



::Administration Building  
East Hearing Room  
5334 S. Prince St.  
Littleton, CO 80120  
303-795-4630  
Relay Colorado 711  
303-795-4630 Audio Agenda Line

Nancy A. Doty, Chair, District 1  
Nancy Sharpe, District 2  
Rod Bockenfeld, District 3  
Nancy Jackson, Chair Pro-Tem, District 4  
Bill Holen, District 5

**Public Meeting**  
**September 13, 2016**  
**9:30 A.M.**

The Board of County Commissioners holds its weekly Public Hearing at 9:30 a.m. on Tuesdays. Public Hearings are open to the public and items for discussion are included on this agenda. Items listed on the consent agenda are adopted with one vote. Items listed under regular business are considered separately. Agendas are available through the Commissioners' Office or through the County's web site at [www.arapahoegov.com](http://www.arapahoegov.com). Questions about this agenda, please contact the Commissioners' Office at 303-795-4630 or by e-mail at [commissioners@arapahoegov.com](mailto:commissioners@arapahoegov.com).

**AGENDA**

1. **CALL TO ORDER**  
Arapahoe County Board of County Commissioners
2. **INTRODUCTION**  
Ron Carl, County Attorney  
Joleen Sanchez, Asst. Clerk to the Board
3. **ROLL CALL**
4. **PLEDGE OF ALLEGIANCE**
5. **MODIFICATION TO THE AGENDA**
6. **ADOPTION OF THE AGENDA**
7. **APPROVAL OF THE MINUTES**
  - 7.a. **BOCC Public Meeting Minutes - August 9, 2016**

Documents:

[BOCC PUBLIC MEETING MINUTES 08.09.2016.PDF](#)

**8. CITIZEN COMMENT PERIOD**

Citizens are invited to speak to the Commissioners on non-agenda items. There is a 3-minute time limit per person, unless otherwise noted by the Chair.

**9. CONSENT AGENDA**

**9.a. 8.29.2016 Warrant ACH Expenditure Report**

Documents:

[8.29.2016 WARRANT ACH EXPENDITURE REPORT.PDF](#)

**9.b. 2017 Arapahoe County Holiday Schedule**

Adoption of a resolution approving the 2017 Arapahoe County Observed Holiday Schedule

*Dusty Sash, Total Compensation Manager, Human Resources*  
*Patrick L. Hernandez, Director, Human Resources*  
*Dan Perkins, Senior Assistant County Attorney*

Documents:

[BSR - 2017 HOLIDAY SCHEDULE.DOC](#)

**9.c. Abatement ( 20 Resolutions)**

Adoption of twenty (20) resolutions approving the recommendation of the hearing officer for an abatement petition originally denied by the Assessor's Office

*Ron Carl, County Attorney*  
*Karen Thompsen, Paralegal, County Attorney's Office*

Documents:

[9-13-16 PAGE ONE.DOC](#)  
[9-13-16 PAGE TWO.XLSX](#)  
[SAMPLE ABATEMENT RESOLUTION-DENIALS.DOC](#)  
[SAMPLE ABATEMENT RESOLUTION-APPROVAL \(K\).DOC](#)

**9.d. Board of Assessment Appeals**

Adoption of a resolution approving stipulations which resulted from agreements reached between the taxpayer and the County regarding a reduction in the amount of property tax owed, pursuant to the terms contained therein

*Ron Carl, County Attorney*  
*Karen Thompsen, Paralegal, County Attorney's Office*

Documents:

[9 SEPT 13 2016.DOC](#)  
[SAMPLE BAA RESOLUTION.DOC](#)

**9.e. Transfer of Title - Mobile Home IFB-08-63**

Adoption of a resolution authorizing the Chair of the Board of County Commissioners to sign documents necessary for the transfer of title of a mobile home that was sold by the County pursuant to IFB-08-63

*Shannon Carter, Director, Intergovernmental Relations and Open Spaces  
Glen Poole, Open Space Operations Manager, Open Spaces  
Tiffanie Bleau, Senior Assistant County Attorney*

Documents:

[BSR - TITLE TRANSFER MOBIL HOME IFB-08-63.DOCX](#)  
[RESO NO. 160\\_\\_\\_ - TITLE TRANSFER MOBIL HOME IFB-08-63.DOCX](#)

## 10. GENERAL BUSINESS ITEMS

### 10.a. \*PUBLIC MEETING - P15-002 Centennial East Corp Center, Filing 3, Lot 8, Final Development Plan (FDP)

Consideration of a request from the applicant, Ethos Construction, on behalf of the property owner, Jasko Holdings, LLC, for Case P15-002, Centennial East Corporate Center, Filing 3, Lot 8 Final Development Plan, for a proposed 6,000 square foot building to be utilized as office space for a trucking company

*Presenter - Bill Skinner, Senior Planner, Public Works & Development  
Jason Reynolds, Current Planning Manager, Public Works & Development  
Jan Yeckes, Planning Division Manager, Public Works & Development  
David M. Schmit, Director, Public Works & Development  
Todd Weaver, Budget Manager, Finance  
Robert Hill, Senior Assistant County Attorney*

