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	SETBACK LINE
	SAWCUT LINE
	PROPOSED CURB AND GUTTER
	ACCESSIBLE ROUTE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	PROPOSED DRAINAGE SWALE
	EXISTING STORM SEWER PIPE
	PROPOSED STORM SEWER PIPE
	EXISTING SANITARY PIPE
	PROPOSED SANITARY PIPE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	PROPOSED ROOF DRAIN PIPE
	STORM UNDERDRAIN PIPE
	EXISTING ELECTRIC LINE
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING GAS LINE
	EXISTING FIBER OPTIC LINE

TW: XXXX.XX	TOP OF WALL
BW: XXXX.XX	BOTTOM OF WALL
EG: XXXX.XX	EXISTING GRADE
	SLOPE
	GRASS SWALE
	EXISTING CONCRETE
	PROPOSED CONCRETE
	PERVIOUS PAVERS
	RIP RAP
	PROPOSED PAVEMENT
	DECOMPOSED GRANITE (RE: LANDSCAPE)
	SELECTED HARDSCAPE (RE: LANDSCAPE)
	EXISTING/PROPOSED SIGN
	EXISTING/PROPOSED LIGHT POLE
	EXISTING/PROPOSED FIRE HYDRANT
	EXISTING/PROPOSED WATER METER
	PROPOSED STORM SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED CLEANOUT
	PROPOSED STORMWATER INLET
	PROPOSED TYPE R INLET
	EXISTING TREE
	TREE PROTECTION

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- 2 10' UTILITY EASEMENT (BK. 5337, PG. 658)
- 3 10' UTILITY EASEMENT (REC. NO. A9151358)
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- 13 10' UTILITY EASEMENT (BK. 4640, PG. 215)
- 14 20' DRAINAGE EASEMENT (REC. NO. D3090591)

- 4 PROPOSED PARKING SPACE COUNT
- 11 EXISTING PARKING SPACE COUNT

163 Inverness Dr W Lot 2 Parking	
Existing Standard Spaces to Remain*	136
Existing Standard Handicap Spaces to Remain*	6
Proposed Standard Surface Spaces	73
Proposed Standard Garage Spaces	52
Proposed Standard Handicap Standard Spaces	8
Proposed Van Accessible Handicap Spaces	4
<b>Total Spaces</b>	<b>279</b>

\*Existing parking is shaded grey

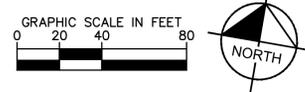
159 Inverness Dr W Lot 3 Parking Share	
Existing Standard Spaces**	201

\*\*Shared with 163 Inverness per site parking agreement

163 Parking Summary			
Required Parking Ratio	4 spaces/1000sf		
Gross Square Footage	119,362		
Required		Provided	
Total Spaces	478	Total Spaces	480
Standard Handicap Spaces	7	Standard Handicap Spaces	14
Van Accessible Handicap Spaces	2	Van Accessible Handicap Spaces	4

CASE NO. P16-008

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FINAL DEVELOPMENT PLAN

163 INVERNESS

INVERNESS SUBDIVISION FILING NO. 61

163 INVERNESS DR W. ENGLEWOOD, CO 80112

PER PLAT ON JULY 19, 2013 IN BOOK 437, PAGE 2, COUNTY OF ARAPAHOE, STATE OF COLORADO, AS RECEPTION NO. D3090591  
 LYING WITHIN THE NE 1/4 OF SECTION 34, TOWNSHIP 5 SOUTH, RANGE 67 WEST, OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO

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 ARCHITECTS

CONSULTANT  
 Kimley»Horn

163 INVERNESS  
 FINAL DEVELOPMENT PLAN  
 163 INVERNESS DR W, ENGLEWOOD, CO 80112

NO.	ISSUED FOR	DATE
1	FDP	2/12/2016
2	FDP	4/15/2016
3	FDP	6/22/2016
4	FDP	8/24/2016

STAMP

DRAWING TITLE  
 SITE PLAN

PROJECT #20150044  
 SHEET NUMBER

3

LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- SETBACK LINE
- SAWCUT LINE
- PROPOSED CURB AND GUTTER
- ACCESSIBLE ROUTE
- EXISTING CONTOURS
- 5845 PROPOSED CONTOURS
- PROPOSED DRAINAGE SWALE
- EXISTING STORM SEWER PIPE
- PROPOSED STORM SEWER PIPE
- EXISTING SANITARY PIPE
- PROPOSED SANITARY PIPE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- PROPOSED ROOF DRAIN PIPE
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- GRASS SWALE
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- PROPOSED STORM SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED CLEANOUT
- PROPOSED STORMWATER INLET
- PROPOSED TYPE R INLET
- EXISTING TREE
- TREE PROTECTION

KEYNOTES

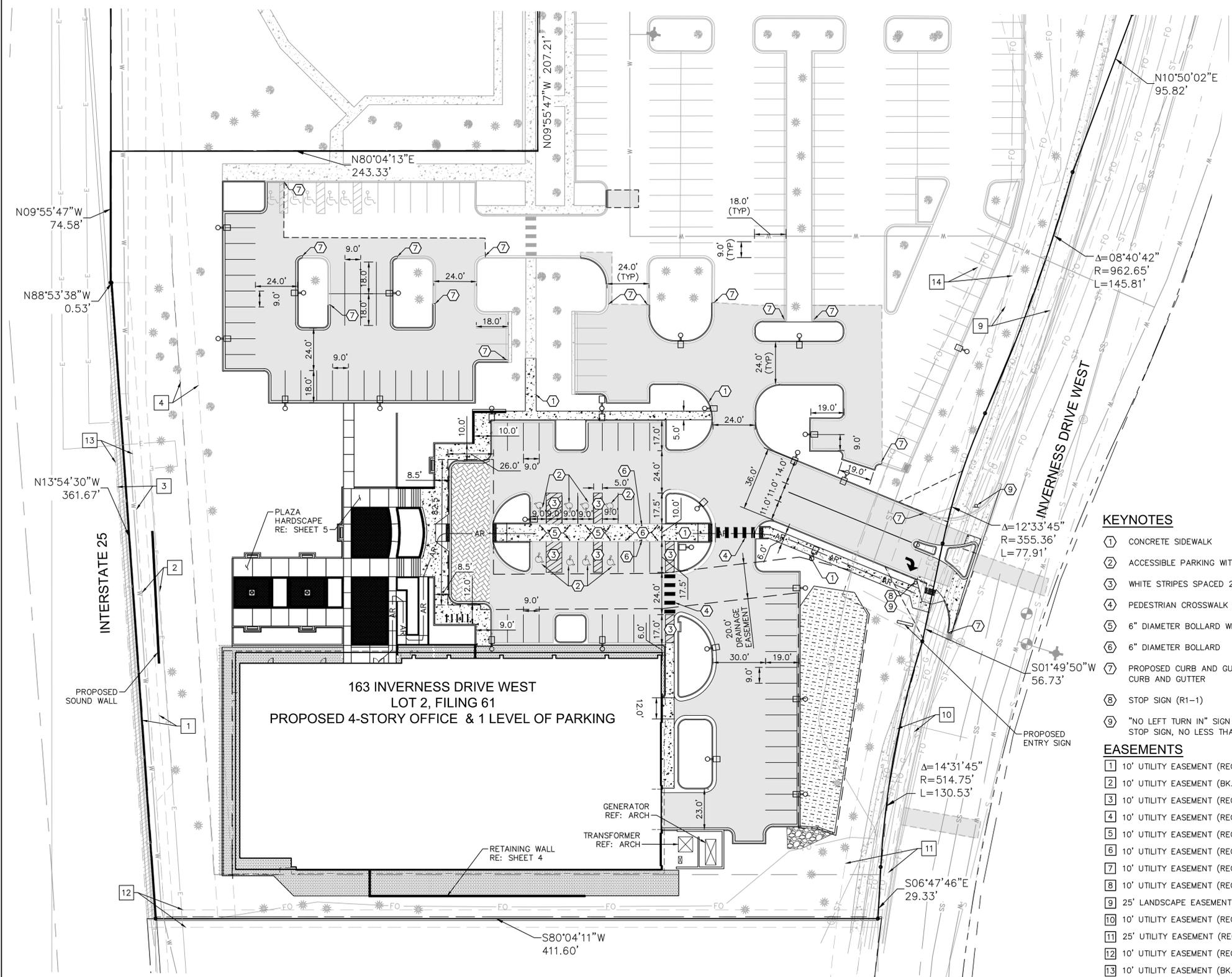
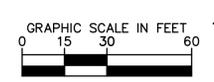
- 1 CONCRETE SIDEWALK
- 2 ACCESSIBLE PARKING WITH SIGN AND MARKING
- 3 WHITE STRIPES SPACED 2' O.C. AT 45°
- 4 PEDESTRIAN CROSSWALK WITH 2'X5' WHITE STRIPES
- 5 6" DIAMETER BOLLARD WITH ADA PARKING SIGN
- 6 6" DIAMETER BOLLARD
- 7 PROPOSED CURB AND GUTTER TO MATCH EXISTING CURB AND GUTTER
- 8 STOP SIGN (R1-1)
- 9 "NO LEFT TURN IN" SIGN (R3-2) PLACED BELOW STOP SIGN, NO LESS THAN 6" ABOVE GRADE

EASEMENTS

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- 14 20' DRAINAGE EASEMENT (REC. NO. D3090591)

NOTES

- COUNTY, ITS AGENTS, CONTRACTORS, SUCCESSORS AND ASSIGNS, SHALL HAVE THE RIGHT OF INGRESS AND EGRESS, IN, TO, OVER AND ACROSS THE PROPERTY OVER PARKING AREAS INTERNAL ROADS AND ROADWAYS FOR THE INSPECTION, CONSTRUCTION, INSTALLATION, REPAIR, OPERATION, AND REPLACEMENT OF THE STORM SEWER FACILITIES, DETENTION PONDS AND RELATED DRAINAGE FACILITIES.
- DUMPSTER IS LOCATED INSIDE THE BUILDING.



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CASE NO. P16-008

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FINAL DEVELOPMENT PLAN

163 INVERNESS

INVERNESS SUBDIVISION FILING NO. 61

163 INVERNESS DR W. ENGLEWOOD, CO 80112

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Kimley»Horn  
 CONSULTANT

163 INVERNESS  
 FINAL DEVELOPMENT PLAN  
 163 INVERNESS DR W, ENGLEWOOD, CO 80112

NO.	ISSUED FOR	DATE
1	FDP	2/12/2016
2	FDP	4/15/2016
3	FDP	6/22/2016
4	FDP	8/24/2016

STAMP

DRAWING TITLE  
 GRADING AND UTILITY PLAN

PROJECT # 20150044  
 SHEET NUMBER

LEGEND

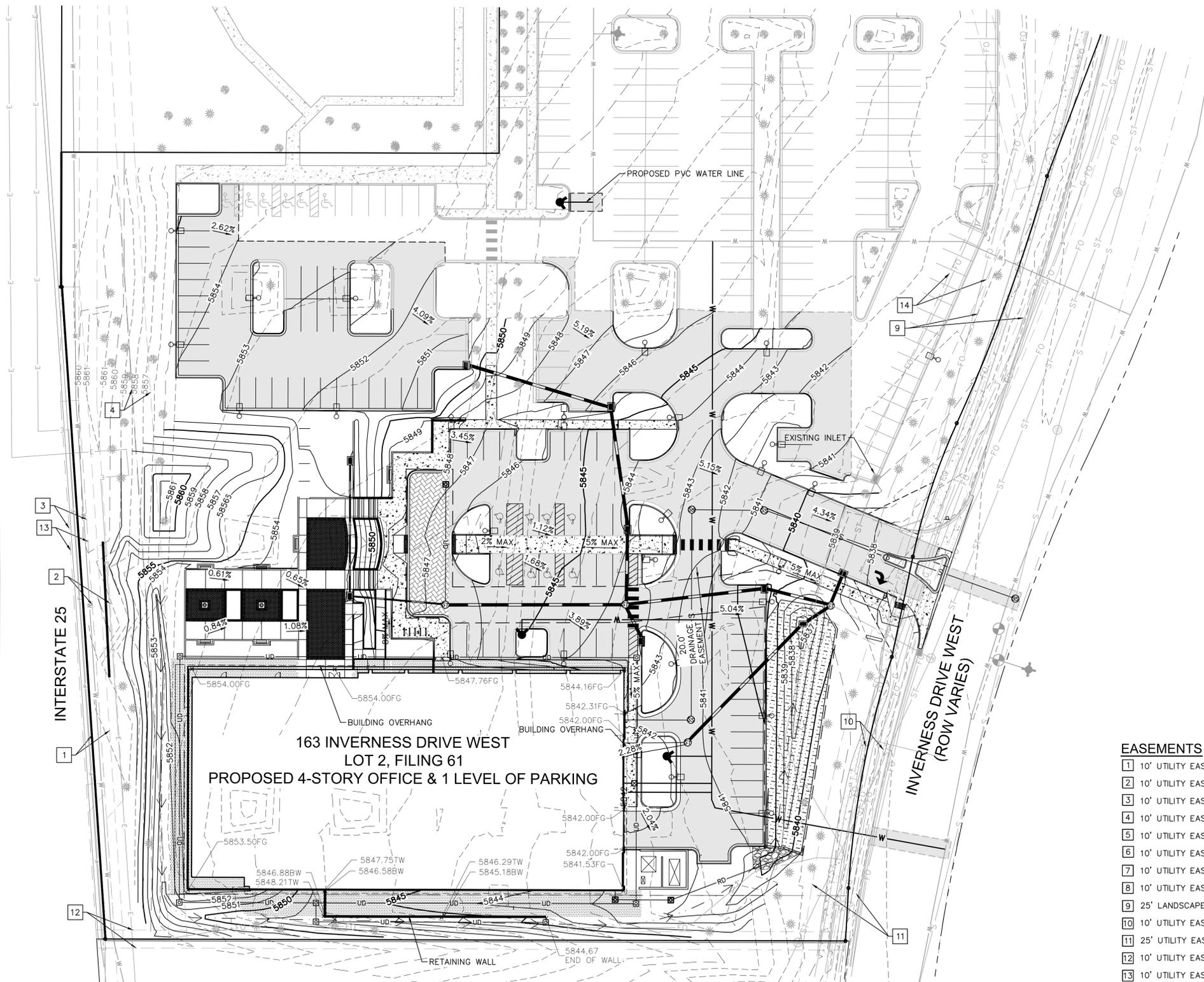
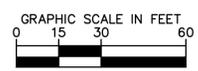
- PROPERTY LINE
- LOT LINE
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- AR ACCESSIBLE ROUTE
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CASE NO. P16-008

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**FINAL DEVELOPMENT PLAN**  
**163 INVERNESS**  
**INVERNESS SUBDIVISION FILING NO. 61**  
**163 INVERNESS DR W. ENGLEWOOD, CO 80112**

PER PLAT ON JULY 19, 2013 IN BOOK 437, PAGE 2, COUNTY OF ARAPAHOE, STATE OF COLORADO, AS RECEPTION NO. D3090591  
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NO.	ISSUED FOR	DATE
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4	FDP	8/5/2016
5	FDP	8/24/2016

NO.	ISSUED FOR	DATE

STAMP

DRAWING TITLE  
 LANDSCAPE PLAN

PROJECT # 20150044

SHEET NUMBER  
**5**

**LANDSCAPE MATERIALS LEGEND**

	ANNUAL PLANTINGS		CLAY PAVERS ON SAND SETTING BED WITH COMPACTED SUB-BASE
	TURF GRASS, TOUGH STUFF SOD (90% Turf Type Tall Fescue, 10% Kentucky Bluegrass)		CRUSHER FINES
	XERIC SEED MIX, LOW GROW SEED MIX by Arkansas Valley Seed Co (100% Turf Type Tall Fescue)		12" LANDSCAPE CURB
	ORNAMENTAL GRASSES, GROUND COVERS, PERENNIAL PLANTINGS		LANDSCAPE EDGER
	EXISTING TREES		BIKE RACK
	EXISTING SHRUBS		LITTER RECEPTACLE
	EXISTING TURF		FIRE PIT
	INTEGRAL COLORED CONCRETE PAVING WITH SAND FINISH AND SAW CUT JOINTS		PEDESTRIAN LIGHT POLE
			WALL MOUNTED LIGHT
			PROPOSED PARKING LOT LIGHT POLE
			EXISTING PARKING LOT LIGHT POLE
			FIRE HYDRANT

SITE AREA SCHEDULE	AREA	PARKING TABULATIONS	PARKING ISLAND	AREA	TREES REQ'D/PROVIDED	SHRUBS REQ'D/PROVIDED	NOTE
OPEN SPACE AREA	108,228 SF	TOTAL PARKING	223 SPACES	PROPOSED ISLAND 1	250	2/2	16/23
LANDSCAPED AREA	81,763 SF			PROPOSED ISLAND 2	392	2/2	26/26
AMENITY PLAZA AREA	15,449 SF	223(10 SF) = 2,230 SF LANDSCAPING		PROPOSED ISLAND 3	253	2/2	17/22
PEDESTRIAN WALKS	11,016 SF			PROPOSED ISLAND 4	253	2/2	17/22
		TOTAL AREA OF PARKING ISLANDS = 2,372 SF		PROPOSED ISLAND 5	330	2/2	22/25
PARKING LOT ISLANDS (PLANTED)	16,928 SF			PROPOSED ISLAND 6	215	2/2	14/18
BUILDING FOOTPRINT	27,869 SF			PROPOSED ISLAND 7	679	2/2	45/46
PARKING AND CIRCULATION	122,345 SF			TOTAL AREA	2,372 SF	14/14	157/182
OVERALL SITE AREA	275,370 SF						

**PLANTING TABULATIONS**

REQ'D OPEN SPACE (35% OF LOT AREA) = 96,380 SF

REQUIRED TREE PLANTINGS = 96,380/1000 = 97

EXISTING TREES = 87\*

PROPOSED TREES = 66

TOTAL OPEN SPACE TREES = 153

REQUIRED SHRUB PLANTINGS = 96,380\*10/1000 = 964 SHRUBS

EXISTING SHRUBS = 150\*

PROPOSED SHRUBS (5 gal) = 542 (Excluding 182 shrubs in PARKING LOT ISLANDS)

PROPOSED GROUNDCOVERS (G-MA AND G-EF)\*\* (1 gal) = 877/3 = 292

TOTAL PROPOSED SHRUBS: 530 + 292 = 822

\*Note: Existing quantities based upon survey data.

\*\* See Note 1.

**PLANT SCHEDULE**

**DECIDUOUS TREES**

Abbr.	No.	Genus	Species	Common Name	Size	Spacing	Notes
T-AG	8	Acer	ginnala	Amur Maple	2" cal. B&B	per plan	
T-GT	22	Gleditsia	triacanthos var. enermis	Thornless Honeylocust	3" cal. B&B	per plan	6' Branching Ht. Min.
T-MD	14	Malus	'Dolgo'	Crabapple Dolgo	2" Cal. B&B	per plan	
T-TC	14	Tilia	cordata 'Greenspire'	Greenspire Linden	3" Cal B&B	per plan	6' Branching Ht. Min

**CONIFEROUS TREES**

Abbr.	No.	Genus	Species	Common Name	Size	Spacing	Notes
T-PN	22	Pinus	nigra	Austrian Pine	10-12' ht.	per plan	

**SHRUBS**

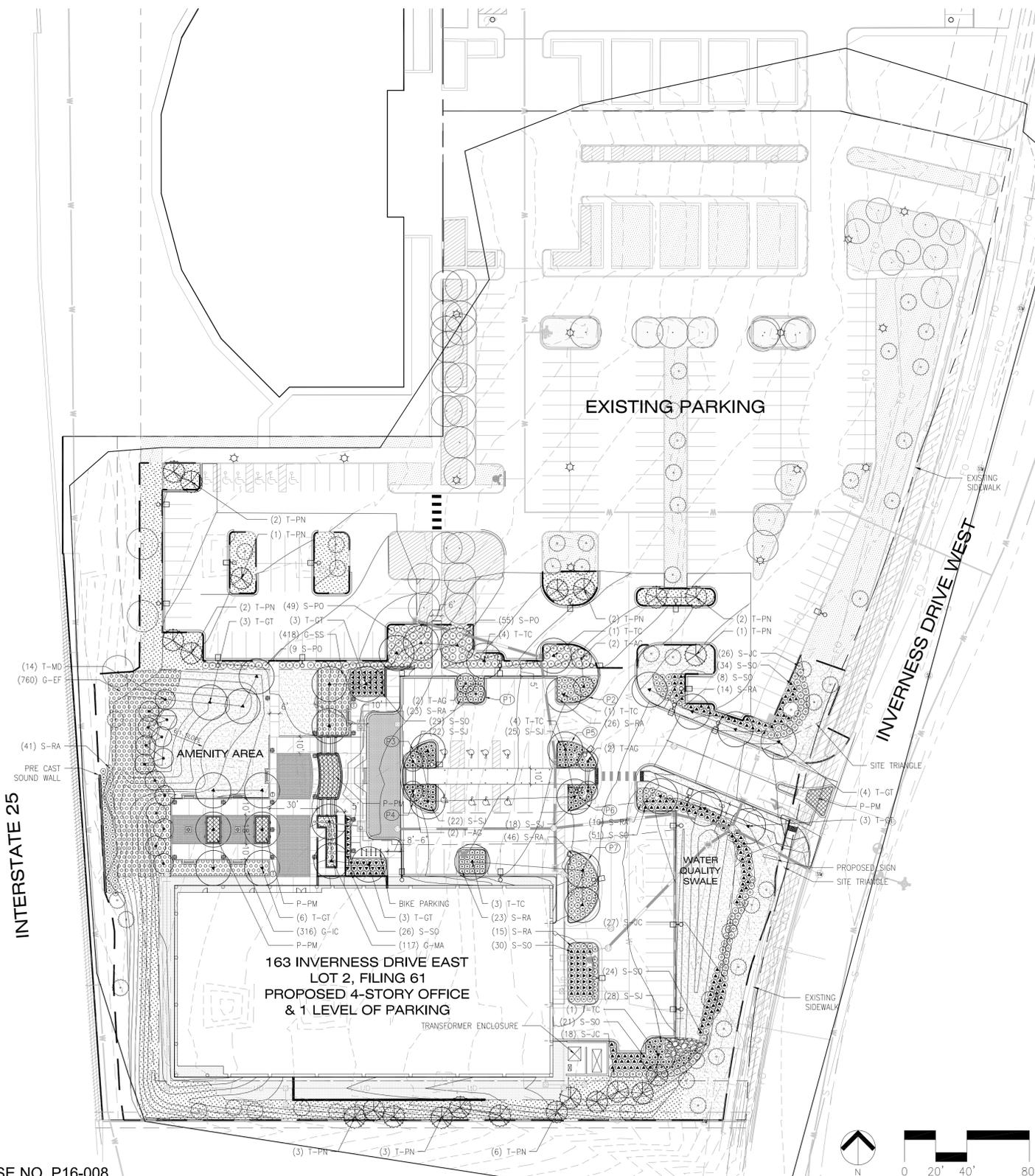
Abbr.	No.	Genus	Species	Common Name	Size	Spacing	Notes
S-JC	71	Juniperus	communis Depressa "effusa"	Effusa Juniper	5 gal. 2-3' HT	48" Diagonal	
S-PO	113	Physocarpus	opulifolius	Dwarf ninebark	5 gal. 4' HT	48" Diagonal	
S-RA	198	Ribes	alpinum	Alpine Currant	5 gal. 4' HT	48" Diagonal	
S-SJ	115	Spiraea	japonica	Spiraea "Anthony Waterer"	5 gal. 4' HT	48" Diagonal	
S-SO	215	Symphoricarpos	occidentalis	Snowberry	5 gal. 4' HT	48" Diagonal	

**ORNAMENTAL GRASSES, GROUND COVERS AND PERENNIALS**

Abbr.	No.	Genus	Species	Common Name	Size	Spacing	Notes
G-EF	760	Euonymus	fortunei 'Coloratus'	Purpleleaf Wintercreeper	1 gal. 12" HT	30" Diagonal	
G-IC	316	Imperata	cylindrica	Japanese Blood Grass	1 gal. 12" HT	18" Diagonal	
G-MA	117	Mahonia	aquifolium	Oregon Grape Holly	1 gal. 12" HT	18" Diagonal	
G-SS	418	Sedum	spurium	'Dragons Blood' Sedum	1gal. 12" HT	18" Diagonal	
P-PM	350	Hemerocallis		Stella D'oro Daylily	1 gal.	12" O.C	PERENNIAL MIX
P-PM	350	Iris		Caesar's Brother Iris	1 gal.	12" O.C	PERENNIAL MIX
P-PM	350	Astilbe		Inshriach Astilbe	1 gal.	12" O.C	PERENNIAL MIX

**NOTE:**

- THE SUBSTITUTION OF THREE (3) 1 GALLON CONTAINERS FOR ONE (1) SHRUB CAN BE USED FOR MAHONIA AQUIFOLIUM AND EUONYMUS FORTUNEI 'COLORATUS'. THIS DECISION IS BASED ON THE QUANTITY AND PROPOSED GROWTH CHARACTERISTIC OF THE PLANT SPECIES WHICH MAKES THEM A BETTER CHOICE THAN AN ORNAMENTAL GRASS.
- NUMBERS IN PLANT SCHEDULE TAKE PRECEDENCE OVER SYMBOLS ON PLAN.
- SPRINKLER HEADS LOCATED IN WATER QUALITY SWALE SHALL BE PLACED ABOVE THE 2-YEAR WATER SURFACE ELEVATION.
- ALL LANDSCAPE MATERIAL SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM. LOW AND MODERATE WATER USE AREAS ARE REQUIRED TO HAVE DRIP IRRIGATION. HIGH WATER USE AREAS MAY SUCH AS TURF MAY USE SPRAY HEADS OR DRIP IRRIGATION. TREES AND SHRUBS SHALL BE DRIP IRRIGATED ON A SEPARATE ZONE.