Documents:

[P15-002 BSR.PDF](#)  
[P15-002 DRAFT MOTIONS.PDF](#)  
[P15-002 RESO - FINAL DEVELOPMENT PLAN APPROVAL.PDF](#)  
[P15-002 SR.PDF](#)  
[P15-002 PLAN - CLEAN.PDF](#)

## 11. COMMISSIONER COMMENTS

**\*Denotes a requirement by federal or state law that this item be opened to public testimony. All other items under the "General Business" agenda may be opened for public testimony at the discretion of the Board of County Commissioners.**

*Arapahoe County is committed to making its public meetings accessible to persons with disabilities. Assisted listening devices are available. Ask any staff member and we will provide one for you. If you need special accommodations, contact the Commissioners' Office at 303-795-4630 or Relay Colorado 711.*

*Please contact our office at least 3 days in advance to make arrangements.*

**MINUTES OF THE ARAPAHOE COUNTY  
BOARD OF COUNTY COMMISSIONERS  
TUESDAY, AUGUST 9, 2016**

At a public meeting of the Board of County Commissioners for Arapahoe County, State of Colorado, held at 5334 South Prince Street, Littleton, Colorado 80120 there were:

<b>Nancy Doty, Chair</b>	<b>Commissioner District 1</b>	<b>Present</b>
<b>Nancy Jackson, Chair Pro-Tem</b>	<b>Commissioner District 4</b>	<b>Present</b>
<b>Nancy A. Sharpe</b>	<b>Commissioner District 2</b>	<b>Present</b>
<b>Rod Bockenfeld</b>	<b>Commissioner District 3</b>	<b>Present</b>
<b>Bill Holen</b>	<b>Commissioner District 5</b>	<b>Absent and Excused</b>
<b>Ron Carl</b>	<b>County Attorney</b>	<b>Present</b>
<b>Matt Crane</b>	<b>Clerk to the Board</b>	<b>Absent and Excused</b>
<b>Gail Stumpo</b>	<b>Asst. Clerk to the Board</b>	<b>Present</b>

when the following proceedings, among others, were had and done, to-wit:

**CALL TO ORDER**

Commissioner Doty called the meeting to order.

**INTRODUCTIONS**

**ROLL CALL**

**PLEDGE OF ALLEGIANCE**

**MODIFICATION(S) TO THE AGENDA**

There were no modifications to the agenda.

**ADOPTION OF THE AGENDA**

**The motion was made by Commissioner Jackson and duly seconded by Commissioner Sharpe to adopt the Agenda as presented.**

**The motion passed 4-0, Commissioner Holen absent and excused.**

**ADOPTION OF THE MINUTES**

There were no minutes to approve.

**CEREMONIES**

There were no ceremonies on this date.

**CITIZEN COMMENT PERIOD**

There were no citizen comments on this date.

**CONSENT AGENDA**

**The motion was made by Commissioner Jackson and duly seconded by Commissioner Sharpe to approve the items on the Consent Agenda as presented.**

**The motion passed 4-0, Commissioner Holen absent and excused.**

**GENERAL BUSINESS ITEMS**

There were no general business items on this date.

**COMMISSIONER COMMENTS**

There were no commissioner comments on this date.

**There being no other business before the Board, the public meeting was adjourned by Commissioner Doty at 9:32 a.m.**

**ARAPAHOE COUNTY BOARD OF COUNTY COMMISSIONERS**

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**MATT CRANE, CLERK TO THE BOARD**  
**BY GAIL STUMPO, ASSISTANT CLERK TO THE BOARD**

REPORT FOR 08/23/2016 TO 08/29/2016

## FUNDS SUMMARY:

## FUNDS SUMMARY:

10 General Fund	330,300.90
11 Social Services	148,246.87
14 Law Enforcement Authority Dist	2,596.75
15 Arapahoe / Douglas Works!	26,484.57
16 Road and Bridge	104,177.89
20 Sheriff's Commissary	11,119.16
21 Community Development	5,895.01
26 Grants	8,596.99
28 Open Space Sales Tax	239,561.86
29 Homeland Security - North Cent	130,510.28
33 Building Maintenance Fund	92,326.09
34 Fair Fund	10,895.83
41 Capital Expenditure	493,251.20
42 Infrastructure	16,390.46
43 Arapahoe County Recreation Dis	662.15
44 Arap. County Water and Wastewa	300.00
70 Central Services	20,434.06
71 Self-Insurance Liability	5,768.07
73 Self-Insurance Workers Comp	4,325.78
84 E-911 Authority	34,539.71
	=====
TOTAL	1,686,383.63