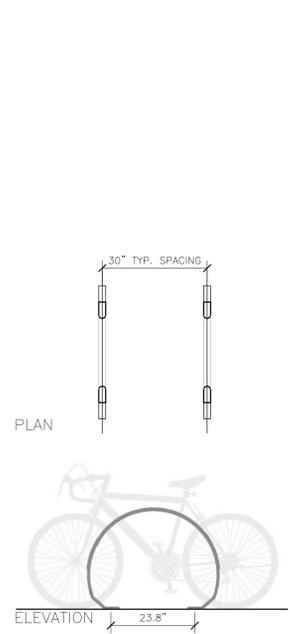


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CASE NO. P16-008

**FINAL DEVELOPMENT PLAN**  
**163 INVERNESS**  
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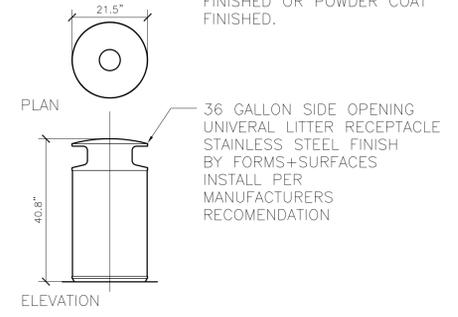
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NOTE: ALL METAL SITE FURNISHINGS TO BE FACTORY FINISHED OR POWDER COAT FINISHED.

FREMONT BIKE RACK— SOLID CAST ALUMINUM BY FORMS+SURFACES INSTALL PER MANUFACTURERS RECOMMENDATION

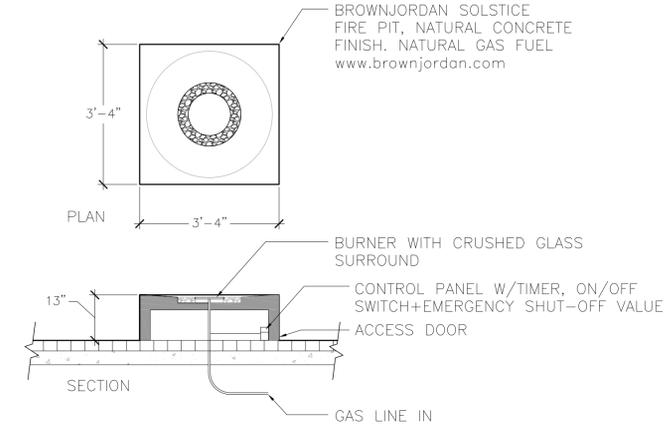
**1** BIKE RACK  
 SCALE: 1/2" = 1'-0"



NOTE: ALL METAL SITE FURNISHINGS TO BE FACTORY FINISHED OR POWDER COAT FINISHED.

36 GALLON SIDE OPENING UNIVERSAL LITTER RECEPTACLE STAINLESS STEEL FINISH BY FORMS+SURFACES INSTALL PER MANUFACTURERS RECOMMENDATION

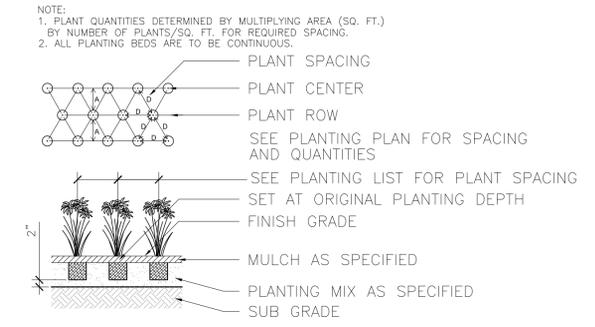
**2** LITTER RECEPTACLE  
 SCALE: 1/2" = 1'-0"



BROWNJORDAN SOLSTICE FIRE PIT, NATURAL CONCRETE FINISH. NATURAL GAS FUEL  
 www.brownjordan.com

**3** FIRE PIT  
 SCALE: 1/2" = 1'-0"

SPACING "D"	ROW "A"	NUMBER OF PLANTS/SQ. FT.
36" O.C.	31.20"	.12
30" O.C.	26.00"	.18
24" O.C.	20.76"	.28
12" O.C.	10.44"	1.15
10" O.C.	8.64"	1.66
8" O.C.	6.96"	2.60
6" O.C.	5.16"	4.61

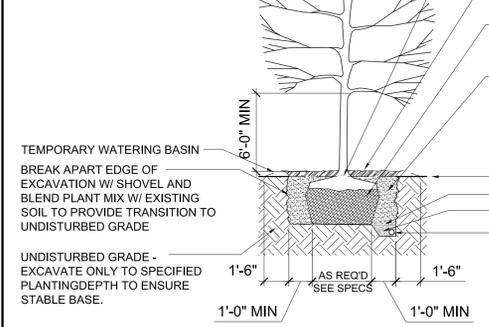


NOTE:  
 1. PLANT QUANTITIES DETERMINED BY MULTIPLYING AREA (SQ. FT.) BY NUMBER OF PLANTS/SQ. FT. FOR REQUIRED SPACING.  
 2. ALL PLANTING BEDS ARE TO BE CONTINUOUS.

**4** GROUNDCOVER/GRASS & PERENNIAL PLTG  
 SCALE: 1/2" = 1'-0"

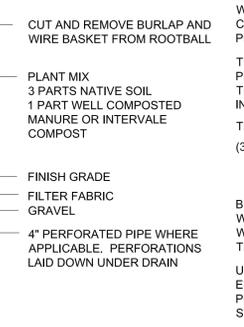
NOTE: EXAMINE ENTIRE TREE AND REMOVE ALL NURSERY TAGS, ROPE, STRING, OR SURVEYORS TAPE TO PREVENT FUTURE GIRDLING.

SURROUNDING SOIL SHOULD NOT EXCEED 30% COMPACTION



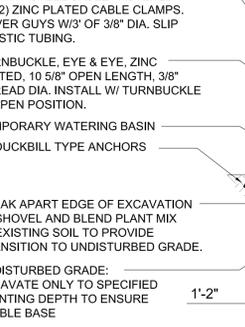
NOTE: EXAMINE ENTIRE TREE AND REMOVE ALL NURSERY TAGS, ROPE, STRING, OR SURVEYORS TAPE TO PREVENT FUTURE GIRDLING.

SURROUNDING SOIL SHOULD NOT EXCEED 80% COMPACTION, DRAINAGE WILL BE REQUIRED IF COMPACTED SOILS ARE PRESENT



NOTE: EXAMINE ENTIRE TREE AND REMOVE ALL NURSERY TAGS, ROPE, STRING, OR SURVEYORS TAPE TO PREVENT FUTURE GIRDLING.

SURROUNDING SOIL SHOULD NOT EXCEED 80% COMPACTION, DRAINAGE WILL BE REQUIRED IF COMPACTED SOILS ARE PRESENT

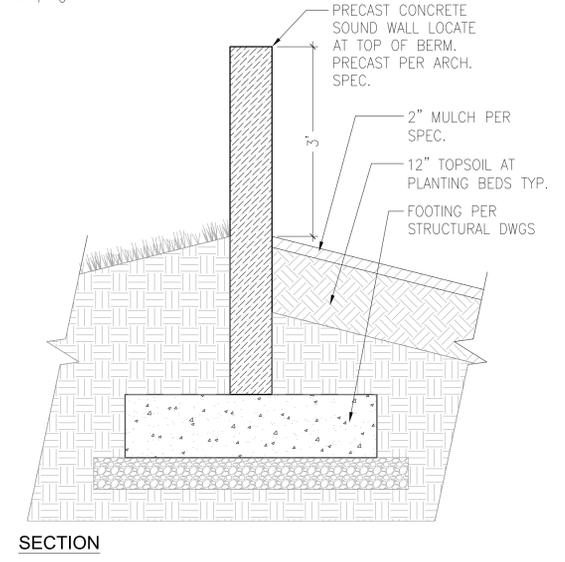


**5** DECIDUOUS TREE PLANTING  
 SCALE: NTS

**6** EVERGREEN PLANTING  
 NTS

**7** SHRUB AND GROUNDCOVER PLANTING  
 SCALE: 1/2" = 1'-0"

**8** PRE CAST SOUND WALL  
 NTS



NO.	ISSUED FOR	DATE
1	FDP	2/12/2016
2	FDP	4/15/2016
3	FDP	6/22/2016
4	FDP	8/5/2016
5	FDP	8/24/2016

STAMP

DRAWING TITLE  
 LANDSCAPE DETAILS

PROJECT #: 20150044

SHEET NUMBER

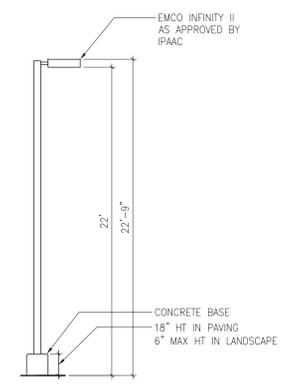
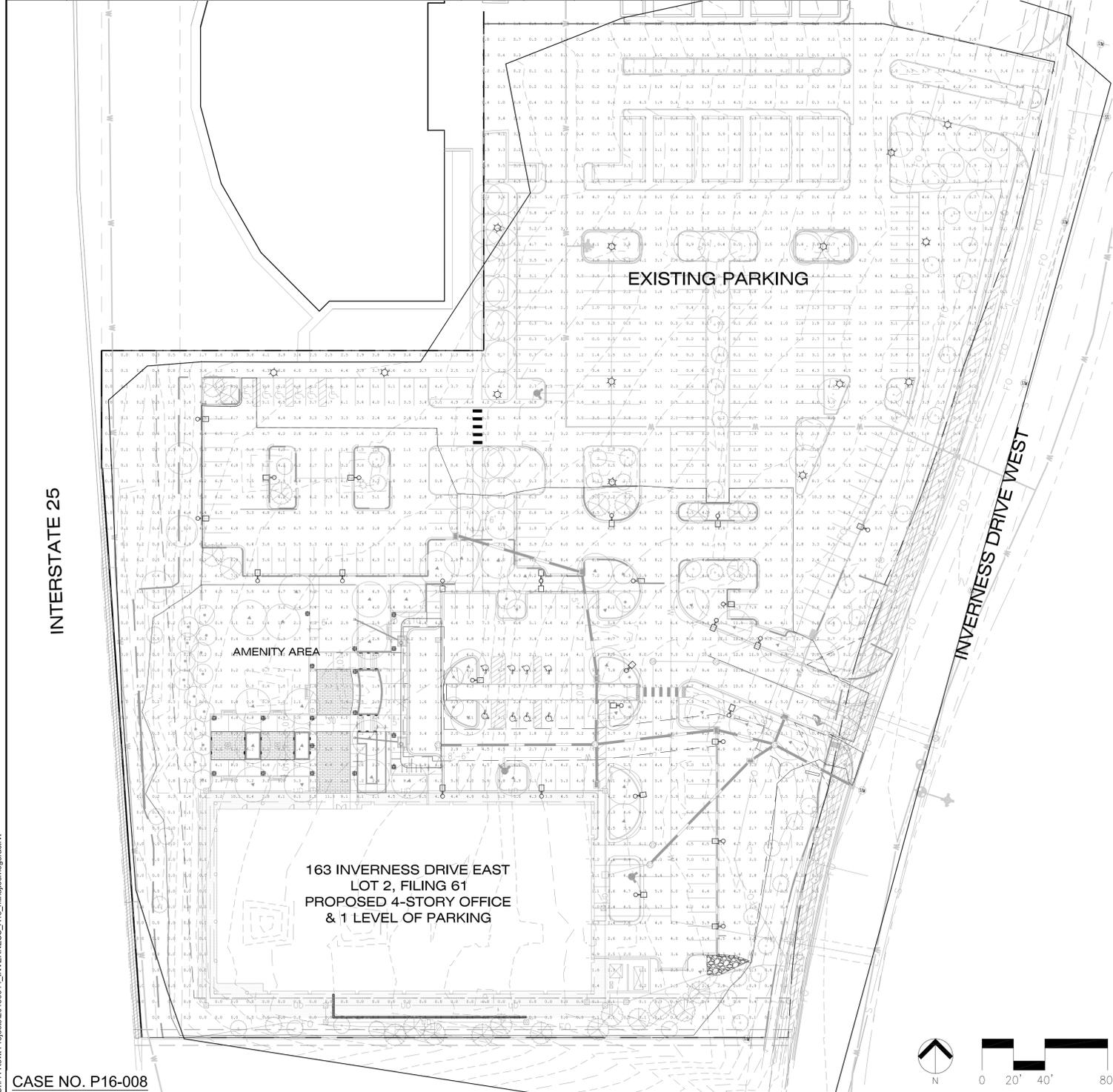
17/2015 12536 PW  
 C:\Program Files\Autodesk\AutoCAD 2015\Projects\163 INVERNESS\_A16\_mh\jhg\p00044.ctb

**FINAL DEVELOPMENT PLAN**  
**163 INVERNESS**  
**INVERNESS SUBDIVISION FILING NO. 61**  
**163 INVERNESS DR W. ENGLEWOOD, CO 80112**

PER PLAT ON JULY 19, 2013 IN BOOK 437, PAGE 2, COUNTY OF ARAPAHOE, STATE OF COLORADO, AS RECEPTION NO. D3090591  
 LYING WITHIN THE NE 1/4 OF SECTION 34, TOWNSHIP 5 SOUTH, RANGE 67 WEST, OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO

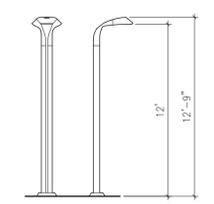
**LIGHTING LEGEND**

Quantity	Lamp	Description	Finish	Voltage	Mounting	Manufacturer	Catalog Number
15 #	84W LED, 4329 LUMEN, 4000K, 60,000HOURS	LED PEDESTRIAN LIGHT, 12FT WITH FULL CUT OFF	PER ARCH	UNV	POLE	ARCHITECTURAL AREA LIGHTING	FH-T2-56LED-4K-450
31 -	14.5W LED, 342 LUMEN, 3500K, 160W LED, 15252 LUMEN, 70 CRI	RECTANGULAR DIE-CAST ALUMINUM RECESSED STEP LIGHT.	PER ARCH	120/277	RECESSED	BEGA	2384LED-35K-UNV
25 □	160W LED, 15252 LUMEN, 70 CRI 70,000+ HOUR	SQUARE ARM MOUNT CUT OFF AREA LUMINAIRE WITH LED ARRAYS. PROVIDE 2 HEAD MODEL WHERE INDICATED IN THE PLANS.	PER ARCH	277	22' POLE	GARDCO	EH19L-1-3-160LA-NW-277

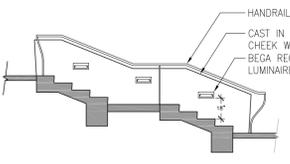


NOTE: PROPOSED FIXTURES TO MATCH EXISTING PARKING LOT LIGHT FIXTURES FOOTING + FINISH FOUNDATIONS+WIRING TO BE INCLUDED

① PARKING LOT LIGHT FIXTURE  
SCALE: NTS



② PEDESTRIAN LIGHT FIXTURE  
SCALE: NTS



③ DETAIL STEP LIGHT FIXTURE  
SCALE: NTS



Philips Gardco Form 10 LED square arm mount luminaires are cutoff area luminaires featuring LED arrays. These products provide performance excellence and feature advanced Philips Gardco LED thermal management technology. High performance Class 1 LED systems offer the potential for energy savings up to 50% when compared to HID systems. The EH units are manufactured from mitered extruded aluminum and finished in an Architectural Class 1 anodizing. The H style luminaires are die formed aluminum with a thermoset polyester finish. Form 10 LED square luminaires provide full cutoff performance and feature a flat glass lens.

HI-GLO™  
Product Data Sheet



**BEGA**

Photometric Filename: 3065LED.IES  
 TEST: N/A  
 TEST LAB: BEGA  
 DATE: 9/8/2014  
 LUMINAIRE: 3065LED  
 LAMP: 8.4W LED



NO.	ISSUED FOR	DATE
1	FDP	2/12/2016
2	FDP	4/15/2016
3	FDP	6/22/2016
4	FDP	8/5/2016
5	FDP	8/24/2016

STAMP

DRAWING TITLE  
LIGHTING PLAN

PROJECT #: 20150044  
SHEET NUMBER

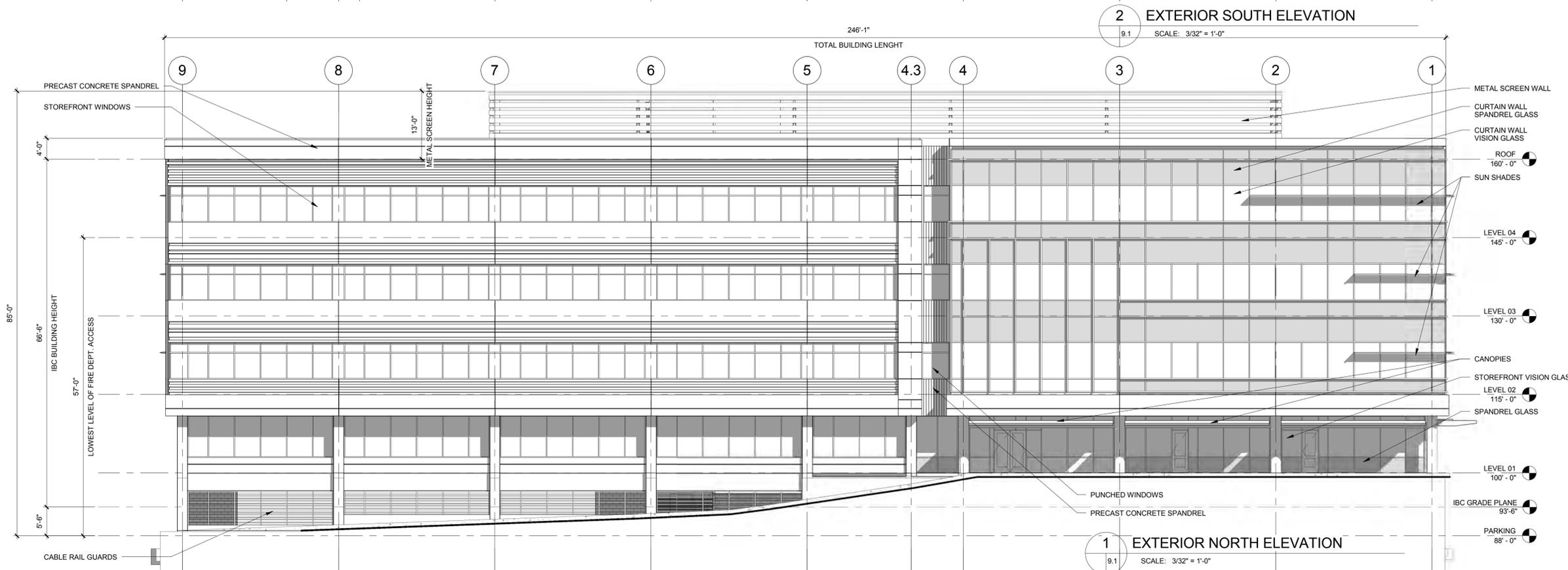
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Warning: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way. If an item in this document is altered, the altering architect, if other than the architect of record, shall affix to the item his seal and the notation "altered by" followed by his signature and the date of such alteration, and the specific description of the alteration.



**FINAL DEVELOPMENT PLAN**  
**163 INVERNESS**  
**INVERNESS SUBDIVISION FILING NO. 61**  
**163 INVERNESS DR W. ENGLEWOOD, CO 80112**

PER PLAT ON JULY 19, 2013 IN BOOK 437, PAGE 2, COUNTY OF ARAPAHOE, STATE OF COLORADO, AS RECEPTION NO. D3090591  
 LYING WITHIN THE NE 1/4 OF SECTION 34, TOWNSHIP 5 SOUTH, RANGE 67 WEST, OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO



CONSULTANT

**163 INVERNESS**  
 FINAL DEVELOPMENT PLAN  
 163 INVERNESS DR W, ENGLEWOOD, CO 80112

NO.	ISSUED FOR	DATE
1	FDP	2/12/2016
2	FDP	4/15/2016
3	FDP	6/22/2016
4	FDP	8/5/2016
5	FDP	8/24/2016

STAMP

DRAWING TITLE  
 EXTERIOR ELEVATIONS

PROJECT # 20150044

SHEET NUMBER

11/16/2016 12:25:41 AM  
 C:\Parent Projects\20150044\_INVERNESS\_A16\_EricZemanov.rvt

CASE NO. P16-008

Warning: It is a violation of the law for any person, unless acting under the direction of a licensed architect, to alter an item in any way. If an item in this document is altered, the altering architect, if other than the architect of record, shall affix to the item his seal and the notation "altered by" follows by his signature and the date of such alteration, and the specific description of the alteration.

ARAPAHOE COUNTY PLANNING COMMISSION  
PUBLIC HEARING  
September 6, 2016  
6:30 P.M.