## FUND REPORT - EXPENDITURE TYPE

## FUND 10 EXPENDITURE REPORT

ACSO EMPLOYEE TRUST FUND	MISC.	932.00
ADAM WORKMAN	Supplies	181.38
ADAMSON POLICE PRODUCTS	Supplies	705.00
AHMAD PESARAN	MISC.	15.00
ALLEGIAN T MORTUARY TRANSPORT LLC	Services And Other	6,090.00
AMCON THE EYECARE SUPPLY CTR	Supplies	296.69
AMERICAN CORRECTIONAL ASSOCIATION	Supplies	2,130.00
ANDREW CORNELL	Services And Other	128.00
ANISSA CRECELIUS	Services And Other	118.00
ANTHONY CAMERA PHOTOGRAPHY	Services And Other	400.00
ARAPAHOE COUNTY SHERIFFS OFFICE	Supplies	246.40
ARAPAHOE HOUSE	Services And Other	23,333.33
ASSOC OF PUBLIC TREASURERS	Services And Other	192.00
AURORA MENTAL HEALTH CTR	Services And Other	19,500.00
AUTO MOTORS OF ENGLEWOOD LLC	Supplies	197.46
AUTONATION	Supplies	197.46
BACKGROUND INFORMATION SERVICES INC	Services And Other	1,067.00
BASELINE ASSOCIATES INC	Services And Other	840.00
BATTERY SYSTEMS INC	Supplies	159.60
BERUMEN LAW FIRM PC	MISC.	15.00
BETH A KINSKY	Services And Other	40.00
BLANCHARD TRAINING AND DEVELOPMENT	Services And Other	445.22
BOBCAT OF THE ROCKIES LLC	Supplies	49.25
BRIAN MCKNIGHT	Services And Other	130.00
BRIAN WEISS	Services And Other	100.00
BRIDGESTONE RETAIL OPERATIONS LLC	Services And Other	99.98
CALIFORNIA STATE DISBURSEMENT UNIT	MISC.	52.15



## Board Summary Report

**Date:** September 13, 2016  
**To:** Board of County Commissioners  
**From:** Patrick L. Hernandez – Human Resources Director  
Dusty Sash – Total Compensation Manager  
**Subject:** 2017 Holiday Schedule

### Request and Recommendation

During the August 16, 2016 Study Session a proposed holiday schedule for 2017 was reviewed. The Board of County Commissioners requested that the schedule below be added as a Consent Agenda item for formal adoption at a Public Hearing.

### Background

This is the 2017 Holiday Schedule the Board of County Commissioners approved on August 16, 2016. This schedule is consistent with previous years.

- New Year's Day – Monday January 2
- Martin Luther King Day – Monday, January 16
- Presidents' Day – Monday, February 20
- Memorial Day – Monday, May 29
- Independence Day – Tuesday, July 4
- Labor Day – Monday, September 4
- Columbus Day – Monday, October 9
- Veterans' Day – Friday, November 10
- Thanksgiving Day – Thursday, November 23
- Day after Thanksgiving – Friday, November 24
- Christmas Day – Monday, December 25

As Christmas falls on Monday in 2017, there will not be a half day for Christmas Eve.

### Discussion

As paid time-off, holidays are one component of Arapahoe County's total compensation package. This schedule, along with base pay and other benefits were evaluated from an overall perspective.

### Direction Requested

The Commissioners are asked to formally adoption this 2017 Holiday schedule.

### Reviewed By

Finance Department  
County Attorney's Office



## Board Summary Report

**Date:** August 26, 2016  
**To:** Board of County Commissioners  
**Through:** Ronald A. Carl, County Attorney  
**From:** Karen Thompsen, Paralegal  
**Subject:** Abatements - I need 20 Resolution Numbers

### Purpose and Recommendation

The purpose of this request is for the adoption of 20 resolutions approving the recommendation of the hearing officer for an abatement petition originally denied by the Assessor's Office.

### Background

This abatement was filed by petitioner and denied by the Assessor's Office. C.R.S. 39-1-113(1) states "... no decision on any petition regarding abatement or refund of taxes shall be made unless a hearing is had thereon . . ."

### Discussion

The following abatement recommendation is a result of the above-mentioned hearing by the hearing officer.

### Alternatives

None.

### Fiscal Impact

Reduction in the amount of property taxes collected on an approved petition, and no decrease in the taxes collected on a denied petition.

### Concurrence

The hearing officer and County Attorney support this recommendation.

### Reviewed By

Ronald A. Carl, County Attorney  
Karen Thompsen, Paralegal

ABATEMENTS 9-13-16

Petitioner/Parcel Address	Parcel Number	Year	Previous Value	New Value	Refund
Uhrig Holdings 1600 West Harvard Avenue <b>M10</b>	1971-33-2-03-031	2015	\$647,000	\$647,000	\$0.00
Choice Nails Corporation 18575 East Smoky Hill Road <b>M10</b>	2073-15-2-32-004	2015	\$1,149,000	\$1,149,000	\$0.00
9714 E. Colfax LLC 9724 East Colfax Avenue 9720 East Colfax Avenue 9714 East Colfax Avenue <b>M10</b>	1973-03-1-07-026 1973-03-1-07-027 1973-03-1-07-028	2015 2015 2015	\$336,000 \$111,000 \$154,000	\$336,000 \$111,000 \$154,000	\$0.00 \$0.00 \$0.00
Orlando C. Fernandez 2217 South Lima Court <b>M10</b>	1973-26-1-43-002	2015	\$279,500	\$279,500	\$0.00
1050 Hampden LTD Partnership 1090 West Hampden Avenue <b>M10</b>	2077-04-1-18-001	2015	\$8,730,000	\$8,730,000	\$0.00
OPL Greenwood Village Colorado Inc. 9000 East Peakview Avenue <b>M10</b>	2075-21-4-23-003	2015	\$3,771,000	\$3,771,000	\$0.00
Lochness Properties, Inc. 9730 East 32nd Avenue <b>M10</b>	2077-04-1-00-044	2015	\$2,225,000	\$2,225,000	\$0.00

ABATEMENTS 9-13-16

Petitioner/Parcel Address	Parcel Number	Year	Previous Value	New Value	Refund
82 E Inverness Drive LLC	2075-35-2-29-005	2015	\$895,800	\$895,800	\$0.00
82 Inverness Drive East Unit E					
<b>M10</b>					
Stephen Gross-Rhode	2077-22-4-20-010	2014	\$230,000	\$230,000	\$0.00
6670 South Broadway					
<b>M10</b>					
Greenfield Investments LLC	1973-14-4-21-020	2015	\$10,984,200	\$10,984,200	\$0.00
909-919 Peoria Street					
<b>M1</b>					
Stuart Smith	2077-20-2-32-014	2015	\$1,316,200	\$1,316,200	\$0.00
85 Brookhaven Drive					
<b>M1</b>					
Lazy Hills LLC	2073-20-2-18-001	2015	\$7,694,000	\$7,694,000	\$0.00
6202 South Parker Road					
<b>M1</b>					
Jeffrey Stinson/Hallmark Real Estate Holdings	2077-26-1-25-002	2014	\$1,200,000	\$1,200,000	\$0.00
7061 South University Boulevard	2077-26-1-25-002	2015	\$1,294,000	\$1,294,000	\$0.00
<b>M1</b>					
Elizabeth F. Carr	2077-20-4-00-020	2015	\$496,100	\$453,300	\$286.90
6473 South Prince Street					
<b>M1</b>					
Drake QSR Partners #5 LLC	2073-18-1-13-001	2014	\$1,000,000	\$684,000	\$7,673.75
5350 South Parker Road					
<b>M2</b>					

ABATEMENTS 9-13-16

Petitioner/Parcel Address	Parcel Number	Year	Previous Value	New Value	Refund
Daniel Tokarski 17901 East Brunswick Place	1975-33-1-17-020	2015	\$249,900	\$244,300	\$40.43
<b>M3</b>					
Bijan Moghadam 297 South Ursula Street	1973-12-4-13-048	2014 2015	\$185,400 \$238,700	\$166,900 \$200,200	\$138.68 \$277.91
<b>M11</b>					
Ernest T. Wagner, Jr. Trust 200 Quebec Street, Unit 300-111	1973-21-1-05-115	2015	\$49,500	\$47,500	\$14.57
<b>M11</b>					
Clarence and Susan Eldringhoff Vacant Land	2061-13-1-14-002	2015	\$7,500	\$500	\$141.36
<b>M11</b>					
Michelle Gendel 7600 Landmark Way, Unit 611-2	2075-16-2-21-026	2015	\$449,700	\$428,200	\$147.39
<b>M11</b>					
M1. I considered the evidence submitted & testimony given by both the Assessor & the petitioner/agent at this hearing. I find in this case that the Assessor's determination of value is better supported by all of the facts presented.					

ABATEMENTS 9-13-16

<p>M2. I considered the evidence submitted &amp; testimony given by both the Assessor &amp; the petitioner/agent at this hearing. I find in this case that the petitioner's/agent's determination of value is better supported by all of the facts presented.</p>					
<p>M3. I considered the evidence submitted &amp; testimony given by both the Assessor &amp; the petitioner/agent at this hearing. I find in this case that this adjusted value is better supported by all of the facts presented.</p>					
<p>M10. Petitioner/agent voluntarily withdrew this petition prior to the hearing. Withdrawal of the petition is hereby accepted as final action by the Board of County Commissioners. Therefore, the final actual value of this parcel for <u>XXXX</u> is <u>\$X,XXX,XXX,XXX.</u></p>					

ABATEMENTS 9-13-16

<p>M11. The Assessor recommended &amp; the petitioner/agent agreed to this value prior to the hearing. Based upon all information supplied, I concur with this value.</p>					
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**RESOLUTION NO. 160XXX** It was moved by Commissioner \_\_\_\_\_ and duly seconded by Commissioner \_\_\_\_\_ to adopt the following Resolution:

WHEREAS, the Board of County Commissioners of Arapahoe County met at a duly and lawfully called meeting held on Tuesday, \_\_\_\_\_, 2016; and

WHEREAS, the Board has determined to take final action on this Petition for Abatement or Refund of Taxes pursuant to Sections 39-1-113 and 39-10-114, C.R.S. as submitted by the Petitioner; and