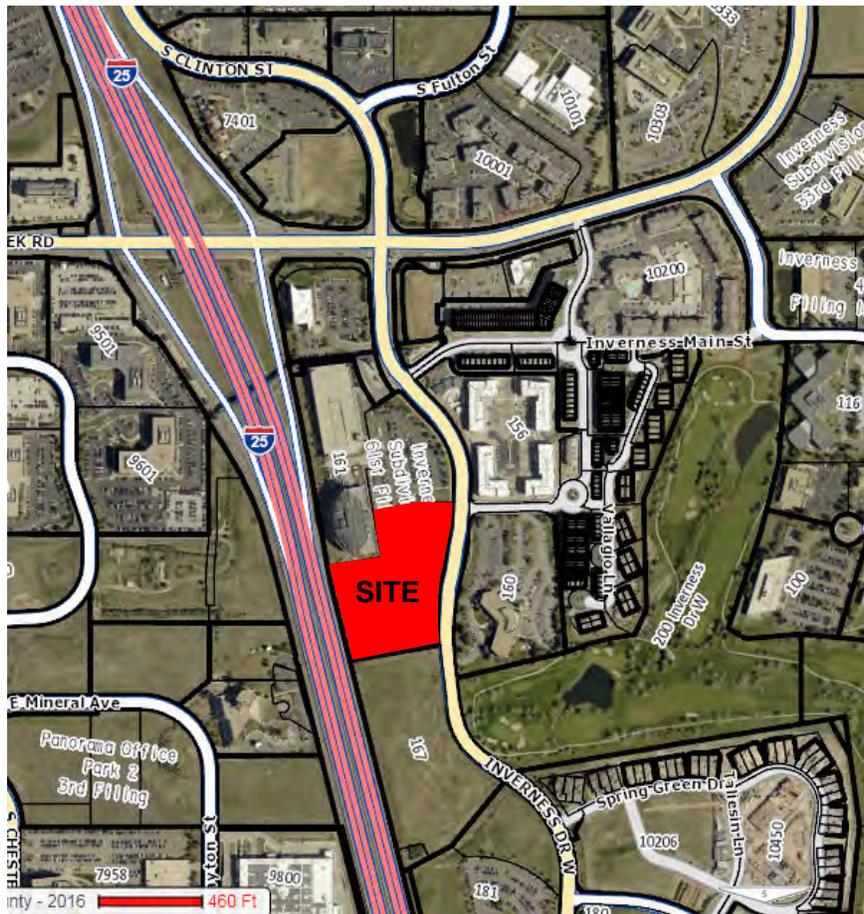
SUBJECT: P16-008 – 163 INVERNESS, LOT 2, FILING 61, FINAL DEVELOPMENT PLAN

MOLLY ORKILD-LARSON, SENIOR PLANNER

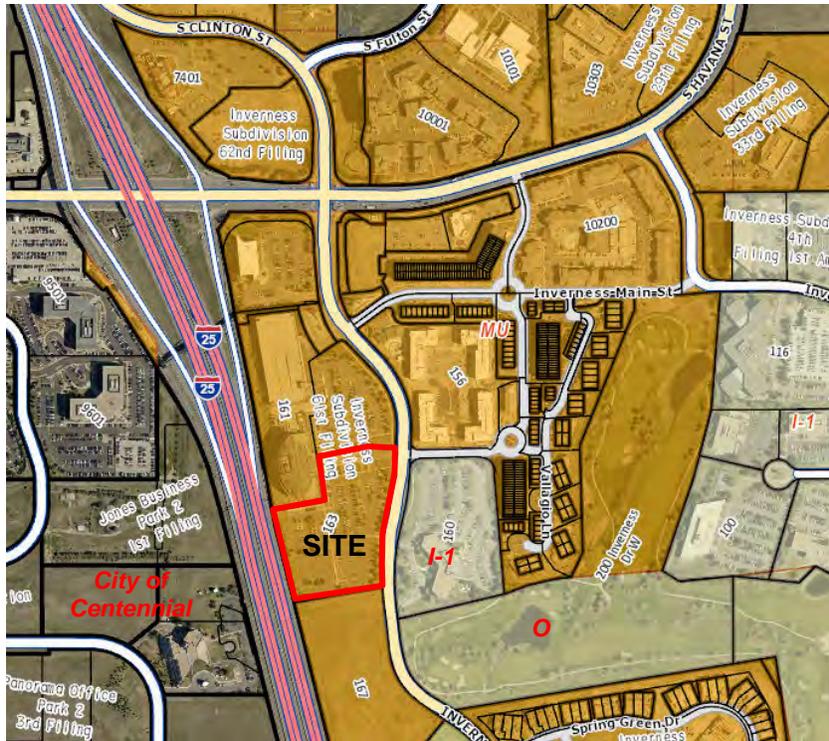
August 26, 2016

**LOCATION:**

163 Inverness is located off of Inverness Drive West and is south of the intersection of E. Dry Creek Road and Inverness Drive West. It is also situated in Commissioner District No. 2.



**Vicinity Map**



**Zoning Map**

**ADJACENT SUBDIVISIONS, ZONING, AND LAND USES:**

- North - Immediately north is the office building for DirectTV. The zoning is Mixed Use (MU).
- South - The parcel south of the subject site is vacant and is zoned MU.
- East - Across Inverness Drive West is an office building zoned I-1 and northeast of the subject site is the Vallagio multi-family development. This subdivision is zoned MU.
- West - Immediately west is Interstate 25 (I-25) and across I-25 and further west is commercial zoned land within the City of Centennial.

**PROPOSAL:**

This application proposes to develop Lot 2, Filing 61 of the Inverness Subdivision. The subject parcel is zoned MU.



office, various retail and service businesses, hotel/motels, storage or warehousing, day care/nursery school, auto sales and repair; manufacture, fabrication, and process or assembling of products, transit facility, research and development, etc. The proposed office use is a permitted land use in the approved Preliminary Development Plan.

The Inverness North Preliminary Development Plan has been amended numerous times including: increase in building height and floor area ratio, further definition of design and signage guidelines, addition of residential uses, clarification of parking, and floor plate restrictions and height restriction.

The Preliminary Development Plan (PDP) also allows a maximum of 320,000 square feet of General Office on Lot 2. This application proposes an office building with a gross square footage of 119,362. Other development requirements of the PDP and how the proposed development complies with these standards can be found on Sheet 1 of the plan set attached.

## II. DISCUSSION

Staff review of this application included a comparison of the proposal to: 1) applicable policies and goals outlined in the Comprehensive Plan; 2) review of pertinent zoning regulations; and 3) analysis of referral comments.

### 1. The Comprehensive Plan

The Arapahoe County Comprehensive Plan designates this site as “Employment”. Employment areas are to contain “workplace” uses such as research and development offices, major service and office center complexes, warehousing and light industrial uses and major educational facilities. The applicant’s proposal for an office building meets the direction provided by the Comprehensive Plan for Employment.

This application complies with the following Goals and Policies of the Comprehensive Plan as follows:

Policy GM 1.2 - Encourage Urban Development to Locate in Designated Growth Areas

*The applicant proposes to develop on a lot that is within the Growth Area.*

Goal GM 4 - Promote Compact Growth in the Urban Service Area

*The applicant is developing on a lot that will be served by existing public facilities.*

Goal EC 1 - Promote Employment and Commercial Development in Growth Areas

*The proposed development will promote more jobs and commercial development in the Growth Area.*

Policy T 1.1 – Promote an Efficient and Balanced Transportation System  
*This development is located within walking distance of a light rail station giving employees an alternative means of traveling to and from their work.*

2. Land Development Code (LDC) Review

Chapter 13-100, Planned Unit Development (P.U.D.) of the LDC, states that the P.U.D. process is intended to prevent the creation of a monotonous urban landscape by allowing for the mixture of uses, which might otherwise be considered non-compatible, through the establishment of flexible development standards, provided said standards:

- A. Recognize the limitations of existing and planned infrastructure, by thorough examination of the availability and capability of water, sewer, drainage, and transportation systems to serve present and future land uses.

*The existing and proposed infrastructure is adequate to support the proposed uses.*

*The Dry Creek Light Rail Station is north of the property and provides another mode of transportation for employees and public to travel to and from the site.*

- B. Assure compatibility between the proposed development, surrounding land uses, and the natural environment.

*The proposed land use appears to be compatible with the surrounding commercial uses and zoning.*

- C. Allow for the efficient and adequate provision of public services. Applicable public services include, but are not limited to, police, fire, school, parks, and libraries.

*The proposal can be served by existing public services.*

- D. Enhance convenience for the present and future residents of Arapahoe County by ensuring that appropriate supporting activities, such as employment, housing, leisure time, and retail centers are in close proximity to one another.

*The proposed office use will provide employment opportunities. When taken as a whole, the office development in the area has the potential to provide a substantive benefit to the surrounding commercial development (restaurants, retail stores, etc.).*

- E. Ensure that public health and safety is adequately protected against natural and man-made hazards, which include, but are not limited to, traffic noise, water pollution, airport hazards, and flooding.

*The proposed development generally protects against natural and man-made hazards.*

*Any objects on the property (including cranes used during construction) that penetrates a 100:1 slope from the nearest point of the nearest runway, penetrates the FAA Part 77 airspace surface, impede signals associated with navigational equipment, or any other reason FAA deems necessary, will require the filing and approval of FAA Form 7460-1. It is the opinion of the Arapahoe County Public Airport Authority (Centennial Airport) that the applicant will need to file Form 7460-1 for both the building and associated cranes. Staff will make a condition of approval that the applicant address the requests of this agency as specified in their referral letter.*

- F. Provide for accessibility within the proposed development and between the development and existing adjacent uses. Adequate on-site interior traffic circulation, public transit, pedestrian avenues, parking, and thoroughfare connections are all factors to be examined when determining the accessibility of a site.

*County staff, in unison with affected referral agencies, have evaluated the accessibility of the proposal and have determined it provides adequate, on-site circulation. The sidewalks that are part of the local street grid provide pedestrian access.*

*This development is required to provide 478 parking spaces; 480 are proposed, 279 on-site and 201 off-site. The lot (Lot 3) north and adjacent to the subject site contains 251 parking spaces; 50 of these spaces are allocated to Lot 1 but the remainder are to be used by Lot 2. This parking arrangement is possible since a multi-story parking structure is located on Lot 1, which may be used by their employees and visitors.*

*The applicant is working on a Cross Parking Agreement to enable Lot 2 to park on Lot 3. Staff proposes as a condition of approval that the applicant provide staff with a Cross Parking Agreement enabling Lot 2 to use the parking spaces on Lot 3. It will be the responsibility of the property owners of Lots 1, 2 and 3, or their management company, to manage parking across all properties long-term to ensure adequacy of parking for the uses on each lot.*

- G. Minimize disruption to existing physiographic features, including vegetation, streams, lakes, soil types and other relevant topographical elements.

*Some of the existing trees will be removed with the proposed site plan. However, new trees shall be planted to meet the landscape requirement. No other significant physiographic features exist on, or adjacent to, this site.*

- H. Ensure that the amenities provided adequately enhance the quality of life in the area, by creating a comfortable and aesthetically enjoyable environment through conventions, such as, the preservation of mountain views, the creation of landscaped open areas, and the establishment of recreational activities.

*Impacts to mountain views will be similar to those created by any of the wide variety of structures existing in the area.*

- I. Enhance the usable open spaces in Arapahoe County and provide sufficient unobstructed open spaces and recreational areas to accommodate a project's residents and employees.

*The proposed Final Development Plan meets the underlying Preliminary Development Plan requirement for 35% open space.*

*The applicant is proposing to substitute three one-gallon containers of plant species Oregon Grape Holly (Mahonia repens) and Purpleleaf Wintercreeper (Euonymus fortunei 'Coloratus') for one five-gallon shrub. This substitution ratio is used for ornamental grasses. Staff is agreeable to this suggested substitution ratio due to the dense growth habit of both species.*

### III. Referral Comments

Comments received during the referral process are as follows:

<b>Referral Agency</b>	<b>Comments</b>
Arapahoe County Engineering Services Division	Staff is working with the applicant to address all Engineering and SEMSWA comments.
Arapahoe County Building	Comments received indicate applicant will need to adhere to building code. This can be addressed at time of building permit.
Arapahoe County Mapping	Staff is working with the applicant to address all Mapping comments.
Arapahoe County Zoning	No comments.

Arapahoe County Assessor	No response received.
Arapahoe County Sheriff	No comments.
Arapahoe County Library District	No comments.
City of Centennial	No comments.
South Metro Fire Rescue District	Concerns about site access, hydrants and construction type issues. The applicant has addressed these concerns and the district now has no further comments. <i>Applicant has also discussed the revised entrance design with fire district and they have indicated they had no concerns.</i>
Inverness Metro Improvement District	Concerns regarding the addressing of the site. This can be addressed prior to the approval of the FDP. Agency indicates that the project will need to adhere to the Inverness Water and Sanitation District's requirements. <i>Applicant will work with County and district on addressing and acknowledge other district comments.</i>
Post Office Growth Coordinator	No response received.
Arapahoe County Recreation District	No response received.
Cherry Creek School District	No response received.
Tri-County Health Department	Comments provided include providing bike racks and good sidewalk connections to encourage physical activity. <i>The applicant is providing these amenities.</i>
West Arapahoe Conservation District	No response received.
CDOT	No comments.
E-470 Authority	All new development within one and one half of a mile on either side of E-470 centerline is subject to highway expansion fee and collected at building permit. <i>This property is located within one and one half miles of E-470 and therefore will have to pay this fee. A condition of approval will be made requiring this fee be paid.</i>
RTD	No response received.
Arapahoe County Public Airport Authority (Centennial Airport)	This agency indicates that an avigation easement has been executed for the property and to forward a copy of the recorded easement to them. Avigation easement needs to be included on the plans. It is this agency's opinion that a Form 7460-1 will be

	required for both the building and associated cranes. <i>Applicant acknowledges these requirements and filing the form(s) will be made a condition of approval.</i>
Century Link	No response received.
Xcel Energy	Xcel indicates that they own and operate existing electric Distribution facilities along I-25.
Cherry Creek Basin Water Quality Authority	The Authority takes no exception to this FDP submittal.
Southeast Metro Stormwater Authority (SEMSWA)	See comments under Arapahoe County Engineering.
Urban Drainage	No response received.
Inverness Water and Sanitation District	Will need to comply with this district's regulations and standards. <i>Applicant acknowledges district's comments.</i>

**IV. STAFF FINDINGS:**

Staff has visited the site and reviewed the plans, supporting documentation, referral comments, and citizen input in response to this application. Based on the review of applicable policies and goals, as set forth in the Comprehensive Plan, review of the development regulations, and analysis of referral comments, our findings include:

1. The proposed Final Development Plan appears to conform to the Arapahoe County Comprehensive Plan, with the lot being designated as "Employment."
2. The proposed Final Development Plan complies with the process outlined in Chapter 13-100, PUD of the Land Development Code. It is also consistent with the approved Preliminary Development Plan for the property.
3. The proposed Final Development Plan is consistent with development standards enumerated in the Arapahoe County Land Development Code with the exception of Section 12-1406.B.3. Landscape Requirements. Staff supports the applicant's plan to use the substitution ratio of three one-gallon Oregon Grape Holly (Mahonia repens) and three one-gallon Purpleleaf Wintercreeper (Euonymus fortunei 'Coloratus') for one five-gallon shrub.
4. The proposed Final Development Plan is consistent with development standards enumerated in the Arapahoe County Land Development Code with the exception of Section 12-200 Parking Standards. Staff supports the applicant's plan to

provide 279 parking spaces on Lot 2 and use 201 existing parking spaces on Lot 3, for a total of 480 parking spaces, which exceeds the required parking for this application, with the stipulation that the property owners of Lots 1, 2 and 3, or their management company, will be responsible for managing parking across all properties long-term to ensure adequacy of parking for the uses on each lot.

**V. RECOMMENDATION:**

Considering the findings and other information provided herein, staff recommends approval of Case No. P16-008, 163 Inverness, Lot 2, Filing 61 – Final Development Plan, subject to the following conditions:

1. Prior to signature of the final mylar copy of these plans, the applicant agrees to address the Planning Division, Mapping Division, Engineering Services Division and Southeast Metro Stormwater Authority comments and concerns, as outlined in their plans and reports.
2. The applicant shall file Form 7460-1 for both the building and associated cranes as required by the Arapahoe County Public Airport Authority (Centennial Airport).
3. The applicant shall provide staff with a Cross Parking Agreement that allows Lot 2 to use 201 existing parking spaces on Lot 3 in order to meet the Land Development Code requirements for a building of the size and use proposed for Lot 2. This agreement shall be recorded with the Arapahoe County Office of the Clerk and Recorder prior to Arapahoe County signing the Final Development Plan. This agreement shall be a permanent agreement that will run with the land and secure the use of the parking rights for Lot 2 for the duration of the office building's operation. Property owners for properties currently shown as Lots 1, 2 and 3, or any management company acting on the owners' behalf, will be responsible for managing parking across all properties long-term to ensure adequacy of parking for the uses on each lot.
4. The applicant shall pay the highway expansion fee for E-470 at the time of building permit as required by the E-470 Authority.
5. All signs shall meet Arapahoe County, Inverness Metro Improvement District, and Colorado Department of Transportation's regulations.

**VI. DRAFT MOTIONS:**

APPROVAL WITH CONDITIONS: In the case of P16-008, 163 Inverness, Lot 2, Filing 61, Final Development Plan, the Planning Commission have read the staff report and received testimony at the public hearing. We find ourselves in agreement with staff findings including all plans and attachments as set forth in the staff report dated

August 26, 2016, and recommend approval of this application, subject to the following conditions:

1. Prior to signature of the final mylar copy of these plans, the applicant agrees to address the Planning Division, Mapping Division, Engineering Services Division and Southeast Metro Stormwater Authority's comments and concerns, as outlined in their plans and reports.
2. The applicant shall file Form 7460-1 for both the building and associated cranes as required by the Arapahoe County Public Airport Authority (Centennial Airport).
3. The applicant shall provide staff with a Cross Parking Agreement that allows Lot 2 to use 201 existing parking spaces on Lot 3 in order to meet the Land Development Code requirements for a building of the size and use proposed for Lot 2. This agreement shall be recorded with the Arapahoe County Office of the Clerk and Recorder prior to Arapahoe County signing the Final Development Plan. This agreement shall be a permanent agreement that will run with the land and secure the use of the parking rights for Lot 2 for the duration of the office building's operation. Property owners for properties currently shown as Lots 1, 2 and 3, or any management company acting on the owners' behalf, will be responsible for managing parking across all properties long-term to ensure adequacy of parking for the uses on each lot.
4. The applicant shall pay the highway expansion fee for E-470 at the time of building permit as required by the E-470 Authority.
5. All signs shall meet Arapahoe County, Inverness Metro Improvement District, and Colorado Department of Transportation's regulations.

Alternate Motions:

*Any alternate motion must include new findings and conditions where those differ from the Staff-recommended findings and conditions.*

DENIAL: In the case of P16-008, 163 Inverness, Lot 2, Filing 61, Final Development Plan, we have read the staff report dated August 26, 2016, and received testimony at the public hearing. We recommend denial of this case, based on the following findings:

1. State new or amended findings to support PC recommendation of "Denial."
2. ....

CONTINUE: In the case of P16-008, 163 Inverness, Lot 2, Filing 61, Final Development Plan, I move to continue the decision on this request to [DATE], 2016, date certain, at 6:30 p.m., at this same location [to receive further information] [to further consider information presented during the hearing].

Attachments:

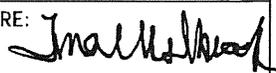
Application & Exhibits  
Engineering Staff Report  
Referral Comments



**Public Works and Development**  
 6924 S. Lima Street  
 Centennial, Colorado 80112  
 Phone: 720-874-6650  
 www.arapahoegov.com

**Land Development Application**  
 Form must be complete

Land Development Application materials received after 2pm shall be date stamped received the following working day.

<b>APPLICANT/REPRESENTATIVE:</b> Tina Lashbrook	<b>ADDRESS:</b> 1225 17th Street, Suite 3050 Denver, CO 80202  <b>PHONE:</b> 303-628-1738 <b>FAX:</b> - <b>EMAIL:</b> tlashbrook@trammellcrow.com	<b>SIGNATURE:</b>  <b>NAME:</b> Tina Lashbrook <b>TITLE:</b> Senior Project Manager
<b>OWNER(S) OF RECORD:</b> Artis Reit	<b>ADDRESS:</b> 360 Main Street - Suite 300 Winnipeg, MB R3C 3Z3  <b>PHONE:</b> - <b>FAX:</b> - <b>EMAIL:</b> -	<b>SIGNATURE:</b>  <b>NAME:</b>  <b>TITLE:</b>
<b>ENGINEERING FIRM:</b> Kimley-Horn	<b>ADDRESS:</b> 4582 S Ulster Street, Suite 1500 Denver, CO 80237  <b>PHONE:</b> (303) 228-2300 <b>FAX:</b> <b>EMAIL:</b> randall.phelps@kimley-horn.com	<b>CONTACT PERSON:</b>  Randall Phelps

Pre-Submittal Case Number: \_\_\_\_\_ Pre-Submittal Planner: **Bill Skinner** Pre-Submittal Engineer: \_\_\_\_\_

Parcel ID no. (AIN no.)	035066509
Parcel Address or Cross Streets:	163 Inverness Dr W
Subdivision Name & Filing No.:	Inverness Subdivision Filing No. 61
Related Case Numbers: (Preliminary/Final Development Plan, Rezoning, and / or Plat)	PDP: Case No. Z14-002

	EXISTING	PROPOSED
Zoning:	MU	MU
Case/Project/Subdivision Name:	Inverness Subdivision Filing No. 61	Inverness Subdivision Filing No. 61
Site Area (Acres):	6.322	6.322
Floor Area Ratio (FAR):	0	0.437
Density (Dwelling Units/Acre):	0	N/A
Building Square Footage:	0	120,300
Disturbed Area (Acres):		3.40

**CASE TYPE (Administrative Case types are shaded in Gray)**

<input type="checkbox"/> Preliminary Development Plan or Major Amendment <input type="checkbox"/>	<input type="checkbox"/> Location & Extent or Major Amendment <input type="checkbox"/>	<input type="checkbox"/> Administrative Site Plan	<input type="checkbox"/> Preliminary Plat
<input type="checkbox"/> Master Development Plan or Major Amendment <input type="checkbox"/>	<input type="checkbox"/> Rezoning - Conventional	<input type="checkbox"/> Administrative Amendment to (PDP, FDP, etc.)	<input type="checkbox"/> Final Plat
<input type="checkbox"/> Final Development Plan or Major Amendment <input type="checkbox"/>	<input type="checkbox"/> Land Development Code Amendment	<input checked="" type="checkbox"/> Technical Amendment to A06-008 (PDP, FDP, etc.)	<input type="checkbox"/> Minor Subdivision
<input type="checkbox"/> Planned Sign Program or Major Amendment <input type="checkbox"/>	<input type="checkbox"/> Use by Special Review or Major Amendment <input type="checkbox"/>	<input type="checkbox"/> Commercial Mobile Radio Service (CMRS/cellular antennas)	<input type="checkbox"/> Subdivision Exemption
<input type="checkbox"/> Vacation of Right of Way/Easement/Plat	<input type="checkbox"/> Use by Special Review - Oil and Gas	<input type="checkbox"/> Plat Correction	<input type="checkbox"/> Replat (Major)
<input type="checkbox"/> 1041 - Areas & Activities of State Interest - Use by Special Review <input type="checkbox"/>	<input type="checkbox"/> Special District Title 30 <input type="checkbox"/> Title 32 <input type="checkbox"/>	<input type="checkbox"/> Administrative Oil & Gas Use by Special Review (AOGUSR)	<input type="checkbox"/> Administrative Replat
<input type="checkbox"/> Comprehensive Plan	<input type="checkbox"/> Rural Cluster	<input type="checkbox"/> Street Name Change	<input type="checkbox"/> _____

**THIS SECTION FOR OFFICE USE ONLY**

Case No:	Planning Manager:	Engineering Manager:
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Planning Fee:	Y	N	\$	Engineering Fee:	Y	N	\$	TCHD Fee? <input type="checkbox"/>	\$
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This application shall be submitted with all applicable application fees. Submittal of this application does not establish a vested property right in accordance with C.R.S. 24-68-105(1). Processing and review of this application may require the submittal of additional information, subsequent reviews, and/or meetings, as outlined in the Arapahoe County Land Development Code.