WHEREAS, the County Assessor has recommended denial of this Petition for reasons set forth within the Assessor's recommendation as shown on the Petition; and

WHEREAS, pursuant to a policy adopted by the Board of County Commissioners on September 13, 1993 (Resolution No. 1243-93), this matter was referred to a referee for hearing and recommendation to the Board; and

WHEREAS, the Board has reviewed the recommendation of the referee on this date and has determined to adopt said recommendation.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners of Arapahoe County as follows:

The Petition for Abatement or Refund of Taxes relating to schedule number \_\_\_\_\_ is hereby denied for tax year(s) \_\_\_\_\_. The recommendation of the referee is hereby adopted. The original actual value is \$\_\_\_\_\_ and no refund shall be allowed for the following reason:

**REASON**

The vote was:

Commissioner Bockenfeld, ; Commissioner Doty, ; Commissioner Holen, ;  
Commissioner Jackson, ; Commissioner Sharpe, .

The Chair declared the motion carried and so ordered.

**RESOLUTION NO. 160XXX** It was moved by Commissioner \_\_\_\_\_ and duly seconded by Commissioner \_\_\_\_\_ to adopt the following Resolution:

WHEREAS, the Board of County Commissioners of Arapahoe County met at a duly and lawfully called meeting held on Tuesday, \_\_\_\_\_, 2016; and

WHEREAS, the Board has determined to take final action on this Petition for Abatement or Refund of Taxes pursuant to Sections 39-1-113 and 39-10-114, C.R.S. as submitted by the Petitioner; and

WHEREAS, the County Assessor has recommended denial of this Petition for reasons set forth within the Assessor's recommendation as shown on the Petition; and

WHEREAS, pursuant to a policy adopted by the Board of County Commissioners on September 13, 1993 (Resolution No. 1243-93), this matter was referred to a referee for hearing and recommendation to the Board; and

WHEREAS, the Board has reviewed the recommendation of the referee on this date and has determined to adopt said recommendation.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners of Arapahoe County as follows:

The Petition for Abatement or Refund of Taxes relating to schedule number \_\_\_\_\_ is hereby approved for tax year(s) \_\_\_\_\_. The recommendation of the referee is hereby adopted. The original actual value is \$\_\_\_\_\_ and no refund shall be allowed for the following reason:

**REASON**

The vote was:

Commissioner Bockenfeld, ; Commissioner Doty, ; Commissioner Holen, ;  
Commissioner Jackson, ; Commissioner Sharpe, .

The Chair declared the motion carried and so ordered.



**Board Summary Report**

**Date:** August 26, 2016  
**To:** Board of County Commissioners  
**Through:** Ronald A. Carl, County Attorney  
**From:** Karen Thompsen, Paralegal  
**Subject:** Approval of BAA Stipulation (1 Resolution Number)

**Request and Recommendation**

The purpose of this request is for the adoption of a resolution approving the Board of Assessment Appeals (BAA) stipulations listed below.

**Background**

These stipulations are a result of an agreement reached between the taxpayer and the County regarding a reduction in the amount of property tax owed, settling tax protests filed with the BAA.

**Discussion**

The following BAA docket numbers have been stipulated to for the tax (s) indicated below.

<b>Tax Year</b>	<b>Docket #</b>	<b>Property Owner</b>	<b>Property Address</b>	<b>Code</b>	<b>Original Value</b>	<b>Stipulated Value</b>
2015/ 2016	66777	United Launch Alliance	9950 East Easter Avenue	1.	\$3,115,954	\$573,088
2015/ 2016	66778	United Launch Alliance	7630 South Chester Street	1.	\$23,445,734	\$20,556,322
2015/ 2016	66411	Potomac East LP	13790 East Mississippi Avenue	2.	\$3,465,000	\$1,864,000

**Code**

1. Additional, corrected information provided by the Petitioner indicates that adjustment to this value is correct.
2. Income and sales comparison approaches indicate that adjustment to this value is correct. Subject property originally valued as if tenant still occupied, but tenant vacated at end of 2013. Income approach and analysis of comparable sales in surrounding area indicated adjustment to this value is correct.

**Alternatives**

Let protest proceed to the BAA for a decision. Said alternative would involve unnecessary time and expense for the County and the taxpayer.

**Fiscal Impact**

Reduction in the amount of property taxes collected for the above listed properties.

**Concurrence**

The negotiator for the County Board of Equalization, the County Assessor and the County Attorney all support this recommendation.

**Reviewed By:**

Ronald A. Carl, County Attorney  
Karen Thompsen, Paralegal

**RESOLUTION NO. 160XXX** It was moved by Commissioner \_\_\_\_\_ and duly seconded by Commissioner \_\_\_\_\_ to authorize the Arapahoe County Attorney to settle the following Board of Assessment Appeals Cases (Docket Numbers), for the tax years listed below:

<b>Docket #</b>	<b>Property Owner</b>	<b>Tax Year</b>
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After review by the County Attorney's Office, in conjunction with the Arapahoe County Assessor's Office and the Petitioners, evidence was submitted which supported the Stipulation and Petitioner agreed to a new value. The Assessor has recommended approval pursuant to the terms contained within the Stipulations. Based upon the evidence submitted to the Board on this date, the Board has no reason not to concur with the proposed Stipulations.