# Trammell Crow Company

February 10, 2016

Arapahoe County Public Works & Development  
Planning Division  
6924 S. Lima Street  
Centennial, CO 80112

RE: 163 Inverness, Final Development Plan Concept Review

Dear Public Works & Development

Our firm, Trammell Crow Company, on behalf of the property owner, Artis REIT, is proposing a project within unincorporated Arapahoe County. The project is located at 163 Inverness Drive West, Englewood, Colorado 80112, Lot 2, Inverness subdivision filing No. 61, per Plat on July 19, 2013 in book 437, page 2, county of Arapahoe, State of Colorado, as reception No. D3090591. The parcel number is 035066509 (AIN: 2075-34-1-45-002). This project includes 6.322 acres (275,386 square feet) and is currently zoned MU.

The project is part of a cohesive plan by the owner to develop the entire site surrounding the DirectTV regional headquarters in a holistic manner. This will be accomplished by integrating the existing office building, parking garage and surface parking lot with prospective new development which is market driven.

The proposed development on Lot 2 includes a +/- 120,000 GSF four-story office building with +/- 30,000 GSF floor plates, a single level of below-building parking, an enhanced outdoor amenities area and provisions for a market driven parking ratio of 4 per 1000 SF. The parking is provided by 218 spaces on the adjacent Lot 3, to be covered by a parking agreement, 128 existing spaces to remain and 156 spaces (including 57 under the building) proposed by the project.

We look forward to your review of this project.

Sincerely,



Tina M. Lashbrook  
Senior Project Manager



## Planning Commission Summary Report

**Date:** August 8, 2016 *SMS*

**To:** Arapahoe County Planning Commission

**Through:** Molly Orkild-Larson  
Planning Division, Case Planner

**Through:** Chuck Haskins, PE  
Engineering Services Division, Manager

**From:** Spencer M. Smith, PE  
Engineering Services Division, Case Engineer

**Case name:** P16-008 – Lot 2, Inverness Subdivision Filing No. 61  
163 Inverness - Final Development Plan (FDP)

### Purpose and Recommendation

The purpose of this report is to communicate the Engineering Staff findings, comments, and recommendations regarding the land use application identified above.

### Engineering Staff has reviewed the land use application and has the following findings:

1. Access
  - a. Primary access to the site will be via an existing drive access on Inverness Drive West. A full movement access was approved by the County's Technical Review Committee. The site may also be accessed via an existing drive access to the north, across from Inverness Blvd. The traffic impact study for the project indicated several roadway improvements for Inverness Drive West that would be triggered by the development of the 163 Inverness site. These were improvements based on the assumption of a full movement access. The improvements include:
    - i. Installation of a traffic signal at the Inverness Boulevard and Inverness Drive West intersection. This intersection was previously studied and identified for signalization. A traffic signal escrow agreement (TSEA) was in place with previous owners. A new TSEA will be executed with the 163 Inverness developer and is currently being drafted by Engineering Services Division staff.
    - ii. Incorporating a left turn lane in the existing primary site access for outbound traffic. This is an ultimate condition that will be necessary when full turn lanes are constructed on

Inverness Drive West. The primary site access will be restricted to a right-in, right-out movement as an interim condition, until the Inverness Drive West improvements are completed.

- iii. Separate northbound and southbound left turn lanes on Inverness Drive West at the primary site access.
- iv. Lengthening of dual northbound left turn lanes at Dry Creek Road and Inverness Drive West intersection. This improvement was identified because the traffic impact study for 163 Inverness evaluated the corridor from this intersection to south of the 163 Inverness site. This improvement is not considered part of the scope of the 163 Inverness project. The study also identified the need for lengthening of the eastbound dual left turns at the Dry Creek Road and Inverness Drive West intersection in 2035. It was recommended that the County monitor these turn lane queues to determine when the lanes should be lengthened.

As mentioned above, the current intersection improvements to the primary site access will be to install a “porkchop” island to restrict access to right-in, right-out. Once the identified left turn lanes are constructed in the future, the island may be removed and the access restriped to incorporate the outbound left turn lane.

## 2. Drainage

- a. The site is located in the Lower Cottonwood Creek Drainage Basin. The site is tributary to the Inverness Tributary C and Inverness Tributary C Water Quality Pond (Pond C). Pond C discharge is conveyed to Cottonwood Creek via a drainageway. Stormwater detention and Water Quality Control Volume is provided in Pond C.
- b. This site is required to meet the “20/10 Rule for water quality. On-site water quality enhancements are proposed and include: a grass water quality swale and pervious pavers.
- c. Site runoff is discharged to an existing storm sewer stub on site, that conveys flows to Tributary C.

**Engineering Staff is recommending the land use application favorably subject to the following conditions:**

1. Applicant addresses all Arapahoe County Engineering Services Division comments.
2. Applicant obtains all necessary approvals and permits.
3. Applicant enters into an SIA and provides collateral to the County for all public improvements associated with the project.
4. Applicant enters into a TSEA and provides the necessary collateral for the traffic signal improvements.
5. Applicant enters into a License Agreement for connection of underdrains to storm sewer system.

Building  
720-874-6600

Engineering Services  
720-874-6500

Support Services  
720-874-6500

Transportation  
720-874-6500

Planning  
720-874-6650

Road and Bridge  
720-874-6820



August 8, 2016

Molly Orkild-Larson  
Arapahoe County  
6924 South Lima Street  
Centennial, CO 80112

**RE: 163 Inverness**  
**County Case No. P16-008**  
**SEMSWA Case No. DPR16-00016**

Dear Ms. Orkild-Larson:

Thank you for the comments received July 28, 2016 for the above-mentioned project. In an effort to address your comments concisely and simplify your review of the utility plans, we have summarized your comments and our responses below.

#### **COMMENT RESPONSE LETTER: FDP REVIEW**

##### **Planning**

1. Sheet 4 – Grading and Utility Plan
  1. In reference to the new sound wall on site. “This is new. A detail is needed for the wall”
    - *Response: A detail has been provided on sheet 6*
2. Sheet 5 – Landscape Plan
  1. See redlines.
    - *Response: Notes and labels have been revised according to the comments. The plant and parking tabulations have been updated.*
3. Sheet 7 – Lighting Plan
  1. Screen Back Grading contours and turn arrows.
    - *Response: The contours have been removed per Spencer Smith’s recommendation. The turn arrows have been updated and screened.*
4. Sheet 8 – Exterior Elevations
  1. Need detail for sound wall.
    - *Response: The detail for the sound wall has been provided on sheet 6.*

## Mapping Comments

1. Sheet 1 – Cover Sheet
  1. Remove the note “all other original terms, conditions, and notes of the preliminary development plan approved on 12/09/14 will remain in full force and effect as previously executed by owner and Arapahoe county.”
    - *Response: This note has been removed from the plans.*
  2. Under drainage liability, “Neither name is not the owner per title report I have.”
    - *Response: The owner according to the title report issued on March 3, 2016 is AX Inverness West L.P., a Delaware limited partnership. This has been added to the cover sheet. A copy of the title report has been provided to the County with this letter. Please note that the Owner/Developer Contact is still Trammell Crow as they are the point of contact for the particular owner.*
2. Sheets 2-4 – In regards to the 20’ drainage easement and sight triangles.
  - *Response: These easements and sight triangles are proposed. The lineweight has been darkened to indicate this. Easement exhibits and legal descriptions are being developed and will be available by the Public Hearing date.*

## Engineering Comments:

1. Sheet 1 – Cover Sheet
  - Prior to final approval of the plans the applicant must:
    - i. Address all remaining engineering and SEMSWA comments on the FDP and Engineering Plans and Documents
      - *Response: Noted.*
    - ii. Finalize design of the access configuration, signing, striping, etc. to Inverness Drive West.
      - *Response: Per conversation with Spencer Smith on Wednesday August 5<sup>th</sup>, 2016, the access configuration is acceptable as proposed per these plans for the FDP. Minor adjustments may be made to the engineering documents.*
    - iii. Enter into a Traffic Signal Escrow Agreement
      - *Response: Awaiting draft from Arapahoe County*
    - iv. Enter into an SIA
      - *Response: Awaiting draft from Arapahoe County*
    - v. Enter into a license agreement for the roof drain storm sewer connections.
      - *Response: Awaiting further action from Arapahoe County.*

2. Sheet 2 - RIRO splitter island configuration may adjust during final design on construction drawings. applicant will have to revise this fdp prior to final approval.
  - *Response: Per conversation with Spencer Smith on Wednesday August 5<sup>th</sup>, the access configuration is acceptable as proposed per these plans for the FDP. Minor adjustments may be made to the engineering documents.*
  
3. Sheet 5 - This plan needs to be revised to show most current site plan.
  - *Response: The plan has been updated to reflect.*
  
4. Sheet 7 - Generally, lighting plans don't include grading and flow arrows. confirm with planning division whether they should be shown on this plan or not.
  - *Response: The contours and flow arrows have been turned off per Engineering's recommendation.*

Thank you for the opportunity to provide comment responses for this submittal Please contact me at (303) 897-6308 or [canaan.reeverts@kimley-horn.com](mailto:canaan.reeverts@kimley-horn.com) should you have any questions.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Canaan Reeverts, EIT  
Project Engineer



July 29, 2016

Molly Orkild-Larson  
Spencer Smith  
Arapahoe County  
6924 South Lima Street  
Centennial, CO 80112

**RE: 163 Inverness**  
**County Case No. P16-008**  
**SEMSWA Case No. DPR16-00016**

Dear Ms. Orkild-Larson:

Thank you for the comments dated May 23, 2016 for the above-mentioned project. In an effort to address your comments concisely and simplify your review of the Final Development Plan, we have summarized your comments and our responses below. Please note that this letter is intended to serve as a response to all referral comments.

#### **COMMENT RESPONSE LETTER: FDP REVIEW**

##### **Inverness Water and Sanitation District and Inverness Metropolitan Improvement District**

1. IMID recognizes potential addressing issues as buildings are added in this area. 161, to the north, is existing and 167 is the address of the vacant ground to the south. This project is proposed to be 163. That leaves only 165 as an additional address, and it is our understanding that several buildings are proposed in the future. IMID would be happy to work with the Applicant and the County to develop addressing that is consistent with the Inverness Park standards.
  - *Response: Thank you. The working title of the project is 163 Inverness. Kimley-Horn will work with the County and the Inverness Metro District to determine an appropriate address for the project.*
2. The subject area is within the Inverness Water and Sanitation District (IWSD). The developer will be required to comply with all the IWSD Rules and Regulations, including the Water Conservations Plan.
  - *Response: Acknowledged.*
3. For each building seeking a service connection the developer is required to complete an Application for the Water and Sewer Tap on the IWSD standard form, Appendix B, in the Rules and Regulations.
  - *Response: Acknowledged.*
4. Final Construction Plans for the water, sanitary sewer and irrigation facilities proposed will need to be reviewed and approved by the IWSD prior to issuance of Tap Permits.
  - *Response: Acknowledged. These plans are currently under review with the IWSD.*

5. District Tap and Development fees are applicable to the proposed development. Fees are payable to the Inverness Water and Sanitation District in accordance with the current schedule prior to the commencement of any work.
  - *Response: Acknowledged.*

## **Cherry Creek Basin Water Quality Authority**

1. Control Regulation No. 72 requires that all new development provide construction Best Management Practices (BMPs) and post-construction BMPs for any Tier 3 land disturbance greater than one acre which results in more than 5,000 square feet of new or increased imperviousness. From the submitted documents, it appears the Project will increase imperviousness by more than 5,000 square feet and disturb more than 1 acre, such that the Project is classified as a Tier 3 development. Tier 3 development requires construction BMPs and post construction BMPs “that provide WQCV designed to capture and treat, at a minimum, the 80<sup>th</sup> percentile runoff event...” for the increase imperviousness area.

- An Erosion and Sediment Control Plan describing proposed construction BMPs for land disturbance is required. It is anticipated this will be submitted with the final design project submittal.

- Post construction BMPs are required for this site. Based on the Phase III Drainage Report, water quality and detention is provided in the Inverness Tributary Pond C, meeting the Authority's requirements for water quality.

- *Response: The development is not increasing the impervious area by more than 5,000 square feet. The development is decreasing the site's impervious area. Therefore, it is our understanding that “Tier 3” post construction BMPs are not required. However, Kimley-Horn is providing post construction BMPs that satisfy Arapahoe County and SEMSWA's requirements as stated in the Arapahoe County Stormwater Management Manual 14.2.2.1. A Grading, Erosion and Sediment Control Plan is being provided with construction documents.*

## **E-470 Public Highway Authority**

1. All new development within one and one-half mile on either side of the E-470 centerline is subject to highway expansion fees.
  - *Response: Acknowledged.*

## **Xcel Energy**

1. Please be aware PSCo owns and operates existing electric distribution facilities along Interstate 25 and requires that the facilities – and the easement recorded at Rec No. 2618307, Book 4640, Page 215 in Arapahoe County on January 6, 1986 – be shown on the plans.
  - *Response: The easement has been noted on the plans with keynote 13.*

**Referral Agency that provided a review with no comments**

- Tri County Health Department
- Arapahoe Library District
- CDOT
- City of Centennial
- South Metro Fire Rescue
- Sherriff/Arapahoe County
- Zoning/Arapahoe County
  - *Response: No Action Required.*

Thank you for the opportunity to provide comment responses for this submittal Please contact me at (303) 897-6308 or [canaan.reeverts@kimley-horn.com](mailto:canaan.reeverts@kimley-horn.com) should you have any questions.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Canaan Reeverts, EIT  
Project Engineer



CENTENNIAL AIRPORT  
ARAPAHOE COUNTY PUBLIC AIRPORT AUTHORITY

7800 South Peoria Street, Unit G1  
Englewood, Colorado 80112  
main: 303.790.0598  
fax: 303.790.2129  
www.centennialairport.com

July 28, 2016

Ms. Molly Orkild-Larson  
Arapahoe County Public Works and Development  
6924 S. Lima Street  
Centennial, CO 80112-3853

Re: P16-008; 163 INVERNESS #61

Dear Ms. Orkild-Larson,

Thank you for the opportunity to review the Final Development Plan for 163 Inverness #61. We have the following comments to make on the project:

- The proposed development lies within the Buffer Zone (BZ) of the Airport Influence Area (AIA), and will be subjected to numerous aircraft overflights and their associated effects. These effects include, but are not limited to: noise, smoke, dust, fumes and vibrations. **Acknowledged**
- It would appear that an avigation easement has been executed for the property. Please forward a copy of the recorded easement to our office. **A copy of the easement will be sent to the Centennial Airport office**
- Book and page number of the avigation easement must be included on all plats and plans. **Acknowledged**
- Any objects on the site (including cranes used during construction) that penetrate a 100:1 slope from the nearest point of the nearest runway, penetrates the FAA Part 77 airspace surface, impede signals associated with navigational equipment or any other reason the FAA deems necessary will require the filing and approval of FAA Form 7460-1. This form may take 90 days or more for approval. Please visit <https://oeaaa.faa.gov> to utilize the notice criteria tool to confirm filing requirements and to file the FAA Form 7460-1. **Please note that this is a State and Federal regulatory requirement. Our calculations show that a Form 7460-1 will be required for both the building and associated cranes.** In addition, please have crane operators advise the airport prior to erecting any cranes. **Acknowledged**
- A 7-day noise test is recommended. **Acknowledged**
- Please include the Airport on the vicinity map. **The vicinity map now includes the airport.**

Please feel free to call me if you have any questions.

Sincerely,

Mike Fronapfel  
Director of Planning and Development

# Kimley»Horn

June 23, 2016

Molly Orkild-Larson  
Spencer Smith  
Arapahoe County  
6924 South Lima Street  
Centennial, CO 80112

**RE:    163 Inverness**  
      **SEMSWA Case No. DPR16-00016**  
      **County Case No. P16-008**  
      **Project No. 096453000**

Dear Ms. Orkild-Larson:

Thank you for the comments dated May 23, 2016 for the above-mentioned project. In an effort to address your comments concisely and simplify your review of the utility plans, we have summarized your comments and our responses below.

## **COMMENT RESPONSE LETTER: FDP REVIEW**

### **Planning**

1. Sheet 1 – Cover Sheet
  1. Remove “note” from Airport Influence Area.
    - *Response: The word “note” has been removed from the Airport Influence Area*
2. Sheet 2 – Overall Site Plan
  1. See redlines to parking charts.
    - *Response: The parking charts have been updated to reflect the call made with Molly Orkild-Larson on June 2, 2016*
3. Sheet 3 – Site Plan
  1. See comments under “Notes”.
    - *Response: The notes have been updated to reflect the comments made*
4. Sheet 4 – Grading and Utility Plan
  1. No comments.
    - *Response: Noted.*

5. Sheet 5 – Landscape Plan
  1. See comments under “Legend” and “Planting Tabulations”. Please note, as per the County’s regulations that the ground covers can’t be counted towards an equivalent to a 5 gallon shrub. If you wish to request a waiver from this requirement please provide me with a letter stating what you wish to do and provide reasoning why this proposal is justified. This letter would be presented to the Planning Commission and Board of County Commissioners.
    - *Response: Drawings have been revised to respond to County Comments.*
      - *Groundcovers have been reclassified as Shrubs and additional notations have been added in response to this.*
      - *Notes regarding sprinkler heads in water quality swale have been added.*
      - *Proposed grading contours have been added per request.*
      - *Sod has been added to the water quality swale to comply with design calcs.*
      - *Shrub planting have been added to the legend.*
  
6. Sheet 6 – Landscape Details
  1. No comments.
    - *Response: Noted.*
  
7. Sheet 7 – Lighting Plan
  1. Make sure text that is added is legible.
    - *Response: Text has been enlarged.*
  2. The new lighting doesn’t meet the 0.3 foot candles requirement along the ROW. Please revise.
    - *Response: Lighting has been revised at ROW.*
  3. One light doesn’t adhere to Section 12-1303.6, please fix.
    - *Response: Light now meets the requirements as discussed with the county.*
  
8. Sheet 8 – Exterior Elevations
  1. No comments.
    - *Response: Noted.*
  
9. Sheet 9 – Exterior Elevations
  1. No comments.
    - *Response: Noted.*

## Engineering Comments General Comments

1. Engineering Review Fees for the FDP (\$5,000), Ph III Drainage Report (\$500) and Traffic Impact Study (\$500) were paid with Ph I submittal. Engineering Review Fees for the Construction Documents (\$1,500) were paid with Ph II submittal. A \$500 SIA fee will be required once the SIA is prepared for this project.
  - *Response: Noted.*
2. Additional coordination is needed between the County, Inverness Metro District, Kimley Horn and the applicant to discuss Inverness Drive West signal location/timing and costs and other roadway improvements, etc.
  - *Response: Per conversation with Spencer Smith on 6/2/16 this comment was made for our informational purposes only. No additional changes are required to our plans reflecting the work to be handled by Inverness Metro District.*
3. A Traffic Signal Escrow Agreement will be necessary if it is determined that the proposed traffic signal will not be installed with this project.
  - *Response: Noted.*
4. Applicant will need to enter into a Subdivision Improvement Agreement (SIA) for all public improvements associated with the project. The County will prepare a draft of the agreement after the Ph II review is completed.
  - *Response: Noted.*
5. A pavement design report will need to be submitted for the proposed improvements to Inverness Drive West, prior to paving those improvements.
  - *Response: Noted.*
6. REPEAT: All plans and reports should be referencing the same (correct) project name as it is shown on the FDP. If applicant wants to use the project common name (163 Inverness) on other plans or reports, they should give the full project name on the cover and put the common name in parentheses along with it.
  - *Response: Per email and phone conversation with Molly Orkild-Larson on June 2, the title used "163 Inverness" is OK.*

## Final Development Plan Comments:

7. Striping and symbols need to be shown for the access to Inverness Drive West. Lanes need to be delineated per the Traffic Impact Study. Please add to all plans as applicable.
  - *Response: Roadway striping and symbols have been added to the plans*
8. There are a few utility and landscaping conflicts to correct.
  - *Response: Utility and Landscaping conflicts have been corrected*

9. It's a bit confusing what is being proposed for the existing trees on site. One plan shows tree protection for all of them, but you are proposing to remove quite a few. Don't show trees that are being removed, on proposed site plan sheets.
  - *Response: All trees on the plans are protected. The trees that are being removed are not shown. Refer to the Construction Documents for the demolition plan.*
10. See redlines for any other comments.
  - *Response: All other redlines have been addressed.*

### **Phase III Drainage Report Comments:**

11. See redlines for comments.
  - *Response: All Drainage report redlines have been addressed*

### **Traffic Impact Study Comments:**

12. The Traffic Impact Study is being reviewed by County staff and will be discussed at an upcoming Technical Review Committee meeting. At that time, a decision will be made as to which intersection to signalize. More discussion needs to take place between the County, the applicant and the Inverness Metro District to determine how the Inverness Drive West improvements will be handled.
  - *Response: Noted.*

Thank you for the opportunity to provide comment responses for this submittal Please contact me at (303) 897-6308 or [canaan.reeverts@kimley-horn.com](mailto:canaan.reeverts@kimley-horn.com) should you have any questions.

Sincerely,

KIMLEY-HORN AND ASSOCIATES, INC.



Canaan Reeverts, EIT  
Project Engineer



**ARAPAHOE COUNTY**  
PROTECT. CONNECT. ENJOY.

**Planning Comments**  
163 Inverness  
Final Development Plan – Phase I  
May 23, 2016

**Sheet 1 – Cover Sheet**

1. Remove “note” from Airport Influence Area.

**Sheet 2 – Overall Site Plan**

1. See redlines to parking charts.

**Sheet 3 – Site Plan**

1. See comments under “Notes”.

**Sheet 4 – Grading and Utility Plan**

1. No comments.

**Sheet 5 – Landscape Plan**

1. See comments under “Legend” and “Planting Tabulations”. Please note, as per the County’s regulations that the ground covers can’t be counted towards an equivalent to a 5 gallon shrub. If you wish to request a waiver from this requirement please provide me with a letter stating what you wish to do and provide reasoning why this proposal is justified. This letter would be presented to the Planning Commission and Board of County Commissioners.

**Sheet 6 – Landscape Details**

1. No comments.

**Sheet 7 – Lighting Plan**

1. Make sure text that is added is legible.
2. The new lighting doesn’t meet the 0.3 foot candles requirement along the ROW. Please revise.
3. One light doesn’t adhere to Section 12-1303.6, please fix.

**Sheet 8 – Exterior Elevations**

1. No comments.

**Sheet 9 – Exterior Elevations**

1. No comments.



**Public Works and Development**

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

www.co.arapahoe.co.us

**Planning Division**

*Referral Routing*

<b>Case Number / Case Name:</b>	<b>P16-008, 163 Inverness #61, 163 Inverness Dr. W / FDP</b>
<b>Planner:</b>	<b>Molly Orkild-Larson</b>
<b>Engineer:</b>	<b>Spencer Smith</b>
<b>Date sent:</b>	<b>April 21, 2016</b>
<b>Date to be returned:</b>	<b>May 23, 2016</b>

Arapahoe County Agencies			Citizen's Organizations		
<input type="checkbox"/>	Assessor / Arapahoe County (Residential)	Beverly Reynolds	<input type="checkbox"/>	CCNA-Cherry Creek Neighborhoods Ass.	
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/>	CECON-(Within Centennial)	
<input checked="" type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/>	Four Square Mile Neighborhood	
<input checked="" type="checkbox"/>	Engineering / Arapahoe County	Spencer Smith	<input type="checkbox"/>	South Metro Chamber of Commerce	
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	<b>Conservation District</b>		
<input type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	<input type="checkbox"/>	Deer Trail Conservation District	
<input type="checkbox"/>	Open Space / Arapahoe County	Raymond Winn	<input checked="" type="checkbox"/>	West Arapahoe Conservation District	Tasha Chevarria
<input checked="" type="checkbox"/>	Planning / Arapahoe County	Molly Orkild-Larson	<b>Transportation</b>		
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	<input checked="" type="checkbox"/>	CDOT / State Highway Dept- Region 1	Rick Solomon
<input type="checkbox"/>	Weed Control / Arapahoe County	Russell Johnson	<input checked="" type="checkbox"/>	E-470 Authority	Peggy Davenport
<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input checked="" type="checkbox"/>	RTD	Chris Quinn
<b>Referral Agencies</b>			<input checked="" type="checkbox"/>	Arapahoe County Public Airport Authority	Michael Fronapfel
<input type="checkbox"/>	Architectural Review Committee		<b>Utilities: Gas, Electric &amp; Phone</b>		
<input checked="" type="checkbox"/>	Arapahoe Library District	Janel Maccarrone	<input checked="" type="checkbox"/>	Centurylink/Phone	Charles Place
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input type="checkbox"/>	Conoco Phillips / Gas Pipeline	
<input checked="" type="checkbox"/>	City / Town – City of Centennial		<input checked="" type="checkbox"/>	XCEL	Donna George
<input type="checkbox"/>	Colorado Parks and Wildlife	Travis Harris	<input type="checkbox"/>	IREA	Brooks Kaufman
<input type="checkbox"/>	County - Douglas	Chris Boyd	<b>Water / Sanitation / Stormwater / Wetlands</b>		
<input type="checkbox"/>	DRCOG		<input type="checkbox"/>	ACWWA	
<input checked="" type="checkbox"/>	South Metro Fire Rescue District	Amanda Silva	<input type="checkbox"/>	U.S. Army Corp. of Engineer	Kiel Downing
<input checked="" type="checkbox"/>	Metro District – Inverness Metro Improvement District	Pat Mulhern	<input checked="" type="checkbox"/>	Cherry Creek Basin Water Quality Authority	Chuck Reid
<input checked="" type="checkbox"/>	Post Office Growth Coordinator	J. Hernandez	<input type="checkbox"/>	Colorado Division of Water Resources	Joanne Williams
<input type="checkbox"/>	Reap I-70 Regional Economic Advancement Partnership	Matt Reay and Jack Keever	<input checked="" type="checkbox"/>	SEMSWA	Paul Danley
<input checked="" type="checkbox"/>	Arapahoe County Recreation District	Lynn Cornell	<input type="checkbox"/>	ECCVW&S	Chris Douglass
<input checked="" type="checkbox"/>	School District – Cherry Creek	Dave Strohfus	<input checked="" type="checkbox"/>	Urban Drainage & Flood	David Mallory
<input type="checkbox"/>	Special District		<input checked="" type="checkbox"/>	Inverness Water and Sanitation District	Pat Mulhern
<input checked="" type="checkbox"/>	Tri-County Health Department	Sheila Lynch	<input type="checkbox"/>	Other / 5 Sets East End Adv. Committee	
<input type="checkbox"/> HOMEOWNER'S ASSOCIATIONS					

The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate line and return to the Arapahoe County Planning Office on or before the date indicated above.

COMMENTS:	SIGNATURE
<input checked="" type="checkbox"/> Have NO Comments to make on the case as submitted	AJS 5.23.16
<input type="checkbox"/> Have the following comments to make related to the case:	



**Public Works and Development**

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

[www.co.arapahoe.co.us](http://www.co.arapahoe.co.us)

**Planning Division  
Referral Routing**

<b>Case Number / Case Name:</b>	<b>P16-008, 163 Inverness #61, 163 Inverness Dr. W / FDP</b>
<b>Planner:</b>	<b>Molly Orkild-Larson</b>
<b>Engineer:</b>	<b>Spencer Smith</b>
<b>Date sent:</b>	<b>April 21, 2016</b>
<b>Date to be returned:</b>	<b>May 23, 2016</b>

Arapahoe County Agencies			Citizen's Organizations		
<input type="checkbox"/>	Assessor / Arapahoe County (Residential)	Beverly Reynolds	<input type="checkbox"/>	CCNA-Cherry Creek Neighborhoods Ass.	
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/>	CECON-(Within Centennial)	
<input checked="" type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/>	Four Square Mile Neighborhood	
<input checked="" type="checkbox"/>	Engineering / Arapahoe County	Spencer Smith	<input type="checkbox"/>	South Metro Chamber of Commerce	
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	<b>Conservation District</b>		
<input type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	<input type="checkbox"/>	Deer Trail Conservation District	
<input type="checkbox"/>	Open Space / Arapahoe County	Raymond Winn	<input checked="" type="checkbox"/>	West Arapahoe Conservation District	Tasha Chevarria
<input checked="" type="checkbox"/>	Planning / Arapahoe County	Molly Orkild-Larson	<b>Transportation</b>		
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	<input checked="" type="checkbox"/>	CDOT / State Highway Dept- Region 1	Rick Solomon
<input type="checkbox"/>	Weed Control / Arapahoe County	Russell Johnson	<input checked="" type="checkbox"/>	E-470 Authority	Peggy Davenport
<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input checked="" type="checkbox"/>	RTD	Chris Quinn
<b>Referral Agencies</b>			<input checked="" type="checkbox"/>	Arapahoe County Public Airport Authority	Michael Fronapfel
<input type="checkbox"/>	Architectural Review Committee		<b>Utilities: Gas, Electric &amp; Phone</b>		
<input checked="" type="checkbox"/>	Arapahoe Library District	Janel Maccarrone	<input checked="" type="checkbox"/>	Centurylink/Phone	Charles Place
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input type="checkbox"/>	Conoco Phillips / Gas Pipeline	
<input checked="" type="checkbox"/>	City / Town – City of Centennial		<input checked="" type="checkbox"/>	XCEL	Donna George
<input type="checkbox"/>	Colorado Parks and Wildlife	Travis Harris	<input type="checkbox"/>	IREA	Brooks Kaufman
<input type="checkbox"/>	County - Douglas	Chris Boyd	<b>Water / Sanitation / Stormwater / Wetlands</b>		
<input type="checkbox"/>	DRCOG		<input type="checkbox"/>	ACWWA	
<input checked="" type="checkbox"/>	South Metro Fire Rescue District	Amanda Silva	<input type="checkbox"/>	U.S. Army Corp. of Engineer	Kiel Downing
<input checked="" type="checkbox"/>	Metro District – Inverness Metro Improvement District	Pat Mulhern	<input checked="" type="checkbox"/>	Cherry Creek Basin Water Quality Authority	Chuck Reid
<input checked="" type="checkbox"/>	Post Office Growth Coordinator	J. Hernandez	<input type="checkbox"/>	Colorado Division of Water Resources	Joanne Williams
<input type="checkbox"/>	Reap I-70 Regional Economic Advancement Partnership	Matt Reay and Jack Keever	<input checked="" type="checkbox"/>	SEMSWA	Paul Danley
<input checked="" type="checkbox"/>	Arapahoe County Recreation District	Lynn Cornell	<input type="checkbox"/>	ECCVW&S	Chris Douglass
<input checked="" type="checkbox"/>	School District – Cherry Creek	Dave Strohfus	<input checked="" type="checkbox"/>	Urban Drainage & Flood	David Mallory
<input type="checkbox"/>	Special District		<input checked="" type="checkbox"/>	Inverness Water and Sanitation District	Pat Mulhern
<input checked="" type="checkbox"/>	Tri-County Health Department	Sheila Lynch	<input type="checkbox"/>	Other / 5 Sets East End Adv. Committee	
<input type="checkbox"/>	HOMEOWNER'S ASSOCIATIONS				

The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate line and return to the Arapahoe County Planning Office on or before the date indicated above.

COMMENTS:	SIGNATURE
<input checked="" type="checkbox"/> Have NO Comments to make on the case as submitted	<i>Spencer Smith</i>
<input type="checkbox"/> Have the following comments to make related to the case: <i>See my email dated 5/18/16</i>	

Molly Orkild-Larson

---

**From:** Steve Byer  
**Sent:** Wednesday, May 18, 2016 5:19 PM  
**To:** Molly Orkild-Larson  
**Cc:** Jason Reynolds  
**Subject:** RE: P16-008, 163 Inverness #61, 163 Inverness Dr. W/FDP

Molly,

I kept missing you to be able to discuss this project and workflow with you, but I had a brief conversation with Jason today. I did not see where the Kimley Horn response referenced any Phase 1 Building comments, though I wouldn't necessarily expect them to, due to our comments being somewhat general in nature. Nor did I locate any additional plans or submittals to review, beyond what I originally reviewed. If I missed them, just let me know where.

My question to Jason, to which he provided clarification, was the difference in the Phase 1 to Phase 2 review, as it would relate to Building.

With that being said, I do not have any additional comments for this Phase 2 review.

One question that I had, was the Phase 2 workflow (screen shot shown below) does not include Building to be able to enter anything. Not sure if this would be standard for any Phase 2 review, but when you get a minute, maybe you could let me know, so that I am not asking this same question on the next one.

Thanks for your help

*Steven Byer*

Arapahoe County  
Building Division Manager  
6924 S Lima St  
Centennial CO 80112  
720-874-6600



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ARAPAHOE COUNTY  
PLANNING DIVISION

Public Works and Development

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

www.co.arapahoe.co.us

Planning Division

Referral Routing

<b>Case Number / Case Name:</b>	<b>P16-008, 163 Inverness #61, 163 Inverness Dr. W / FDP</b>
<b>Planner:</b>	<b>Molly Orkild-Larson</b>
<b>Engineer:</b>	<b>Spencer Smith</b>
<b>Date sent:</b>	<b>April 21, 2016</b>
<b>Date to be returned:</b>	<b>May 23, 2016</b>

Arapahoe County Agencies			Citizen's Organizations		
<input type="checkbox"/>	Assessor / Arapahoe County (Residential)	Beverly Reynolds	<input type="checkbox"/>	CCNA-Cherry Creek Neighborhoods Ass.	
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/>	CECON-(Within Centennial)	
<input checked="" type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/>	Four Square Mile Neighborhood	
<input checked="" type="checkbox"/>	Engineering / Arapahoe County	Spencer Smith	<input type="checkbox"/>	South Metro Chamber of Commerce	
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	<b>Conservation District</b>		
<input type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	<input type="checkbox"/>	Deer Trail Conservation District	
<input type="checkbox"/>	Open Space / Arapahoe County	Raymond Winn	<input checked="" type="checkbox"/>	West Arapahoe Conservation District	Tasha Chevarria
<input checked="" type="checkbox"/>	Planning / Arapahoe County	Molly Orkild-Larson	<b>Transportation</b>		
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	<input checked="" type="checkbox"/>	CDOT / State Highway Dept- Region 1	Rick Solomon
<input type="checkbox"/>	Weed Control / Arapahoe County	Russell Johnson	<input checked="" type="checkbox"/>	E-470 Authority	Peggy Davenport
<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input checked="" type="checkbox"/>	RTD	Chris Quinn
<b>Referral Agencies</b>			<input checked="" type="checkbox"/>	Arapahoe County Public Airport Authority	Michael Fronapfel
<input type="checkbox"/>	Architectural Review Committee		<b>Utilities: Gas, Electric &amp; Phone</b>		
<input checked="" type="checkbox"/>	Arapahoe Library District	Janel Maccarrone	<input checked="" type="checkbox"/>	Centurylink/Phone	Charles Place
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input type="checkbox"/>	Conoco Phillips / Gas Pipeline	
<input checked="" type="checkbox"/>	City / Town – City of Centennial		<input checked="" type="checkbox"/>	XCEL	Donna George
<input type="checkbox"/>	Colorado Parks and Wildlife	Travis Harris	<input type="checkbox"/>	IREA	Brooks Kaufman
<input type="checkbox"/>	County - Douglas	Chris Boyd	<b>Water / Sanitation / Stormwater / Wetlands</b>		
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<input checked="" type="checkbox"/>	South Metro Fire Rescue District	Amanda Silva	<input type="checkbox"/>	U.S. Army Corp. of Engineer	Kiel Downing
<input checked="" type="checkbox"/>	Metro District – Inverness Metro Improvement District	Pat Mulhern	<input checked="" type="checkbox"/>	Cherry Creek Basin Water Quality Authority	Chuck Reid
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<input type="checkbox"/>	Special District		<input checked="" type="checkbox"/>	Inverness Water and Sanitation District	Pat Mulhern
<input checked="" type="checkbox"/>	Tri-County Health Department	Sheila Lynch	<input type="checkbox"/>	Other / 5 Sets East End Adv. Committee	
<input type="checkbox"/>	HOMEOWNER'S ASSOCIATIONS				

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COMMENTS:	SIGNATURE
<input checked="" type="checkbox"/> Have NO Comments to make on the case as submitted	Glenn Thompson 4/21/16
<input type="checkbox"/> Have the following comments to make related to the case:	



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 6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611  
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ARAPAHOE COUNTY  
 PLANNING DIVISION

Planning Division

Referral Routing

**Case Number / Case Name:** P16-008, 163 Inverness #61, 163 Inverness Dr. W / FDP  
**Planner:** Molly Orkild-Larson  
**Engineer:** Spencer Smith  
**Date sent:** April 21, 2016  
**Date to be returned:** May 23, 2016

Arapahoe County Agencies		Citizen's Organizations		
<input type="checkbox"/>	Assessor / Arapahoe County (Residential)	Beverly Reynolds		
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/> CCNA-Cherry Creek Neighborhoods Ass.	
<input checked="" type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/> CECON-(Within Centennial)	
<input checked="" type="checkbox"/>	Engineering / Arapahoe County	Spencer Smith	<input type="checkbox"/> Four Square Mile Neighborhood	
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	<input type="checkbox"/> South Metro Chamber of Commerce	
<input type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	<b>Conservation District</b>	
<input type="checkbox"/>	Open Space / Arapahoe County	Raymond Winn	<input type="checkbox"/> Deer Trail Conservation District	
<input checked="" type="checkbox"/>	Planning / Arapahoe County	Molly Orkild-Larson	<input checked="" type="checkbox"/> West Arapahoe Conservation District	Tasha Chevarria
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	<b>Transportation</b>	
<input type="checkbox"/>	Weed Control / Arapahoe County	Russell Johnson	<input checked="" type="checkbox"/> CDOT / State Highway Dept- Region 1	Rick Solomon
<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input checked="" type="checkbox"/> E-470 Authority	Peggy Davenport
<b>Referral Agencies</b>			<input checked="" type="checkbox"/> RTD	Chris Quinn
<input type="checkbox"/>	Architectural Review Committee		<input checked="" type="checkbox"/> Arapahoe County Public Airport Authority	Michael Fronapfel
<input checked="" type="checkbox"/>	Arapahoe Library District	Janel Maccarrone	<b>Utilities: Gas, Electric &amp; Phone</b>	
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input checked="" type="checkbox"/> Centurylink/Phone	Charles Place
<input checked="" type="checkbox"/>	City / Town – City of Centennial		<input type="checkbox"/> Conoco Phillips / Gas Pipeline	
<input type="checkbox"/>	Colorado Parks and Wildlife	Travis Harris	<input checked="" type="checkbox"/> XCEL	Donna George
<input type="checkbox"/>	County - Douglas	Chris Boyd	<input type="checkbox"/> IREA	Brooks Kaufman
<input type="checkbox"/>	DRCOG		<b>Water / Sanitation / Stormwater / Wetlands</b>	
<input checked="" type="checkbox"/>	South Metro Fire Rescue District	Amanda Silva	<input type="checkbox"/> ACWWA	
<input checked="" type="checkbox"/>	Metro District – Inverness Metro Improvement District	Pat Mulhern	<input type="checkbox"/> U.S. Army Corp. of Engineer	Kiel Downing
<input checked="" type="checkbox"/>	Post Office Growth Coordinator	J. Hernandez	<input checked="" type="checkbox"/> Cherry Creek Basin Water Quality Authority	Chuck Reid
<input type="checkbox"/>	Reap I-70 Regional Economic Advancement Partnership	Matt Reay and Jack Keever	<input type="checkbox"/> Colorado Division of Water Resources	Joanne Williams
<input checked="" type="checkbox"/>	Arapahoe County Recreation District	Lynn Cornell	<input checked="" type="checkbox"/> SEMSWA	Paul Danley
<input checked="" type="checkbox"/>	School District – Cherry Creek	Dave Strohufus	<input type="checkbox"/> ECCW&S	Chris Douglass
<input type="checkbox"/>	Special District		<input checked="" type="checkbox"/> Urban Drainage & Flood	David Mallory
<input checked="" type="checkbox"/>	Tri-County Health Department	Sheila Lynch	<input checked="" type="checkbox"/> Inverness Water and Sanitation District	Pat Mulhern
<input type="checkbox"/>			<input type="checkbox"/> Other / 5 Sets East End Adv. Committee	
<input type="checkbox"/>	HOMEOWNER'S ASSOCIATIONS			

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COMMENTS:	SIGNATURE
<input checked="" type="checkbox"/> Have NO Comments to make on the case as submitted	<i>M. Janel Maccarrone</i>
<input type="checkbox"/> Have the following comments to make related to the case:	



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MAY 20 2016

ARAPAHOE COUNTY  
PLANNING DIVISION

May 20, 2016

Molly Orkild-Larson  
Arapahoe County Public Works and Development  
6924 S Lima Street  
Centennial, CO 80112

Re: Inverness #61, 163 Inverness Drive West– P16-008 (RF-16-00095)

Dear Ms. Orkild-Larson,

The City of Centennial appreciates the opportunity to comment on the outside referral of the Inverness #61, 163 Inverness Drive West – Project File No. P16-008. After reviewing the documents, the City has no comments on the referral.

Should you have any questions on this response letter please contact me at [jhoulne@centennialco.gov](mailto:jhoulne@centennialco.gov), or at 303-754-3357.

Regards,

Jenny Houlne  
Senior Planner  
City of Centennial

Cc: Andy Firestine, AICP, Assistant City Manager  
Derek Holcomb, AICP, Planning and Engineering Manager

Molly Orkild-Larson

---

**From:** amanda.silva@southmetro.org  
**Sent:** Thursday, June 30, 2016 10:33 AM  
**To:** Canaan.Reeverts@kimley-horn.com  
**Cc:** Chip Kerkhove; randall.phelps@kimley-horn.com; Mike.Sasarak@kimley-horn.com  
**Subject:** RE: Revision to site plan - 163 Inverness

Looks good – thanks!

**Amanda Silva**  
*Plan Reviewer/Investigator*

**amanda.silva@southmetro.org**  
**Cell: 720-822-6953**  
**Office: 720-989-2241**  
**LSB: 720-989-2230**



Life Safety Bureau  
South Metro Fire Rescue  
9195 East Mineral Avenue  
Centennial, CO 80112  
[www.southmetro.org](http://www.southmetro.org)



Commission on  
Fire Accreditation  
International

**From:** Canaan.Reeverts@kimley-horn.com [mailto:Canaan.Reeverts@kimley-horn.com]  
**Sent:** Thursday, June 30, 2016 9:51 AM  
**To:** Amanda Silva <amanda.silva@southmetro.org>  
**Cc:** Chip Kerkhove <Chip.Kerkhove@southmetro.org>; randall.phelps@kimley-horn.com; Mike.Sasarak@kimley-horn.com  
**Subject:** RE: Revision to site plan - 163 Inverness

Amanda,

Please see the attached autoturn exhibit using the updated fire truck numbers. Let me know if you need anything else to sign off.

Thanks!

**Canaan Reeverts**  
**Kimley-Horn** | 4582 South Ulster Street, Suite 1500, Denver, CO 80237  
Direct: 720-897-6308 | [www.kimley-horn.com](http://www.kimley-horn.com)

**From:** Reeverts, Canaan  
**Sent:** Thursday, June 30, 2016 9:01 AM  
**To:** 'Amanda Silva' <amanda.silva@southmetro.org>  
**Cc:** Chip Kerkhove <Chip.Kerkhove@southmetro.org>; Phelps, Randall <randall.phelps@kimley-horn.com>; Sasarak, Mike <Mike.Sasarak@kimley-horn.com>  
**Subject:** RE: Revision to site plan - 163 Inverness

Hi Amanda,

The curb to curb width of the right-in/right-out is 16' wide. We'll get an updated autoturn exhibit to you today.

Thanks!

**Canaan Reeverts**

**Kimley-Horn** | 4582 South Ulster Street, Suite 1500, Denver, CO 80237  
Direct: 720-897-6308 | [www.kimley-horn.com](http://www.kimley-horn.com)

**From:** Amanda Silva [<mailto:amanda.silva@southmetro.org>]  
**Sent:** Thursday, June 30, 2016 8:01 AM  
**To:** Reeverts, Canaan <[Canaan.Reeverts@kimley-horn.com](mailto:Canaan.Reeverts@kimley-horn.com)>  
**Cc:** Chip Kerkhove <[Chip.Kerkhove@southmetro.org](mailto:Chip.Kerkhove@southmetro.org)>; Phelps, Randall <[randall.phelps@kimley-horn.com](mailto:randall.phelps@kimley-horn.com)>; Sasarak, Mike <[Mike.Sasarak@kimley-horn.com](mailto:Mike.Sasarak@kimley-horn.com)>  
**Subject:** RE: Revision to site plan - 163 Inverness

Hi Canaan,

Can you confirm that the curb to curb width of the right-in/right-out is at least 15 ft? It looks close to that when I took a rough measurement on the PDF. I have attached the most recent specs for our Tower. Please provide us with an updated autoturn exhibit using these numbers.

Thanks!

**Amanda Silva**  
*Plan Reviewer/Investigator*

[amanda.silva@southmetro.org](mailto:amanda.silva@southmetro.org)  
**Cell:** 720-822-6953  
**Office:** 720-989-2241  
**LSB:** 720-989-2230



Life Safety Bureau  
South Metro Fire Rescue  
9195 East Mineral Avenue  
Centennial, CO 80112  
[www.southmetro.org](http://www.southmetro.org)



Commission –  
Fire Accreditation  
International

**From:** [Canaan.Reeverts@kimley-horn.com](mailto:Canaan.Reeverts@kimley-horn.com) [<mailto:Canaan.Reeverts@kimley-horn.com>]  
**Sent:** Wednesday, June 29, 2016 4:02 PM  
**To:** Amanda Silva <[amanda.silva@southmetro.org](mailto:amanda.silva@southmetro.org)>  
**Cc:** Chip Kerkhove <[Chip.Kerkhove@southmetro.org](mailto:Chip.Kerkhove@southmetro.org)>; [randall.phelps@kimley-horn.com](mailto:randall.phelps@kimley-horn.com); [Mike.Sasarak@kimley-horn.com](mailto:Mike.Sasarak@kimley-horn.com)  
**Subject:** RE: Revision to site plan - 163 Inverness

Amanda,

Arapahoe County has required us to restrict the left turn on the 163 Inverness site by utilizing a pork chop design. Please see attached for an updated autoturn exhibit with the movement through that access shown. Please note that no other modifications have been made to the site since your last review and approval.

Could you please give this a quick review? We'd like to get your sign-off before resubmitting the FDP to the County.

Thanks!

**Canaan Reeverts**

**Kimley-Horn** | 4582 South Ulster Street, Suite 1500, Denver, CO 80237  
Direct: 720-897-6308 | [www.kimley-horn.com](http://www.kimley-horn.com)

**From:** Molly Orkild-Larson [mailto:[MOrkild-Larson@arapahoegov.com](mailto:MOrkild-Larson@arapahoegov.com)]

**Sent:** Wednesday, June 29, 2016 3:23 PM

**To:** Reeverts, Canaan <[Canaan.Reeverts@kimley-horn.com](mailto:Canaan.Reeverts@kimley-horn.com)>

**Subject:** Revision to site plan - 163 Inverness

Touch base with the fire district on your revisions to the site plan, especially the access point to the property.

**Molly Orkild-Larson, Senior Planner**

**Arapahoe County Public Works and Development**

**Arapahoe County Lima Plaza, 6924 South Lima Street, Centennial CO 80112**

**720-874-6650 Planning / 720-874-6574 TDD / 720-874-6611 Fax**

[morkild-larson@arapahoegov.com](mailto:morkild-larson@arapahoegov.com)

[www.arapahoegov.com](http://www.arapahoegov.com)

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Previous issues resolved.