The vote was:

Commissioner Bockenfeld, ; Commissioner Doty, ; Commissioner Holen, ;  
Commissioner Jackson, ; Commissioner Sharpe, .

The Chair declared the motion carried and so ordered.



## Board Summary Report

**Date:** September 6, 2016  
**To:** Board of County Commissioners  
**Through:** Ron Carl, County Attorney  
**From:** John Christofferson, Deputy County Attorney  
**Subject:** Transfer of Title – Mobile Home IFB-08-63

### Request and Recommendation

The Open Spaces Department, through the County Attorney's Office, requests the Board of County Commissioners to authorize the Chair to sign the title document to transfer title of a mobile home trailer that was sold to Don Eastwood pursuant to IFB-08-63 Surplus Double Wide Mobile Home. The County has already received full payment for the trailer.

### Background/Discussion

The County previously purchased the Richard and Mildred Helling property outside the Town of Deer Trail for open space purposes. Included with the property purchase was a mobile home trailer. The County issued IFB-08-63 Sale: Surplus Double Wide Mobile Home for the sale of the mobile home. The County received an offer from Mr. Eastwood. The County received full payment from Mr. Eastwood for the mobile home.

### Alternatives

N/A.

### Fiscal Impact

The County previously received payment in full for the trailer.

### Reviewed By:

Shannon Carter, Director Intergovernmental Relations and Open Spaces  
Glen Poole, Open Space Operations Manager, Open Spaces

**RESOLUTION NO. 160**\_\_\_\_ It was moved by Commissioner \_\_ and seconded by Commissioner \_\_\_\_ to authorize the Chair of the Board of County Commissioners to sign documents necessary for the transfer of title of a mobile home trailer from IFB-08-63 to Don Westwood.

The vote was:

Commissioner Bockenfeld, \_\_; Commissioner Doty, \_\_; Commissioner Holen, \_\_; Commissioner Jackson, \_\_; Commissioner Sharpe, \_\_.

The Chair declared the motion carried and so ordered.



## Board Summary Report

**Date:** August 31, 2016  
**To:** Board of County Commissioners  
**Through:** Jan Yeckes, Planning Division Manager  
**From:** Bill Skinner, Senior Planner  
**Subject:** Case # P15-002, Centennial E Corporate Center Filing 3, Lot 8 FDP

### Purpose

The applicant, Ethos Construction, on behalf of the property owner, Jasko Holdings, LLC, has submitted final development plan application P15-002. This application proposes a 6,000 sf. building intended to house the offices for a trucking company.

The attached staff report prepared for the Planning Commission public hearing conducted August 16, 2016, provides details of the proposed development and staff's analysis of the application. This Board Summary Report highlights key discussion points.

### Staff Recommendation

The staff recommended conditional approval of this application based on the following findings included in the Planning Commission staff report and restated here:

1. The proposed FDP appears to be in conformance with the goals and intent of Arapahoe County Comprehensive Plan.
2. The FDP is consistent with development standards enumerated in the Arapahoe County Land Development Code and the approved Z99-003 PDP.
3. The proposed FDP meets the FDP plan exhibit requirements listed in Section 13-108 of the Land Development Code.

### Planning Commission Recommendation

The Planning Commission voted unanimously for a recommendation of approval with staff findings.

### Architecture

The proposed building is similar to other structures in this area, but has enhanced architecture befitting its status as a company headquarters. The building is similar in bulk and mass to other buildings on Dillion Court. The Staff have received no comments pertaining to the design of the building.

The property is within the Centennial Airport Environs Planning Area (CAEPA). The building satisfies the CAEPA enhanced architecture criteria buildings enhanced design standards by incorporating the following features into the buildings design:

- Variations in the arrangement of windows;
- Recognizable changes in texture, materials, or surface colors;
- The building has an apparent base, body and top;
- The facade is enhanced by a projected building entrance;
- The exterior finish does not use any of the 3 building materials prohibited in the CAEPA regulations; and
- Variations of the features cited above are employed on all four sides of the building as required.

Parking

The proposed 6,000 building will include 3,500 sf. of office, and 2,500 sf. of warehouse space. Applicable parking requirements for these uses are:

3,500 sf. of office	x 3 spaces per 1000 sf. = 10.5 spaces required	
<u>2,500 sf. of warehouse</u>	<u>x 1 spacers per 1000 sf. = 2.5 spaces required</u>	
		13 spaces total
		15 spaces are provided

The proposal supplies 15 spaces which exceeds the PDP requirements

Neighborhood Concerns

No individuals or organizations have expressed any objections to this proposal.

**Links to Align Arapahoe**

If approved this request, may improve the County’s economic environment by enabling the construction and implementation of new business in the County.

**Alternatives**

The Board of County Commissioners has three alternatives:

1. Approve the application with conditions of approval;
2. Continue to a date certain;
3. Deny the application.

**Fiscal Impact**

This request may have a positive fiscal impact on the County depending on the value of development occurring on the property.