*AS* 5/18/16



Public Works and Development

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Planning Division

Referral Routing

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ARAPAHOE COUNTY PLANNING DIVISION

Case Number / Case Name: P16-008, 163 Inverness #61, 163 Inverness Dr. W / FDP  
 Planner: Molly Orkild-Larson  
 Engineer: Spencer Smith  
 Date sent: April 21, 2016  
 Date to be returned: May 23, 2016

Arapahoe County Agencies		Citizen's Organizations	
<input type="checkbox"/>	Assessor / Arapahoe County (Residential)	Beverly Reynolds	
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/>
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<input checked="" type="checkbox"/>	Planning / Arapahoe County	Molly Orkild-Larson	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	
<input type="checkbox"/>	Weed Control / Arapahoe County	Russell Johnson	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input checked="" type="checkbox"/>
<b>Referral Agencies</b>			
<input type="checkbox"/>	Architectural Review Committee		<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	Arapahoe Library District	Janel Maccarrone	<input checked="" type="checkbox"/>
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input checked="" type="checkbox"/>
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<input type="checkbox"/>	Colorado Parks and Wildlife	Travis Harris	<input checked="" type="checkbox"/>
<input type="checkbox"/>	County - Douglas	Chris Boyd	<input type="checkbox"/>
<input type="checkbox"/>	DRCOG		
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<input checked="" type="checkbox"/>	Metro District – Inverness Metro Improvement District	Pat Mulhern	<input type="checkbox"/>
<input checked="" type="checkbox"/>	Post Office Growth Coordinator	J. Hernandez	<input checked="" type="checkbox"/>
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<input checked="" type="checkbox"/>	School District – Cherry Creek	Dave Strohfus	<input type="checkbox"/>
<input type="checkbox"/>	Special District		<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	Tri-County Health Department	Sheila Lynch	<input checked="" type="checkbox"/>
<input type="checkbox"/>	HOMEOWNER'S ASSOCIATIONS		<input type="checkbox"/>

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COMMENTS:		SIGNATURE
<input checked="" type="checkbox"/>	Have NO Comments to make on the case as submitted	<i>Amanda Silva</i>
<input type="checkbox"/>	Have the following comments to make related to the case:	

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ARAPAHOE COUNTY  
PLANNING DIVISION

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611



Public Works and Development

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Planning Division

Referral Routing

REF DP16-00045

<b>Case Number / Case Name:</b>	<b>P16-008, 163 Inverness #61, 163 Inverness Dr. W / FDP</b>
<b>Planner:</b>	<b>Molly Orkild-Larson</b> <i>markid-larson@arapahoe.gov.com</i>
<b>Engineer:</b>	<b>Spencer Smith</b>
<b>Date sent:</b>	<b>April 21, 2016</b>
<b>Date to be returned:</b>	<b>May 23, 2016</b>

Arapahoe County Agencies		Citizen's Organizations		
<input type="checkbox"/>	Assessor / Arapahoe County (Residential)	Beverly Reynolds	<input type="checkbox"/>	
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	Engineering / Arapahoe County	Spencer Smith	<input type="checkbox"/>	
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	<input type="checkbox"/>	
<input type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	<b>Conservation District</b>	
<input type="checkbox"/>	Open Space / Arapahoe County	Raymond Winn	<input type="checkbox"/>	Deer Trail Conservation District
<input checked="" type="checkbox"/>	Planning / Arapahoe County	Molly Orkild-Larson	<input checked="" type="checkbox"/>	West Arapahoe Conservation District
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	<b>Transportation</b>	
<input type="checkbox"/>	Weed Control / Arapahoe County	Russell Johnson	<input checked="" type="checkbox"/>	CDOT / State Highway Dept- Region 1
<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input checked="" type="checkbox"/>	E-470 Authority
<b>Referral Agencies</b>			<input checked="" type="checkbox"/>	RTD
<input type="checkbox"/>	Architectural Review Committee		<input checked="" type="checkbox"/>	Arapahoe County Public Airport Authority
<input checked="" type="checkbox"/>	Arapahoe Library District	Janel Maccarrone	<b>Utilities: Gas, Electric &amp; Phone</b>	
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input checked="" type="checkbox"/>	Centurylink/Phone
<input checked="" type="checkbox"/>	City / Town - City of Centennial		<input type="checkbox"/>	Conoco Phillips / Gas Pipeline
<input type="checkbox"/>	Colorado Parks and Wildlife	Travis Harris	<input checked="" type="checkbox"/>	XCEL
<input type="checkbox"/>	County - Douglas	Chris Boyd	<input type="checkbox"/>	IREA
<input type="checkbox"/>	DRCOG		<b>Water / Sanitation / Stormwater / Wetlands</b>	
<input checked="" type="checkbox"/>	South Metro Fire Rescue District	Amanda Silva	<input type="checkbox"/>	ACWWA
<input checked="" type="checkbox"/>	Metro District - Inverness Metro Improvement District	Pat Mulhern	<input type="checkbox"/>	U.S. Army Corp. of Engineer
<input checked="" type="checkbox"/>	Post Office Growth Coordinator	J. Hernandez	<input checked="" type="checkbox"/>	Cherry Creek Basin Water Quality Authority
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<input type="checkbox"/>	HOMEOWNER'S ASSOCIATIONS		<input type="checkbox"/>	Other / 5 Sets East End Adv. Committee

The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate line and return to the Arapahoe County Planning Office on or before the date indicated above.

COMMENTS:	SIGNATURE
<input type="checkbox"/> Have NO Comments to make on the case as submitted	
<input checked="" type="checkbox"/> Have the following comments to make related to the case: <i>Site Access, Hydrants, Construction Type Issues - NOT APPROVED</i>	



# SOUTH METRO FIRE RESCUE

## LIFE SAFETY BUREAU

9195 E Mineral Ave, Centennial, CO 80112

PHONE: 720.989.2230 [www.southmetro.org](http://www.southmetro.org) FAX: 720.989.2130

RECEIVED

MAY 02 2016

ARAPAHOE COUNTY  
PLANNING DIVISION

Molly Orkild-Larson  
Senior Planner  
Arapahoe County  
6924 S. Lima St  
Centennial, CO 80112  
720-874-6650  
720-874-6611 Fax

File #/Name: P16-008, 163 Inverness #61, 163 Inverness Dr. W / FDP  
Project Type: **Final Development Plan**  
Referral Received: April 21, 2016  
Comments Due: May 23, 2016

S Metro Review # REFFDP16-00045  
Plan reviewer: Amanda Silva  
Review date: May 2, 2016

### Narrative:

Code Reference: 2009 International Fire Code, 2009 International Building Code

South Metro Fire Rescue's Life Safety Division has reviewed the above project and has DISAPPROVED the plans with the following unresolved issues:

### UNRESOLVED ISSUES:

1. Site Access concerns. Autoturn exhibit should be submitted to South Metro to prove adequate turn radius and access for fire department apparatus. Access due to phasing is also a concern as no exhibit has been provided to show the complete intended site layout.
2. Hydrant locations and number of hydrants have not been approved by South Metro. Number of hydrants is determined by the required fire flow for the building, which has not been provided at this time.
3. Construction type of building – this information has not been provided and fire flow requirements for this site could not be verified.
4. Second phase has not been detailed in this submittal. A discussion of intended final site layout, as well as interim conditions needs to occur.

Please schedule a meeting with Plan Reviewer Amanda Silva to discuss these issues.

[Amanda.silva@southmetro.org](mailto:Amanda.silva@southmetro.org)

720-989-2241



Right of Way & Permits

1123 West 3<sup>rd</sup> Avenue  
Denver, Colorado 80223  
Telephone: **303.571.3306**  
Facsimile: 303. 571.3524  
donna.l.george@xcelenergy.com

July 29, 2016

Arapahoe County Public Works and Development  
6924 South Lima Street  
Centennial, CO 80112

Attn: Molly Orkild-Larson

Re: **\* AMENDED RESPONSE \***  
**163 Inverness Drive West – Inverness Subdivision Filing No. 61**  
**Case # P16-008**

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the final development plan for **163 Inverness Drive West – Inverness Subdivision Filing No. 61**. Please be aware PSCo owns and operates existing electric distribution facilities along Interstate 25 and natural gas distribution facilities along Inverness Drive West. The property owner/developer/contractor must contact the **Builder's Call Line** at 1-800-628-2121 or <https://xcelenergy.force.com/FastApp> (Register so you can track your application) to complete the application process for any new gas or electric service, or modification to existing facilities. It is then the responsibility of the developer to contact the Designer assigned to the project for approval of design details. Additional easements may need to be acquired by separate document for new facilities.

As a safety precaution, PSCo would like to remind the developer to call the **Utility Notification Center** at 1-800-922-1987 to have all utilities located prior to any construction.

Should you have any questions with this referral response, please contact me at 303-571-3306.

Donna George  
Contract Right of Way Referral Processor  
Public Service Company of Colorado

Molly Orkild-Larson

---

**From:** Peggy Davenport <pdavenp@e-470.com>  
**Sent:** Wednesday, April 27, 2016 8:04 AM  
**To:** Molly Orkild-Larson  
**Cc:** Helpdesk Admin  
**Subject:** DR: ##101404## P16-008 163 Inverness Drive

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Molly,

Thank you for allowing E-470 Public Highway Authority to review the P16-008 163 Inverness Drive Referral.

All new development within one and one-half mile on either side of the E-470 centerline is subject to highway expansion fees.

This is the only comment that E-470 Public Highway Authority has at this time.

Regards,

***Peggy Davenport***  
Administrative Coordinator/Document Control  
I Engineering & Roadway Maintenance  
I O 303-537-3727  
I [Pdavenp@E-470.com](mailto:pdavenp@E-470.com)

---

CONFIDENTIALITY NOTICE

This message and any accompanying documents are intended only for the use of the intended addressee, and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If you are not the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is prohibited. If you have received this communication in error, please notify the author immediately. Thank you.

RECEIVED

MAY 11 2016

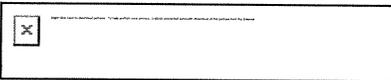
Molly Orkild-Larson

ARAPAHOE COUNTY  
PLANNING DIVISION

**From:** bradley.sheehan@state.co.us  
**Sent:** Wednesday, May 11, 2016 4:04 PM  
**To:** Molly Orkild-Larson  
**Subject:** Re: 163 INVERNESS DR PROPOSED 4-STORY OFFICE BUILDING

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Thank you for referring the development proposal for our review. It appears from the plans that no site drainage or grading will require work in the I-25 right of way. As a result, CDOT has no comments or concerns on the development proposal. If there is a request to work in state right of way, to obtain permission to place utilities and Landscaping a Utility/Special Use Permit is required. Please visit our website at <https://www.codot.gov/business/permits/accesspermits/documents> or obtain the application through this office.



Brad Sheehan P.E.  
Colorado Department of Transportation  
Access Engineer Region 1  
2000 So. Holly Street  
Denver Colorado 80222  
303-512-4271



7437 South Fairplay Street  
Centennial, CO 80112-4486

May 20, 2016  
Mr. Spencer Smith  
Arapahoe County Land Development Services  
Public Works and Development  
6924 S Lima Street  
Centennial, Colorado 80112

RE: 163 Inverness  
SEMSWA No. DPR16-00016, County Case No. P16-008

Dear Mr. Smith,

Thank you for your referral request to the Southeast Metro Stormwater Authority (SEMSWA) regarding the proposed 163 Inverness Project. SEMSWA appreciates the opportunity to review the Phase III Drainage Report, Final Development Plan, Construction Documents, GESC Plan & Report, and O&M Manual and offers the following comments:

General Comments:

1. This project is located within the Cottonwood Creek drainage basin. System Development Fees (SDFs) have been established for development in this drainage basin. Please note SDFs will be assessed at the time of approval and are based on added impervious area. The SDF fee for this basin is \$4,677 per added impervious acre. These fees shall be paid prior to any permits being issued by SEMSWA.
2. Please note that permits are required prior to construction commencing on this site. Permits necessary for construction may include the Grading, Erosion and Sediment Control (GESC) Permit. There are permit fees and collateral required for these permits which are assessed at the time of approval. All fees and collateral shall be paid prior to any permits being issued by SEMSWA.
3. Please note: if it is necessary for SEMSWA to review the submittal documents more than three times, additional review fees will be required and assessed at half of the original review fees paid. The additional review fees shall be paid prior to any subsequent review.
4. Please submit a response letter to the comments with the re-submittal. Response letter is required for further review.

7437 South Fairplay Street, Centennial, CO 80112-4486  
Phone: 303-858-8844 Fax: 303-649-2149 [www.semswa.org](http://www.semswa.org)

### Phase III Drainage Report Comments:

1. The comment response letter indicated that variance requests for the types of proposed inlets and required drainage easements were submitted, but SEMSWA did not receive a copy of the variance requests. Please revise design to meet Arapahoe County standards or submit variance request letters.
2. SEMSWA will not support a variance from providing easements for water quality enhancements and downstream infrastructure. Please show a proposed drainage easement over the required areas and structures, and ensure these structures meet Arapahoe County standards.
3. Please be consistent with terminology for water quality enhancement. Per the current drainage report, a grass buffer is not provided; only a grass swale and pervious pavers are provided.
4. Please revise water quality swale contours to reflect proposed trapezoidal design, and be consistent with swale bottom width between documents.
5. Underdrain below water quality swale is not consistently shown in the bottom of the swale. An alternate material for the swale bottom may need to be proposed. Please coordinate with SEMSWA & County engineer.
6. Water quality calculations show basin B3 being treated by the pervious pavers but that doesn't match report narrative. Please clarify.
7. The water quality swale treatment area is calculated as the wetted perimeter of the 2-year storm multiplied by the swale length in the direction of flow. Please revise calculations accordingly.
8. Please see redlines for additional comments and make necessary revisions.

### Construction Documents Comments:

9. SEMSWA will not support a variance from providing easements for water quality enhancements and downstream infrastructure. Please show a proposed drainage easement over the required areas and structures, and ensure these structures meet Arapahoe County standards.
10. Underdrain below water quality swale is not consistently shown in the bottom of the swale. An alternate material for the swale bottom may need to be proposed. Please coordinate with SEMSWA & County engineer.
11. Please call out minimum 18" separate from wet utilities on storm sewer profiles.
12. Please provide construction details for water quality enhancements. See SEMSWA BMP standard details for examples.
13. Please revise pervious paver design to match detail UDFCD Volume 3 Figure PPS-1.
14. Please see redlines for additional comments and make necessary revisions.

### GESC Plan and Report Comments:

15. Please add SEMSWA Case Nos. D16-00016 & DPR16-00016 and Arapahoe County Case No. P16-008 to the GESC Report cover sheet and to the lower left corner of the GESC Plan sheets.
16. On the GESC Plan cover sheet please remove the duplicate text from the plan title.

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Phone: 303-858-8844 Fax: 303-649-2149 [www.semswa.org](http://www.semswa.org)

17. On the GESC Plan cover sheet please revise the Sheet index to show the 3 sheets of Arapahoe County Standard Notes and details. Remove and replace the SEMSWA details with Arapahoe County details in the plan set.
18. On the GESC Plan cover sheet please revise the project name in the Engineer's Certification Statement.
19. On the Initial GESC Plan please add the following note: Refer to the approved Construction Documents for the proposed site Demolition Plan.
20. Temporary sediment basins are required for all sites that disturb more than 1 acre. The sediment basin design requirements are described in the GESC manual (Sections 4.15.10 and 6.2.12 of the GESC Manual). Please include the sediment basin and sediment basin maintenance in the engineer's cost estimates for the area tributary to the pond. On the Initial GESC Plan please show a Sediment Basin (SB) to be installed immediately following removal of existing pavement and curb in the proposed Water Quality Swale location. The (SB) outlet pipe shall connect to the existing inlet. Provide a detail for this connection.
21. On the Initial, Interim and Final GESC Plan sheets please ensure the required notes as shown in the GESC Drawing and Report Checklist, Appendix E of the County GESC Manual are provided.
22. On the Initial GESC Plan please provide the BMP identifier, (SCL), at the proposed Sediment Control Logs.
23. On all GESC Plan sheets please label at a minimum all dimensions of the linear BMPs.
24. On the Initial GESC plan please show and label a stockpile area for excess material.
25. On the Interim GESC Plan please show Diversion Ditches (DD) to convey site runoff to the Sediment Basin (SB). Provide design parameters per Section 4.15.6 of the County GESC Manual. Show any culverts that might be needed in the ditches.
26. On the Interim and Final GESC Plans please label the proposed Water Quality Grass Swale.
27. On the interim GESC Plan please provide the (ECB) design parameters per Section 4.15.7 of the County GESC Manual.
28. On the Interim GESC Plan please show the proposed improvements per the Drawing and Report Checklist.
29. Please include a back of curb BMP on the Interim and Final GESC plans (Sediment Control Log (SCL)) and include the quantity in both of the engineer's cost estimates. The back of curb/sidewalk BMP shall include all areas around buildings, parking lots, islands, streets, etc. Please note on the Interim and Final GESC Plans that the Sediment Control Logs (SCL) shall be installed immediately following placement of the curb and/or sidewalk and shall be maintained in good working order until the final vegetation is established.
30. On the Interim GESC Plan please provide an Earthworks Summary Table.
31. On the Interim GESC Plan please add the following notes to the plan:
  - Prior to the export of material the contractor must coordinate with the SEMSWA Stormwater Inspector. The fill site, if within SEMSWA boundaries, may require approved GESC permit and plans/report. Additionally, the haul route, amount of trucks, etc. will need to be coordinated with the SEMSWA Inspector per sections 3.4, 4.1.5 and 4.7 of the GESC Manual.
  - During hauling operations sweeping shall occur throughout the day and at the end of each day.

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Phone: 303-858-8844 Fax: 303-649-2149 [www.semswa.org](http://www.semswa.org)

32. In the GESC Report please provide calculations for the Sediment Basin, Diversion Ditch linings and Erosion Control Blankets.
33. In the GESC Report please replace the SEMSWA GESC Cost Estimates with the required Arapahoe County GESC Cost estimates (two pages each estimate). Please include Diversion Ditch, Sediment Basin, Seeding & Mulching for the entire area of disturbance and Pond Maintenance on the Initial/ Interim Estimate. Please include Silt Fence and Sediment Control Logs on the Final Cost Estimate.
34. Please include in the GESC Report a signed and completed copy of the County GESC Drawing and Report Checklist.

Operation & Maintenance Comments:

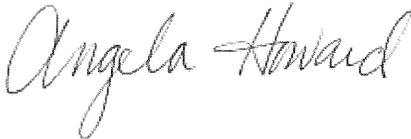
35. Please include SEMSWA case number DPR16-00016 and Arapahoe County case number P16-008 on the cover of the Operation and Maintenance Manual.
36. Please include an owner contact name and email on the cover of the Operation and Maintenance Manual.
37. Please include the Arapahoe County Operation and Maintenance Agreement. Additionally, please execute the agreement prior to final submittal.
38. Appendix B mentions a sub-surface drainage system; please note a License Agreement will be required. Please provide a License Agreement with the subsequent review.
39. Under Appendix B, heading B. General Stormwater Management Description, please state where detention and water quality capture volume is provided for this site.
40. Under Appendix B, heading D. On-Site Stormwater Management Facilities please expand the Volume Reduction Facilities section as redlined.
41. Appendix B, heading D. On-Site Stormwater Management Facilities under the Water Quality Facilities section, please discuss the water quality enhancement requirement for this site and provide a brief description of the pervious pavers.
42. Appendix B, heading D. On-Site Stormwater Management Facilities, please provide a Source Control Best Management Practices section.
43. Please include the Pervious Paver SOP, Inspection Form and Maintenance Form once available.
44. Please include the Annual Inspection and Maintenance Submittal form (Appendix F). This form can be found at:  
<http://www.semswa.org/uploads/FileLinks/26d205ea2de745e1a3b1938f56783633/Appendix F Annual Inspection and Maintenance Reporting Form.doc>.
45. Please include A Stormwater Facilities Map and details sheets (Appendix G). Checklist for these plan sheets can be found at  
[http://www.semswa.org/uploads/FileLinks/26d205ea2de745e1a3b1938f56783633/OM\\_Facilities\\_Map\\_checklist.doc](http://www.semswa.org/uploads/FileLinks/26d205ea2de745e1a3b1938f56783633/OM_Facilities_Map_checklist.doc) and  
[http://www.semswa.org/uploads/FileLinks/26d205ea2de745e1a3b1938f56783633/OM\\_Swale\\_Checklist.doc](http://www.semswa.org/uploads/FileLinks/26d205ea2de745e1a3b1938f56783633/OM_Swale_Checklist.doc). Please note, as these sheets are missing there may be several comments on the subsequent review.
46. Please see redlines for additional comments and make necessary revisions.

Final Development Plan Comments:

47. SEMSWA will not support a variance from providing easements for water quality enhancements and downstream infrastructure. Please show a proposed drainage easement over the required areas and structures, and ensure these structures meet Arapahoe County standards.
48. Underdrain below water quality swale is not consistently shown in the bottom of the swale. An alternate material for the swale bottom may need to be proposed. Please coordinate with SEMSWA & County engineer.
49. Please see redlines for additional comments and make necessary revisions.

Thank you for the opportunity to review and comment on this application. We look forward to continued coordination on this project. Please feel free to contact me if you have any questions.

Sincerely,



Angela Howard, PE, CFM  
Land Development Engineer

cc: John McCarty, P.E., PWLF, Executive Director, SEMSWA  
Paul Danley, P.E., Director, Engineering & Construction Division, SEMSWA  
Dan Olsen, Stormwater Inspector Manager, SEMSWA  
Carrie Mugglestone, Business Support Specialist, SEMSWA  
Case File

**SEMSWA RESUBMITTAL PROCEDURE  
THIS SHEET MUST BE ATTACHED TO THE RESUBMITTAL  
TO THE CASE ENGINEER**

SEMSWA No: DPR16-00016  
Case No: P16-008

Case Engineer: Angela Howard

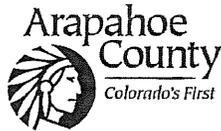
In order to expedite this case in an efficient manner, the following procedure for resubmitting information to Arapahoe County be followed.

**Incomplete resubmittal packages should not be forwarded to the SEMSWA case engineer for review until all of the information requested on this form has been provided.**

**RESUBMITTAL CHECKLIST**

The items checked below have been identified in the SEMSWA referral letter as requiring revision and or resubmittal.

	SEMSWA Documents Required with Resubmittal	# of
<input checked="" type="checkbox"/>	<b>A copy of this Resubmittal Checklist</b>	<b>1</b>
<input checked="" type="checkbox"/>	Construction Plans	X
<input checked="" type="checkbox"/>	GESC Plan and Report	X
<input type="checkbox"/>	Phase I Drainage Study	
<input type="checkbox"/>	Phase II Drainage Study	
<input checked="" type="checkbox"/>	Phase III Drainage Study /Letter of no impacts	X
<input type="checkbox"/>	Drainage Letter of Compliance/Technical Letter	
<input type="checkbox"/>	Engineering Cost Estimate for Public Improvements	
<input type="checkbox"/>	SIA	
<input type="checkbox"/>	Redline(s) for: GESC	
<input checked="" type="checkbox"/>	Letter of point by point response	X
<input checked="" type="checkbox"/>	O/M Manual	X
<input type="checkbox"/>	Maintenance Agreement	
<input type="checkbox"/>	Floodplain Documents	
<input checked="" type="checkbox"/>	Final Development Plan	X
<input type="checkbox"/>		
<input type="checkbox"/>		



Public Works and Development  
 6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611  
 www.co.arapahoe.co.us

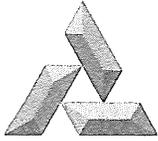
Planning Division  
 Referral Routing

Case Number / Case Name:	P16-008, 163 Inverness #61, 163 Inverness Dr. W / FDP
Planner:	Molly Orkild-Larson
Engineer:	Spencer Smith
Date sent:	April 21, 2016
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<input checked="" type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/> CECON-(Within Centennial)	
<input checked="" type="checkbox"/>	Engineering / Arapahoe County	Spencer Smith	<input type="checkbox"/> Four Square Mile Neighborhood	
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	<input type="checkbox"/> South Metro Chamber of Commerce	
<input type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	<b>Conservation District</b>	
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<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input checked="" type="checkbox"/> E-470 Authority	Peggy Davenport
<b>Referral Agencies</b>			<input checked="" type="checkbox"/> RTD	Chris Quinn
<input type="checkbox"/>	Architectural Review Committee		<input checked="" type="checkbox"/> Arapahoe County Public Airport Authority	Michael Fronapfel
<input checked="" type="checkbox"/>	Arapahoe Library District	Janel Maccarrone	<b>Utilities: Gas, Electric &amp; Phone</b>	
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input checked="" type="checkbox"/> Centurylink/Phone	Charles Place
<input checked="" type="checkbox"/>	City / Town – City of Centennial		<input type="checkbox"/> Conoco Phillips / Gas Pipeline	
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<input type="checkbox"/>	HOMEOWNER'S ASSOCIATIONS		<input type="checkbox"/> Other / 5 Sets East End Adv. Committee	

The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate line and return to the Arapahoe County Planning Office on or before the date indicated above.

COMMENTS:	SIGNATURE
<input type="checkbox"/> Have NO Comments to make on the case as submitted	
<input checked="" type="checkbox"/> Have the following comments to make related to the case: <i>Letter attached</i>	<i>Ronald R. [Signature]</i>



INVERNESS WATER & SANITATION DISTRICT  
INVERNESS METROPOLITAN IMPROVEMENT DISTRICT

2 Inverness Drive East, Suite 200  
Englewood, CO 80112

Phone 303.799.9595  
Fax 303.414.0671

May 23, 2016

Molly Orkild-Larson  
Arapahoe County Public Works and Development  
6924 S. Lima St.  
Centennial, Co 80112

Re: P16-008 Inverness Subdivision Filing No. 61,  
163 Inverness Drive West Final Development Plan

Dear Molly:

The Inverness Metropolitan Improvement District ("IMID") and Inverness Water and Sanitation District ("IWSD") the appreciate the opportunity to provide comments on the above referenced submittal. The Inverness Planning and Architectural Control Committee may have additional comments. The following comments are applicable to the development on the lots.

1. IMID recognizes potential addressing issues as buildings are added in this area. 161, to the north, is existing and 167 is the address of the vacant ground to the south. This project is proposed to be 163. That leaves only 165 as an additional address, and it is our understanding that several buildings are proposed in the future. IMID would be happy to work with the Applicant and the County to develop addressing that is consistent with the Inverness Park standards.
2. The subject area is within the Inverness Water and Sanitation District (IWSD). The developer will be required to comply with all the IWSD Rules and Regulations, including the Water Conservation Plan.
3. For each building seeking a service connection the developer is required to complete an Application for Water and Sewer Tap on the IWSD standard form, Appendix B, in the Rules and Regulations.
4. Final Construction Plans for the water, sanitary sewer and irrigation facilities proposed will need to be reviewed and approved by the IWSD prior to issuance of Tap Permits.

5. District Tap and Development fees are applicable to the proposed development. Fees are payable to the Inverness Water and Sanitation District in accordance with the current schedule prior to the commencement of any work.

Thank you again for the opportunity to provide comments to Arapahoe County. Please contact our office with any questions.

Sincerely,

For INVERNESS WATER & SANITATION DISTRICT  
And INVENESS METROPOLITAN IMPROVEMENT DISTRICT



Ronald L. Lambert, P.E.

Cc: Pat Mulhern, IWSD  
Randy Warren, IMID



Public Works and Development

6924 S. Lima Street Centennial, Colorado 80112 Phone: 720-874-6650; FAX 720-874-6611

www.co.arapahoe.co.us

Planning Division

Referral Routing

RECEIVED

MAY 11 2016

ARAPAHOE COUNTY  
PLANNING DIVISION

<b>Case Number / Case Name:</b>	<b>P16-008, 163 Inverness #61, 163 Inverness Dr. W / FDP</b>
<b>Planner:</b>	<b>Molly Orkild-Larson</b>
<b>Engineer:</b>	<b>Spencer Smith</b>
<b>Date sent:</b>	<b>April 21, 2016</b>
<b>Date to be returned:</b>	<b>May 23, 2016</b>

Arapahoe County Agencies		Citizen's Organizations	
<input type="checkbox"/>	Assessor / Arapahoe County (Residential)	Beverly Reynolds	
<input type="checkbox"/>	Attorney / Arapahoe County	Robert Hill	<input type="checkbox"/> CCNA-Cherry Creek Neighborhoods Ass.
<input checked="" type="checkbox"/>	Building / Arapahoe County	Steve Byer	<input type="checkbox"/> CECON-(Within Centennial)
<input checked="" type="checkbox"/>	Engineering / Arapahoe County	Spencer Smith	<input type="checkbox"/> Four Square Mile Neighborhood
<input checked="" type="checkbox"/>	Mapping / Arapahoe County	Pat Hubert	<input type="checkbox"/> South Metro Chamber of Commerce
<input type="checkbox"/>	Oil & Gas / Arapahoe County	Diane Kocis	<b>Conservation District</b>
<input type="checkbox"/>	Open Space / Arapahoe County	Raymond Winn	<input type="checkbox"/> Deer Trail Conservation District
<input checked="" type="checkbox"/>	Planning / Arapahoe County	Molly Orkild-Larson	<input checked="" type="checkbox"/> West Arapahoe Conservation District
<input checked="" type="checkbox"/>	Sheriff / Arapahoe County	1 to Brian McKnight 1 to Glenn Thompson	<b>Transportation</b>
<input type="checkbox"/>	Weed Control / Arapahoe County	Russell Johnson	<input checked="" type="checkbox"/> CDOT / State Highway Dept- Region 1
<input checked="" type="checkbox"/>	Zoning / Arapahoe County	Tammy King	<input checked="" type="checkbox"/> E-470 Authority
<b>Referral Agencies</b>			<input checked="" type="checkbox"/> RTD
<input type="checkbox"/>	Architectural Review Committee		<input checked="" type="checkbox"/> Arapahoe County Public Airport Authority
<input checked="" type="checkbox"/>	Arapahoe Library District	Janel Maccarrone	<b>Utilities: Gas, Electric &amp; Phone</b>
<input type="checkbox"/>	CGS Colorado Geological Survey-Soils		<input checked="" type="checkbox"/> Centurylink/Phone
<input checked="" type="checkbox"/>	City / Town – City of Centennial		<input type="checkbox"/> Conoco Phillips / Gas Pipeline
<input type="checkbox"/>	Colorado Parks and Wildlife	Travis Harris	<input checked="" type="checkbox"/> XCEL
<input type="checkbox"/>	County - Douglas	Chris Boyd	<input type="checkbox"/> IREA
<input type="checkbox"/>	DRCOG		<b>Water / Sanitation / Stormwater / Wetlands</b>
<input checked="" type="checkbox"/>	South Metro Fire Rescue District	Amanda Silva	<input type="checkbox"/> ACWWA
<input checked="" type="checkbox"/>	Metro District – Inverness Metro Improvement District	Pat Mulhern	<input type="checkbox"/> U.S. Army Corp. of Engineer
<input checked="" type="checkbox"/>	Post Office Growth Coordinator	J. Hernandez	<input checked="" type="checkbox"/> Cherry Creek Basin Water Quality Authority
<input type="checkbox"/>	Reap I-70 Regional Economic Advancement Partnership	Matt Reay and Jack Keever	<input type="checkbox"/> Colorado Division of Water Resources
<input checked="" type="checkbox"/>	Arapahoe County Recreation District	Lynn Cornell	<input checked="" type="checkbox"/> SEMSWA
<input checked="" type="checkbox"/>	School District – Cherry Creek	Dave Strohfus	<input type="checkbox"/> ECCW&S
<input type="checkbox"/>	Special District		<input checked="" type="checkbox"/> Urban Drainage & Flood
<input checked="" type="checkbox"/>	Tri-County Health Department	Sheila Lynch	<input checked="" type="checkbox"/> Inverness Water and Sanitation District
			<input type="checkbox"/> Other / 5 Sets East End Adv. Committee
<input type="checkbox"/> HOMEOWNER'S ASSOCIATIONS			

The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate line and return to the Arapahoe County Planning Office on or before the date indicated above.

COMMENTS:	SIGNATURE
<input type="checkbox"/> Have NO Comments to make on the case as submitted	 James R. "Jim" Swanson
<input checked="" type="checkbox"/> Have the following comments to make related to the case: <i>See Attached Cherry Creek Basin Water Quality Authority Letter, dated 5/11/16.</i>	



Cherry Creek Basin Water Quality Authority  
8390 East Crescent Parkway, Suite 500  
Greenwood Village, Colorado 80111  
(P) 303.779.4525 (F) 303.773.2050

May 11, 2016

RECEIVED

MAY 11 2016

ARAPAHOE COUNTY  
PLANNING DIVISION

Ms. Molly Orkild-Larson, Senior Planner  
Arapahoe County  
6924 S. Lima Street  
Centennial, Colorado 80112

Subject: 163 Inverness FDP. (Case Number: P16-008)

Dear Ms. Molly Orkild-Larson:

The Cherry Creek Basin Water Quality Authority (Authority) has reviewed the subject project for point and non-point source pollutant impacts and water quality considerations in the Cherry Creek watershed. The Authority reviews land disturbance referrals for compliance with Control Regulation No. 72<sup>1</sup> and the Authority's CR-72.7 Guidance Document<sup>2</sup>.

**Project Description:**

The 163 Inverness FDP (Project) is identified as a 6.32-acre commercial development located at the above subject address.

**Considerations:**

The proposed project warrants review by the Authority because of its location within the Cherry Creek basin and the proposed change in land use that can impact runoff quantity and quality.

Control Regulation No. 72 requires that all new development provide construction Best Management Practices (BMPs) and post-construction BMPs for any Tier 3 land disturbance greater than one acre and which results in more than 5,000 square feet, of new or increased imperviousness. From the submitted documents, it appears the Project will increase imperviousness by more than 5,000 square feet and disturb more than 1 acre, such that the Project is classified as a Tier 3 development. Tier 3 development requires construction BMPs<sup>3</sup> and post construction BMPs<sup>4</sup> "...that provide WQCV designed to capture and treat, at a minimum, the 80<sup>th</sup> percentile runoff event..." for the increased imperviousness area.

1. An Erosion and Sediment Control Plan describing proposed construction BMPs for land disturbance is required. It is anticipated this will be submitted with the final design project submittal.
2. Post construction BMPs are required for the site. Based on the Phase III Drainage Report, water quality and detention is provided in the Inverness Tributary Pond C, meeting the Authority's requirements for water quality.

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<sup>1</sup> Colorado Department of Public Health and Environment, Water Quality Control Commission November 30, 2012. *Cherry Creek Reservoir Control Regulation 5 CCR 1002-72.*

<sup>2</sup> Cherry Creek Basin Water Quality Authority. April 27, 2011. *Control Regulation 5 CCR 1002-72 Stormwater Permit Requirements Guidance Document.*

<sup>3</sup> CR 5CCR 1002-72, specifically 72.7.2(b)(5)(i)

<sup>4</sup> CR 5CCR 1002-72; specifically, 72.7.2(c)(6)(i)(A)

**Review Comments**

The Authority takes no exception to this Final Development Plan submittal; however, reserves the right to comment on all subsequent / future project referrals.

If you have any questions, please contact me at (303) 726-5577.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Jim Swanson", written in a cursive style.

James R. "Jim" Swanson, PE  
For the Cherry Creek Basin Water Quality Authority

cc: Chuck Reid, Manager, CCBWQA



**CENTENNIAL AIRPORT**  
ARAPAHOE COUNTY PUBLIC AIRPORT AUTHORITY

7800 South Peoria Street, Unit G1  
Englewood, Colorado 80112  
main: 303.790.0598  
fax: 303.790.2129  
www.centennialairport.com

July 28, 2016

Ms. Molly Orkild-Larson  
Arapahoe County Public Works and Development  
6924 S. Lima Street  
Centennial, CO 80112-3853

Re: P16-008; 163 INVERNESS #61

Dear Ms. Orkild-Larson,

Thank you for the opportunity to review the Final Development Plan for 163 Inverness #61. We have the following comments to make on the project:

- The proposed development lies within the Buffer Zone (BZ) of the Airport Influence Area (AIA), and will be subjected to numerous aircraft overflights and their associated effects. These effects include, but are not limited to: noise, smoke, dust, fumes and vibrations.
- It would appear that an avigation easement has been executed for the property. Please forward a copy of the recorded easement to our office.
- Book and page number of the avigation easement must be included on all plats and plans.
- Any objects on the site (including cranes used during construction) that penetrate a 100:1 slope from the nearest point of the nearest runway, penetrates the FAA Part 77 airspace surface, impede signals associated with navigational equipment or any other reason the FAA deems necessary will require the filing and approval of FAA Form 7460-1. This form may take 90 days or more for approval. Please visit <https://oeaaa.faa.gov> to utilize the notice criteria tool to confirm filing requirements and to file the FAA Form 7460-1. **Please note that this is a State and Federal regulatory requirement. Our calculations show that a Form 7460-1 will be required for both the building and associated cranes.** In addition, please have crane operators advise the airport prior to erecting any cranes.
- A 7-day noise test is recommended.
- Please include the Airport on the vicinity map.

Please feel free to call me if you have any questions.

Sincerely,

Mike Fronapfel  
Director of Planning and Development



May 25, 2016  
Molly Orkild-Larson  
Arapahoe County Public Works  
6924 S. Lima Street  
Centennial, CO 80112

RE: 163 Inverness Drive, P16-008  
TCHD Case No. 3896

Dear Ms. Orkild-Larson:

Thank you for the opportunity to review and comment on the Final Development Plan for a building located at 163 Inverness Drive. Tri-County Health Department (TCHD) staff reviewed the application for compliance with applicable environmental and public health regulations and has the following comment.

Community Planning for Healthy Behaviors

Chronic diseases related to physical inactivity and obesity now rank among the nation's greatest public health risks. Because a growing body of research shows that thoughtful community design can promote people walking or biking as part of their daily routines, TCHD strongly supports such "active community" designs. We also support transit because each transit trip also includes a walking segment. Finally, we encourage site plans that facilitate bicycling, walking and transit as a means of transportation because reduced vehicle miles benefit air quality. TCHD would like to commend the applicant for incorporating bike racks in their design as well as providing a strong sidewalk connection from the building entrance to the site exit.

Please feel free to contact me at 720-200-1580 or [vrichard@tchd.org](mailto:vrichard@tchd.org) if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to be "V. Richardson", written over a horizontal line.

Vanessa Richardson  
Environmental Health Specialist II

CC: Sheila Lynch, Laura DeGolier, TCHD



## Board Summary Report

**Date:** September 27, 2016  
**To:** Board of County Commissioners  
**From:** Dick Hawes, Department Director, Facilities and Fleet Management  
**Subject:** Select Source Procurement Waiver – Real Estate Services Affiliation

### Request and Recommendation

Facilities and Fleet Management (FFM) requests the Board of County Commissioners approve a resolution authorizing a Waiver of Purchasing Policies for a select source procurement with Inverness Properties, to act as supervising broker for Mr. Ken Morris, Manager, Project Management Office, FFM and Dick Hawes, Director, FFM for county real estate transactions.

### Background

This request was heard before the Board of County Commissioners at a drop-in session on September 19, 2016. It was recommended for approval by all five (5) commissioners in attendance and moved to the Consent Agenda with no changes.

Attested By: Dick Hawes

**RESOLUTION NO.** It was moved by Commissioner and duly seconded by Commissioner to authorize the Chair of the Board of County Commissioners to sign a waiver of the Arapahoe County Purchasing Policies for a select source procurement agreement with Inverness Properties to act as supervising broker for Mr. Ken Morris, Manager, Project Management Office, Facilities and Fleet Management and Dick Hawes, Director, Facilities and Fleet Management for county real estate transactions.

The vote was:

Commissioner Bockenfeld, ; Commissioner Doty, ; Commissioner Holen, ; Commissioner Jackson, ; Commissioner Sharpe, .

The Chair declared the motion carried and so ordered.



## Board Summary Report

**Date:** September 12, 2016  
**To:** Board of County Commissioners  
**Through:** David C. Walcher, Sheriff  
**From:** Olga Fujaros, Budget & Logistics Manager  
**Subject:** Resolution to Authorize the Sheriff to sign the 2016 State Plan of Operation

**Direction/Information:** The Sheriff's Office is giving information and seeking approval.

### Request and Recommendation

The purpose of this report is to request that the Board of County Commissioners approve a resolution to allow the Sheriff to sign the 2016 State Plan of Operation.

### Background

The 2016 State Plan of Operations (SPO) is an agreement between the State of Colorado and a law enforcement agency. The document sets forth the terms and conditions which will be binding on the parties with respect to transferred excess Department of Defense personal property. The governor has designated in writing to implement this program statewide as well as conduct management and oversight.

### Discussion

The Secretary of Defense is authorized to transfer to State Law Enforcement Agencies personal property that is excess to the needs of the Department of Defense and that the Secretary of Defense determines is suitable to be used by agencies in law enforcement activities. Law enforcement activities are defined as activities performed by governmental agencies whose primary function is the enforcement of applicable Federal, State, and local laws and whose compensated law enforcement officers have power of arrest and apprehension.

This program allows for a transfer of property which would otherwise be destroyed. The program does not purchase any property for distribution.

### Alternatives

None.

### Fiscal Impact

There is no cost to the Sheriff's Office to be part of the program. The Law Enforcement Support Office is funded by the Colorado Department of Public Safety.

### Concurrence

The Sheriff's Office Administration and the Support Services Bureau are in concurrence with this decision.

**Attorney Comments**

**Reviewed By:**

Olga Fujaros, Budget & Logistics Manager  
Larry Etheridge, Support Services Bureau Chief  
Louie Perea, Undersheriff  
David C. Walcher, Sheriff  
County Attorney

**RESOLUTION NO.** It was moved by Commissioner and duly seconded by Commissioner to approve and to authorize the Arapahoe County Sheriff to sign the 2016 State Plan of Operation (SPO). This SPO will grant the Sheriff's Office eligibility to request excess personal property from the Department of Defense.

The vote was:

Commissioner Bockenfeld, ; Commissioner Doty, ; Commissioner Holen, ;  
Commissioner Jackson, ; Commissioner Sharpe, .

The Chair declared the motion carried and so ordered.

- New
- Update

## LAW ENFORCEMENT AGENCY (LEA) APPLICATION FOR PARTICIPATION

**\*\*\*This application must be updated and resubmitted within 30 days of any changes\*\*\***

Federal    State    Tribal    Federal Agencies only: (Parent Affiliate i.e. DOJ): \_\_\_\_\_

2YTXXX DODAAC (Update Only): \_\_\_\_\_

AGENCY: \_\_\_\_\_

PHYSICAL ADDRESS (No P.O. Box): \_\_\_\_\_

CITY: \_\_\_\_\_ STATE: \_\_\_\_\_ ZIP: \_\_\_\_\_

**\*\*\*AGENCY MUST HAVE AT LEAST 1 FULL-TIME OFFICER TO PARTICIPATE IN THE PROGRAM\*\*\*  
INDICATE THE NUMBER OF COMPENSATED OFFICERS WITH ARREST AND APPREHENSION AUTHORITY**

FULL-TIME: \_\_\_\_\_ PART-TIME: \_\_\_\_\_

**SCREENER POC(s): INCLUDE EMAIL ADDRESS AND DIRECT CONTACT PHONE NUMBER IF AVAILABLE**

**\*MAIN POC: Is the Primary POC for requests and property pickup**

	NAME: LAST, FIRST	EMAIL	PHONE #
*SCREENER/MAIN POC			
SCREENER/POC #2			
SCREENER/POC #3			
SCREENER/POC #4			
WEAPON/POC			
AIRCRAFT/POC			
VEHICLE/POC			

**NOTICE:** LAW ENFORCEMENT ACTIVITIES ARE DEFINED AS: GOVERNMENTAL AGENCIES WHOSE PRIMARY FUNCTION IS THE ENFORCEMENT OF APPLICABLE FEDERAL, STATE AND LOCAL LAWS AND WHOSE COMPENSATED LAW ENFORCEMENT OFFICERS HAVE THE POWERS OF ARREST AND APPREHENSION.

Upon acceptance into the Program, I understand that I have 30 days to familiarize myself with the State Plan of Operation and all Program guidance that is provided by the State Coordinator and that by signing, I certify that all information contained above is valid and accurate (N/A for Federal Agencies).

By signing this I/we certify under penalty of perjury that the foregoing is true and correct. Making a false statement may result in judicial actions or prosecution under 18 USC § 1001.

**CHIEF LAW ENFORCEMENT OFFICIAL/  
HEAD OF LOCAL AGENCY**

**DATE:** \_\_\_\_\_

\_\_\_\_\_  
PRINTED NAME

\_\_\_\_\_  
SIGNATURE

**STATE COORDINATOR/SPOC:  
(NOT REQUIRED FOR FEDERAL AGENCIES)**

**DATE:** \_\_\_\_\_

\_\_\_\_\_  
PRINTED NAME

\_\_\_\_\_  
SIGNATURE

# STATE PLAN OF OPERATIONS

## BETWEEN THE STATE OF

**Colorado**

**AND THE**

---

### **I. PURPOSE**

This State Plan of Operation (SPO) is entered into between the State of Colorado and the (*LEA name*) \_\_\_\_\_, to set forth the terms and conditions which will be binding on the parties with respect to excess Department of Defense (DOD) personal property transferred pursuant to 10 USC § 2576a in order to promote the efficient and expeditious transfer of property and to ensure accountability of the same.

### **II. AUTHORITY**

The Secretary of Defense is authorized by 10 USC § 2576a to transfer to State Law Enforcement Agencies, personal property that is excess to the needs of the DOD and that the Secretary determines is suitable to be used by such agencies in law enforcement activities, with preferences for counter-drug / counter-terrorism or border security activities, under such terms prescribed by the Secretary. The authorities granted to the Secretary of Defense have been delegated to the Defense Logistics Agency (DLA) in determining whether property is suitable for use by agencies in Law Enforcement Activities (LEAs). DLA defines law enforcement activities as activities performed by governmental agencies whose primary function is the enforcement of applicable Federal, State, and local laws and whose compensated law enforcement officers have powers of arrest and apprehension. This program is also known as the “1033 Program” or the “LESO Program” and is administered by DLA Disposition Services, Law Enforcement Support Office (LESO).

### **III. GENERAL TERMS AND CONDITIONS**

#### **A. OPERATIONAL AUTHORITY**

The Governor of the State of Colorado has designated in writing with an effective date of July 15, 2016 to implement this program statewide as well as conduct management and oversight of this program. Funding / Budgeting to administer this program is provided by the Colorado Department of Public Safety.

The provided funding is used to support assistance to the LEAs with customer service to include

computer / telephone assistance and physical visits to the LEAs to assist with acquiring access to the LESO Program. The staffing to provide the support to the LEAs within the State of Colorado is as follows:

State Coordinator (SC): Alice Huyler

The following is the facility / physical location and business hours to provide customer service to those LEAs currently enrolled, as well as interested participants of the LESO Program:

Agency Address / Location: 700 Kipling St, Ste 2000, Lakewood, CO 80215

EMAIL / Contact Phone Numbers: [alice.huyler@state.co.us](mailto:alice.huyler@state.co.us), 303-239-5776

Fax Number: 303-239-5775

Hours of Operation: Monday – Friday, 8:00 a.m. – 5:00 p.m.