**Concurrence**

The Arapahoe County PWD Staff and Planning Commission recommend approval of the final development plan.

Reviewed By:

- Bill Skinner, Senior Planner
- Jason Reynolds, Current Planning Program Manager
- Jan Yeckes, Planning Division Manager
- Dave Schmit, Director of Public Works and Development
- Todd Weaver, Budget Manager, Finance Department
- Bob Hill, Senior Assistant County Attorney

**DRAFT MOTIONS P15-002 Centennial E Corporate Center Filing 3, Lot 8 FDP**

**Recommend Conditional Approval:**

*(This motion is consistent with the staff recommendation):* In the case of P15-002, Centennial E Corporate Center Filing 3, Lot 8 Final Development Plan, we have read the staff report and received testimony at the public hearing. We find ourselves in agreement with staff findings 1 through 3, including all plans and attachments as set forth in the staff report dated August 16, 2016 and approve this application subject to the following condition of approval:

- 1) Prior to signature of the final copy of these plans, all minor modifications shall be made as required by the Arapahoe County Public Works & Development Department.

**Recommend Denial:**

*(This motion is not consistent with the staff recommendation):* In the case of Centennial E Corporate Center Filing 3, Lot 8, we have read the staff report dated August 16, 2016 and received testimony at the public hearing. Based on the information presented and considered during the public hearing, the Board of County Commissioners denies the application based on the following findings:

- a. *State new findings as part of the motion.*
- b. ...

**Continue to Date Certain:**

In the case of Centennial E Corporate Center Filing 3, Lot 8, I move to continue the hearing to [date], 9:30 a.m., to obtain additional information and to further consider the information presented.

**RESOLUTION NO. #####** It was moved by Commissioner \_ and duly seconded by Commissioner \_ to adopt the following Resolution:

WHEREAS, application has been made by Horvat Architects, on behalf of the property owner, Jasko Holdings LLC for a Final Development Plan designated as Case No. P15-002, Centennial E Corporate Center Filing 3, Lot 8 Final Development Plan; and

WHEREAS, after a hearing on this matter, the Arapahoe County Planning Commission made a favorable recommendation of the Final Development Plan subject to certain recommended conditions of approval as shown in the record of said Planning Commission hearing; and

WHEREAS, following the Planning Commission hearing, public notice of a hearing before the Arapahoe County Board of County Commissioners (“the Board”) was properly given of the proposed Final Development Plan by publication on August 25, 2016 in The Villager, a newspaper of general circulation within the County of Arapahoe, by posting of said property and by mail notification of adjacent property owners in accordance with the Arapahoe County Land Development Code; and

WHEREAS, a public hearing was held before the Board at the Arapahoe County Administration Building, 5334 South Prince Street, Littleton, Colorado, on the 13th day of September, 2016, at 9:30 o'clock am, at which time evidence and testimony were presented to the Board concerning the Final Development Plan; and

WHEREAS, the administrative record for this Case includes, but is not limited to, all duly adopted ordinances, resolutions and regulations, together with all Department of Public Works and Development processing policies which relate to the subject matter of the public hearing, the staff files and reports of the Planning and Engineering case managers, and all submittals of the applicant; and

WHEREAS, representations, statements and positions were made by or attributed to the applicant or its representatives on the record, including representations contained in the materials submitted to the Board by the applicant and County staff; and

WHEREAS, the applicant has agreed to all conditions of approval recommended by County staff, and has agreed to execute all agreements and to convey all rights of way and easements recommended by staff, except as stated in this resolution; and

WHEREAS, the Board finds that the proposed Final Development Plan generally conforms to the Arapahoe County Comprehensive Plan and complies with the approval criteria found in the Land Development Code; and

WHEREAS, this Board has considered the recommendation of the Arapahoe County Planning Commission, the testimony and evidence presented at the public hearing and has concluded that the public health, safety, convenience and general welfare, as well as good zoning practice, justifies the approval of the Final Development Plan of Inverness No. 57, Lot 3 (Case No. P16-006), subject to the conditions precedent and/or stipulations as hereinafter delineated.

NOW, THEREFORE, BE IT RESOLVED by the Board of County Commissioners of Arapahoe County as follows:

1. That the Final Development Plan of Case No. P15-002, Centennial E Corporate Center

Filing 3, Lot 8, be approved on the grounds that the Final Development Plan is compatible with development standards for the area and complies with the requirements of the approved Preliminary Development Plan; and that said development is the result of a desirable plan for land use presented by the applicant in the form of the above mentioned Final Development Plan.