B. The DLA LESO has final authority to determine the type, quantity, and location of excess DOD personal property suitable for law enforcement activities, if any, which will be transferred to the (*LEA name*) \_\_\_\_\_.

C. This agreement creates no entitlement to the LEA to receive excess DOD personal property.

D. The (*LEA name*) \_\_\_\_\_ understands that property made available under this agreement is for the use of authorized program participants only. Property may not be obtained for any individual, organization, or agency that has not been approved as a participant in the LESO Program. All requests for property must be based on bona fide law enforcement requirements. Property will not be obtained by any authorized participant for the purpose of sale, lease, loan, personal use, rent, exchange, barter, transfer, or to secure a loan.

E. Controlled property (equipment) includes any property that has a demilitarization (DEMIL) Code of B, C, D, F, G, and Q; and property, regardless of demilitarization code, that was specifically identified in the Law Enforcement Equipment Working Group Report from May 2015, created pursuant to Executive Order 13688 (EO). The Working Group Report mandates that the following items be treated as controlled property:

- 1) Manned Aircraft, fixed or rotary wing
- 2) Unmanned Aerial Vehicles
- 3) Wheeled Armored Vehicles
- 4) Wheeled Tactical Vehicles
- 5) Command and Control Vehicles
- 6) Specialized Firearms and Ammunition Under .50 Cal (excluded firearms and ammunition for service-issued weapons)
- 7) Explosives and Pyrotechnics
- 8) Breaching apparatus

- 9) Riot Batons
- 10) Riot Helmets
- 11) Riot Shields

F. LEAs that request items in Paragraph E above must provide all required information outlined in the Law Enforcement Equipment Working Group Report and all information on the LESO request form. Among other specific requirements identified in these documents, LEAs will be required to certify and submit:

- 1) A detailed written justification with a clear and persuasive explanation of the need for the property and the law enforcement purposes it will serve;
- 2) Evidence of approval or concurrence by the LEA's civilian governing body (city council, mayor, etc.);
- 3) The LEA's policies and protocols on deployment of this type of property;
- 4) Certifications on required training for use of this type of property; and
- 5) Information on whether the LEA has applied, or has pending an application, for this type of property from another Federal agency.

G. The (*LEA name*) \_\_\_\_\_ must maintain and enforce regulations designed to impose adequate security measures for controlled property to mitigate the risk of loss or theft.

H. Under no circumstances will controlled property be sold or otherwise transferred to non-U.S. persons, or exported. All transfers must be approved by the State and DLA Disposition Services LESO.

I. Cannibalization requests for controlled property must be submitted in writing to the State, with final approval by the LESO. The LESO will consider cannibalization requests on a case-by-case basis.

J. The LESO conditionally transfers all excess DOD property to States / LEAs enrolled in the LESO Program. Title or ownership of controlled property will remain with the LESO in perpetuity and will not be relinquished to the LEAs. When the LEA no longer has legitimate law enforcement uses for controlled property, the LEA must notify the State, who will then notify the LESO, and the controlled property must either be transferred to another enrolled LEA (via standard transfer process) or returned to DLA Disposition Services for disposal. The LESO reserves the right to recall controlled and non-controlled property issued through the LESO Program at any time.

K. Property with a DEMIL Code of "A" is also conditionally transferred to the LEA. However, after one year from the Ship Date, the LESO will relinquish ownership and title to the LEA. Prior to this date, the State and LEA remains responsible for the accountability and physical control of the item(s) and the LESO retains the right to recall the property. Title will not be relinquished to any property with DEMIL Code of "A" that is controlled property identified in Paragraph III E.

- 1) Property with DEMIL Code of “A” will automatically be placed in an archived status on the LEAs property book upon meeting the one year mark.
- 2) Once archived, the property is no longer subject to annual inventory requirements and will not be inventoried during a LESO Program Compliance Review (PCR).
- 3) Ownership and title of DEMIL “A” items that have been archived will pass automatically from the LESO to the LEA when they are archived at the one year mark (from Ship Date) without issuance of any further documentation.
- 4) LEAs receive title and ownership of DEMIL “A” items as governmental entities. Title and ownership of DEMIL “A” property does not pass from DOD to any private individual or LEA official in their private capacity. Accordingly, such property should be maintained and ultimately disposed of in accordance with provisions in State and local law that govern public property. Sales or gifting of DEMIL “A” property after the one year mark in a manner inconsistent with State or local law may constitute grounds to deny future participation in the LESO Program.

L. The LEAs are not authorized to transfer controlled property or DEMIL Code “A” property carried on their inventory without LESO notification and approval. Property will not physically move until the State and LESO approval process is complete.

#### **IV. ENROLLMENT**

A. An LEA must have at least one full-time law enforcement officer in order to enroll and/or receive property via the LESO Program. Only full-time and part-time law enforcement officers are authorized to receive property. Reserve officers are not authorized to receive property.

B. The State shall:

- 1) Implement LESO Program eligibility criteria in accordance with 10 USC § 2576a, DLA Instructions and Manuals, and the DLA MOA the State signs.
- 2) Receive and process applications for participation from LEAs currently enrolled and those LEAs that wish to participate in the LESO Program.
- 3) Receive and recommend approval or disapprove LEA applications for participation in the LESO Program. The State Coordinators have sole discretion to disapprove LEA applications on behalf of the Governor of their State. The

LESO should be notified of any applications disapproved at the State Coordinator level. The State Coordinator will only forward and recommend certified LEAs to the LESO that are government agencies whose primary function is the enforcement of applicable Federal, State, and local laws and whose compensated officers have the powers of arrest and apprehension. The LESO retains final approval / disapproval authority for all LEA applications forwarded by State

Coordinators.

- 4) Ensure LEAs enrolled in the LESO Program update the LEAs account information annually (accomplished during the FY Annual Inventory in the Federal Excess Property Management Information System [FEPMIS]).
- 5) Provide a comprehensive overview of the LESO Program to all LEAs once they are approved for enrollment. This comprehensive overview must be done within thirty (30) days and include, verbatim, the information contained in Paragraph III E of this SPO.
- 6) Ensure that screeners of property are employees of the LEA. Contractors may not conduct screening on behalf of the LEA.
- 7) Ensure that at least one person per LEA maintains access to the FEPMIS.
- 8) Account holders must be employees of the LEA.

## **V. ANNUAL INVENTORY REQUIREMENTS**

A. Per the DLA Instructions and Manuals and the DLA MOA, each State and participating LEA within is required to conduct an annual inventory certification of controlled property, which includes DEMIL "A" for one (1) year from Ship Date. Annual inventories start on October 1 of each year and end December 15 of each year.

B. The State shall:

- 1) Receive, validate, and reconcile incoming certified inventories from the LEAs.
- 2) Ensure LEAs provide serial numbers and photos identified during the annual inventory process for inclusion in the LESO property accounting system for all controlled property identified in Paragraph III E, small arms and other unique items as required. For equipment that does not contain a serial number, such as riot control or breaching equipment, a photograph will suffice.
- 3) Suspend the LEA as a result of the LEAs failure to properly conduct and/or certify and submit certified inventories, according to the aforementioned requirements.

C. The LEA shall:

- 1) Complete the annual physical inventory as required.
- 2) Provide serial numbers and photos identified in the annual inventory process for inclusion in the LESO property accounting system for all controlled property identified in Paragraph III E, small arms and other unique items, as required. For equipment that does not contain serial number, such as riot control or breaching equipment, a photograph will suffice.
- 3) Certify the accountability of all controlled property received through the LESO

Program annually by conducting and certifying the physical inventory. The LEA must adhere to additional annual certification requirements as identified by the LESO.

a. The State and the LESO requires each LEA to submit certified inventories for their Agency by December 15 of each year. The Fiscal Year (FY) is defined as October 1 through September 30 of each year. This gives the LEA two and one-half (2 ½) months to physically inventory LESO Program property in their possession and submit their certified inventories to the State Coordinators.

(1) The LESO requires a front or side and data plate photo for Aircraft and Tactical Vehicles that are serial number controlled, received through the LESO Program.

(2) The LESO requires serial number photos for each small arm received through the LESO Program.

b. The LEAs failure to submit the certified annual inventory by December 15 may result in the agency being suspended from operations within the LESO Program. Further failure to submit the certified annual inventory may result in a LEA termination.

4) Be aware that High Profile Commodities (Aircraft, Tactical Vehicles and Small Arms) and High Awareness (controlled) property are subject to additional controls.

## **VI. PROGRAM COMPLIANCE REVIEWS**

A. The LESO conducts a Program Compliance Review (PCR) for each State that is enrolled in the LESO Program every two (2) years. The LESO reserves the right to require an annual PCR, or similar inspection on a more frequent basis for any State. The LESO PCRs are performed in order to ensure that State Coordinators, SPOCs and all LEAs within a State are compliant with the terms and conditions of the LESO Program as required by 10 USC § 2576a, DLA Instructions and Manuals, and the DLA MOA signed by the State.

1) If a State and/or LEA fails a PCR, the LESO will immediately suspend their operations and will subsequently issue corrective actions (with suspense dates) to the State Coordinator, which will identify what is needed to rectify the identified deficiencies within the State and/or LEA.

2) If a State and/or LEA fails to correct identified deficiencies by the given suspense dates, the LESO will move to terminate the LESO Program operations within the State and/or LEA.

B. The State shall:

1) Support the LESO PCR process by:

a. Contacting LEAs selected for the PCR review via phone and/or email to

ensure they are aware of the PCR schedule and prepared for review.

- b. Receiving inventory selection from the LESO. The LEA POCs shall gather the selected items in a centralized location to ensure that the LESO can efficiently inventory the items.
  - c. Providing additional assistance to the LESO as required, prior to and during the course of the PCR.
- 2) Conduct internal Program Compliance Reviews of LEAs participating in the LESO Program in order to ensure accountability, program compliance and validate annual inventory submissions are accurate. The State Coordinator must ensure an internal PCR of at least 5% of LEAs that have a property book from the LESO Program within his / her State is completed annually. This may result in a random review of all or selected property at the LEA.
- a. The internal PCR will include, at minimum:
    - (1) A review of each selected LEAs LESO Program files.
    - (2) A review of the signed State Plan of Operation (SPO).
    - (3) A review of the LEA application and screener's letter.
    - (4) A physical inventory of the LESO Program property at each selected LEA.
    - (5) A specific review of each selected LEAs files for the following:  
DD Form 1348-1A for each item currently on inventory, small arms documentation, transfer documents, turn-in documents, inventory adjustment documents, exception to policy letters (if any), approved cannibalization requests (if any), and other pertinent documentation as required.
  - b. The State and/or LEA will bear all expenses related to the repossession and/or turn-in of LESO Program property to the nearest DLA Disposition Services site.

## **VII. STATE PLAN OF OPERATION (SPO)**

A. The State shall:

- 1) Identify, establish, and issue minimum criteria to be included in the SPO for the State and each participating LEA.
- 2) Establish a State Plan of Operation, developed in accordance with Federal and State law, and conforming (at minimum) to the provisions of the DLA Instruction and Manuals and the DLA MOA.

- a. The SPO will include detailed organizational and operational authority including: staffing, budget, facilities, and equipment that the State believes is sufficient to manage the LESO Program within their State.
  - b. The SPO must address procedures for making determinations of LEA eligibility, allocation, and equitable distribution of material, accountability and responsibility concerning excess DOD personal property, inventory requirements, training and education, State-level internal Program Compliance Reviews (PCR), and procedures for turn-in, transfer, and disposal.
- 2) Enter into written agreement with each LEA, via the LESO approved State Plan of Operation, to ensure the LEA fully acknowledges the terms, conditions, and limitations applicable to property transferred pursuant to this agreement. The State Plan of Operation must be signed by the Chief Law Enforcement Official (CLEO), or assigned designee of the respective LEA, and the current State Coordinator.
  - 3) Request that the LESO Suspend or Terminate an LEA(s) from the LESO Program when an LEA fails to comply with any term of DLA MOA, the DLA Instruction and Manuals, any Federal statute or regulation, or the State Plan of Operation.

## **VIII. REPORTING REQUIREMENTS FOR LOST, MISSING, STOLEN, DAMAGED OR DESTROYED LESO PROGRAM PROPERTY**

A. All property Lost, Missing, Stolen, (LMS) damaged, or destroyed carried on a LEA's current inventory must be reported to the LESO.

- 1) Controlled property must be reported to the State and the LESO within twenty-four (24) hours. The aforementioned property may require a police and National Crime Information Center (NCIC) report submitted to the LESO, to include DEMIL "A" items that are considered controlled items in Paragraph III E.
- 2) Property with a DEMIL Code of "A" must be reported to the State and the LESO within seven (7) days.
- 3) All reports are subject to review by the DLA Office of the Inspector General (OIG).

B. LESO may grant extensions to the reporting requirements listed above on a case-by-case basis.

## **IX. AIRCRAFT AND SMALL ARMS**

A. All aircraft are considered controlled property, regardless of DEMIL Code. Aircraft may not be sold and must be returned to the LESO at the end of their useful life. This State Plan of Operation ensures that all LEAs and all subsequent users are aware of and agree to provide all required controls and documentation in accordance with applicable laws and regulations for these items.

B. LEAs no longer requiring small arms issued through the LESO Program must request authorization to transfer or turn-in small arms. Transfers and turn-ins must be forwarded and endorsed by the State Coordinator's office first, and then approved by the LESO. Small Arms will not physically transfer until the approval process is complete.

C. Small Arms that are issued must have a documented chain of custody, with the chain of custody including a signature of the receiving officer indicating that he / she has received the appropriate small arm(s) with the correct, specific serial number(s). Small Arms that are issued to an officer will be issued utilizing an Equipment Custody Receipt (ECR); this Custody Receipt obtains the signature of the officer responsible for the small arm.

## **X. RECORDS MANAGEMENT**

The LESO, State Coordinator, and LEAs enrolled in the LESO Program must maintain all records in accordance with the DLA Records Schedule. Records for property acquired through the LESO Program have retention controls based on the property's DEMIL Code. All documents concerning a property record must be retained.

- 1) Property records for items with DEMIL Code of "A" must be retained for two (2) calendar years from ship date, and then may be destroyed.
- 2) Property records for controlled property must be retained for five (5) calendar years or for the life span of the property, whichever is longer.
- 3) Environmental Property records must be retained for fifty (50) years, regardless of DEMIL Code (Chemicals, Batteries, Hazardous Material / Hazardous Waste).
- 4) LESO Program files must be segregated from all other records.
- 5) All property records must be filed, retained, and destroyed in accordance with DLA Records Schedule. These records include, but are not limited to, the following:  
DD Form 1348-1A, requests for transfer, turn-in, or disposal, approved Bureau of Alcohol, Tobacco, Firearms and Explosives (BATFE) Forms 10 and 5, Certificate of Aircraft Registration (AC Form 8050-3), Aircraft Registration Application (AC 8050-1) and any other pertinent documentation and/or records associated with the LESO Program.

## **XI. LESO PROGRAM ANNUAL TRAINING**

A. 10 USC § 380 provides that the Secretary of Defense, in cooperation with the U.S. Attorney General, shall conduct an annual briefing of law enforcement personnel of each state. The briefing will include information on training, technical support, equipment, and facilities that are available to civilian law enforcement personnel from the Department of Defense.

B. The State shall organize and conduct training pertaining to information, equipment, technical support and training available to LEAs via the LESO Program.

C. The State shall ensure at least one representative (i.e. the State Coordinator or SPOC) attend the annual training that the LESO conducts.

## **XII. PROPERTY ALLOCATION**

A. The State Shall:

- 1) Provide the LESO website that will afford timely and accurate guidance, information, and links for all LEAs who work, or have an interest in, the LESO Program.
- 2) Upon receipt of a valid State / LEA request for property through the DLA Disposition Services RTD website, a preference will be given to those applications indicating that the transferred property will be used in the counter-drug, counter-terrorism, or border security activities of the recipient agency. Additionally, to the greatest extent possible, the State will ensure fair and equitable distribution of property based on current LEAs inventory and justification for property.
- 3) The State and the LESO reserve the right to determine and/or adjust allocation limits. Generally, no more than one of any item per officer will be allocated to an LEA. Quantity exceptions may be granted on a case-by-case basis by the LESO. Currently, the following quantity limits apply:
  - a. Small Arms: one (1) type for each qualified officer, full-time / part-time;
  - b. HMMWVs: one (1) vehicle for every three (3) officers;
  - c. MRAPs: one (1) vehicle per LEA.
- 4) The State and the LESO reserve final authority on determining the approval and/or disapproval for requests of specific types and quantities of excess DOD property.

B. The LEA shall:

- 1) Ensure an appropriate justification is submitted when requesting excess DOD property via the LESO Program and will ensure LESO Program property will be used for the law enforcement activity and for law enforcement purposes only within his / her State and agency.
- 2) When requesting property, provide a justification to the State and the LESO on how the requests for property will be used in counter-drug, counter-terrorism, or border security activities of the recipient agency. Additionally, the LEA should be fair and equitable when making requisitions based on current LEA inventory and the justification for property. Generally, no more than one of any item per officer will be allocated.
- 3) Ensure screeners of property are employees of the LEA. Contractors may not conduct screening on behalf of the LEA.
- 4) Obtain access to FEPMIS to ensure the property book is properly maintained, to

include but not limited to transfers, turn-ins, and disposal requests and to generate these requests at the LEA level and forward all approvals to the State for action.

- 5) Ensure at least one person per LEA maintains access to FEPMIS. FEPMIS account holders must be employees of the LEA.

### **XIII. PROGRAM SUSPENSION & TERMINATION**

A. The State and LEA are required to abide by the terms and conditions of the DLA MOA in order to maintain active status.

B. The State shall:

- 1) Suspend LEAs for a minimum of sixty (60) days in all situations relating to the suspected or actual abuse of LESO Program property or requirements and/or repeated failure to meet the terms and conditions of the DLA MOA. Suspension may lead to TERMINATION.
- 2) The State and/or the LESO have final discretion on reinstatement requests. Reinstatement to full participation from a suspension and/or termination is not automatic.
- 3) In coordination with the LESO, issue corrective action guidance to the LEA with suspense dates to rectify issues and/or discrepancies that caused suspension and/or termination.
- 4) Require the LEA to submit results regarding all completed police investigations and/or reports regarding lost, missing, stolen and/or damaged LESO Program property, to include the LEAs Corrective Action Plan (CAP).
- 5) Suspend or terminate an LEA from the LESO Program if an LEA fails to comply with any term of the DLA MOA, the DLA Instruction and Manuals, any Federal statute or regulation, or the State Plan of Operation.
  - a. In the event of an LEA termination, the State Coordinator will make every attempt to transfer the LESO Program property of the terminated LEA to an authorized State or LEA, as applicable, prior to requesting a turn-in of the property to the nearest DLA Disposition Services location.
  - b. In cases relating to an LEA termination, the LEA will have ninety (90) days to complete the transfer or turn-in of all LESO Program property in their possession.

C. The LEA shall:

- 1) Notify the State Coordinator's office and initiate an investigation into any questionable activity or actions involving LESO property issued to the LEA that comes to the attention of the CLEO, and is otherwise within the authority of the

Governor / State to investigate. LEAs must understand that the State Coordinators, acting on behalf of their Governor, may revoke or terminate their concurrence for LEA participation in the LESO Program at any time, and for any reason.

- 2) Understand that the State may suspend LEA(s) and/or LEA POC(s) from within their State, based upon their findings during internal Program Compliance Reviews and/or spot checks at the State level.
- 3) Initiate corrective action to rectify suspensions and/or terminations placed upon the LEA for failure to meet the terms and conditions of the LESO Program.
- 4) Be required to complete and submit results regarding all completed police investigations and/or reports regarding lost, missing, stolen and/or damaged LESO Program property. The LEA must submit all documentation to the State and the LESO upon receipt.
- 5) Provide documentation to the State and the LESO when actionable items are rectified for the State and/or LEA(s).
- 6) The LEAs Chief Law Enforcement Official must request reinstatement as required, via the State Coordinator or SPOC(s), to full participation status at the conclusion of a suspension period.

#### **XIV. COSTS & FEES**

All costs associated with the transportation, turn-in, transfer, repair, maintenance, insurance, disposal, repossession or other expenses related to property obtained through the LESO Program is the sole responsibility of the State and/or LEA.

#### **XV. NOTICES**

Any notices, communications, or correspondence related to this agreement shall be provided by E-mail, the United States Postal Service, express service, or facsimile to the State Coordinators office or cognizant DLA office. The LESO may, from time to time, make unilateral modifications or amendments to the provisions of this SPO. Notice of these changes will be provided to State Coordinators in writing. Unless State Coordinators take immediate action to terminate this SPO in accordance with Section XVIII, such modifications or amendments will become binding. In such cases, reasonable opportunity will, insofar as practicable, be afforded the State Coordinator to conform changes affecting their operations.

#### **XVI. ANTI-DISCRIMINATION**

A. By signing this SPO, or accepting excess DOD personal property under this SPO, the State pledges that it and each LEA agrees to comply with applicable provisions of the following national policies prohibiting discrimination:

- 1) On the basis of race, color, or national origin, in Title VI of the Civil Rights Act of 1964 (42 USC 2000d et seq.) as implemented by DOD regulations 32 CR Part 195.

- 2) On the basis of age, in the Age Discrimination Act of 1975 (42 USC 6101, et seq) as implemented by Department of Health and Human Services regulations in 45 CFR Part 90.
- 3) On the basis of handicap, in Section 504 of the Rehabilitation Act of 1973, P.L. 93-112, as amended by the Rehabilitation Act Amendments of 1974, P.L. 93-516 (29 USC 794), as implemented by Department of Justice regulations in 28 CFR Part 41 and DOD regulations at 32 CFR Part 56.

B. These elements are considered the minimum essential ingredients for establishment of a satisfactory business agreement between the State and the DOD.

## **XVII. INDEMNIFICATION CLAUSE**

The State / LEA is required to maintain adequate insurance to cover damages or injuries to persons or property relating to the use of property issued under the LESO program. Self-insurance by the State / LEA is considered acceptable. The U.S. Government assumes no liability for damages or injuries to any person(s) or property arising from the use of property issued under the LESO program. It is recognized that State and local law generally limit or preclude State Coordinators / LEAs from agreeing to open-ended indemnity provisions. However, to the extent permitted by State and local laws, the State / LEA shall indemnify and hold the U.S. Government harmless from any and all actions, claims, debts, demands, judgments, liabilities, cost, and attorney's fees arising out of, claimed on account of, or in any manner predicated upon loss of, or damage to property and injuries, illness or disabilities to, or death of any and all persons whatsoever, including members of the general public, or to the property of any legal or political entity including states, local and interstate bodies, in any manner caused by or contributed to by the State / LEA, its agents, servants, employees, or any person subject to its control while the property is in the possession of, used by, or subject to the control of the State / LEA, its agents, servants, or employees after the property has been removed from U.S. Government control.

## **XVIII. TERMINATION**

A. This SPO may be terminated by either party, provided the other party receives thirty (30) days' notice, in writing, or as otherwise stipulated by Public Law.

B. The undersigned State Coordinator and CLEO hereby agree to comply with all provisions set forth herein and acknowledge that any violation of the terms and conditions of this SPO may be grounds for immediate termination and possible legal consequences, to include pursuit of criminal prosecution if so warranted.

**XIX. IN WITNESS THEREOF**, the parties hereto have executed this agreement as of the last date written below.

\_\_\_\_\_  
Type / Print Chief Law Enforcement Official Name

\_\_\_\_\_  
Chief Law Enforcement Official Signature

\_\_\_\_\_  
Date (MM/DD/YYYY)

\_\_\_\_\_  
Type / Print State Coordinator Name

*Alice Hugler*

\_\_\_\_\_  
State Coordinator Signature

\_\_\_\_\_  
Date (MM/DD/YYYY)