2. Approval of this Final Development Plan is based upon the following understandings, agreements and/or representations:
  - a. The applicant's assent and/or agreement to make all modifications to the final version of the documents that are necessary to conform the documents to the form and content requirements of the County in existence at the time the documents are submitted for signature.
  - b. The representations, statements and positions contained in the record that were made by or attributed to the applicant and its representatives, including all such statements contained in materials submitted to the Board by the applicant and County staff.
3. Approval of this Final Development Plan shall be and is subject to the following stipulations and/or conditions precedent, which the applicant has accepted and which the applicant is also deemed to accept by continuing with the development of the property:
  - a. The applicant's compliance with the recommended stipulations of the Arapahoe County Planning Commission as set forth in the record of its proceedings, except as may be modified by this Board.
  - b. The applicant's compliance with all conditions of approval recommended by the staff case managers in the written staff reports presented to the Board, and any conditions stated by staff on the record.
    - 1) Prior to signature of the final mylar copy of these plans, all minor modifications shall be made as required by the Arapahoe County Public Works & Development Department.
  - c. The applicant's compliance with all additional conditions of approval stated by the Board. **(the board added no additional stipulations)**
  - d. The applicant's performance of all commitments and promises made by the applicant or its representatives and stated to the Board on the record, or contained within the materials submitted to the Board.
4. Except to the extent expressly disclosed in the underlying staff reports and set forth in a finding of fact in this Resolution, this approval action does not accept or approve any plan language that varies, in any respect, from the standard notes and language required by the Arapahoe County Land Development Code and applicable department policies. Any nonstandard language appearing on the Final Development Plan shall be of no effect unless so disclosed and unless expressly approved in a Finding of Fact. This Board reserves the power to take further action without further notice, by Resolution, to either remove or ratify any such language at any time.
5. County planning, engineering and legal staff are authorized to make any changes to the

mylar form of the approved document as may be needed to conform the documents to the form and content requirements of the County in existence at the time the documents are submitted for signature, and to make such other changes that are expressly stated by staff before the Board, or are recommended by staff in the written staff reports, or are referred to by the movant Commissioner. No other deviation or variance from the form and content of the documents submitted for the Board's consideration are approved except to the extent stated in this resolution.

6. The County Attorney, with the concurrence of the planning and/or engineering case managers, is authorized to make appropriate modifications to the resolution and plan documents as needed to accurately reflect the matters presented to the Board and to record and clarify, as necessary, other aspects and ramifications of the Board's action.
7. The foregoing approval is conditioned upon, and subject to, submission by the applicant of a mylar from of the Final Development Plan, containing the above changes, within sixty (60) days of the date of this decision. In the event the applicant fails to submit a conforming mylar by the above deadline, this decision shall be voidable by resolution of the Board of County Commissioners and of no effect whatsoever.
8. Upon the applicant's completion of any and all changes to the Final Development Plan mylar as required by this Resolution, the Chair of the Board of County Commissioners is hereby authorized to sign same. In the event of a discrepancy between the terms of this Resolution and the content of the executed mylar, the terms of this Resolution will control.

The vote was:

Commissioner Bockenfeld, \_\_\_; Commissioner Doty, \_\_; Commissioner Holen, \_\_\_;  
Commissioner Jackson, \_\_; Commissioner Sharpe, \_\_.

The Chair declared the motion carried and so ordered.



**ADJACENT SUBDIVISIONS, ZONING, AND LAND USES:**

North of the site is an occupied lot in the Centennial East Corporate Center Subdivision MU-PUD. A light industrial building with outdoor storage and parking occupies this site.

South of the site is a vacant lot in the Centennial East Corporate Center Subdivision MU-PUD. No construction has occurred on this property.

West of the Site across Dillion Court are vacant lots in the Centennial East Corporate Center Subdivision MU-PUD. A service dog training facility has been approved for one of these properties.

East of the Site is a light industrial building on property in the City of Centennial. The City of Centennial zoning for that property is Industrial.

**PROPOSAL:**

The applicant, Ethos Construction, on behalf of the property owner, Jasko Holdings, LLC, has submitted final development plan application P15-002. This application proposes a 6,000 sf. building intended to house the offices for a trucking company.

Architecture

The proposed building is similar to other structures in this area, but has enhanced architecture befitting its status as the a company headquarters. The building is similar in bulk and mass as other buildings on Dillion Court. The Staff have received no comments pertaining to the design of the building.

The property is within the Centennial Airport Environs Planning Area (CAEPA). The building satisfies the CAEPA enhanced architecture criteria buildings enhanced design standards by incorporating the following features into the buildings design:

- Variations in the arrangement of windows;
- Recognizable changes in texture, materials, or surface colors;
- The building has an apparent base, body and top;
- The entrance is enhanced through the application of a projected entrance;
- The exterior finish does not use any of the 3 building materials prohibited in the CAEPA regulations;
- Variations of the features cited above are employed on all four side of the building as required.

Parking

The proposed 6,000 building will include 3,500 sf. of office, and 2,500 sf. of warehouse space. Arapahoe County parking requirements for these uses are:

3,500 sf. of office	x 3 spaces per 1000 sf. = 10.5 spaces required
<u>2,500 sf. of warehouse</u>	<u>x 1 spacers per 1000 sf. = 2.5 spaces required</u>
	13 spaces total
	15 spaces are provided

The proposal supplies 15 spaces which exceeds the PDP requirements

Neighborhood Concerns

No individuals or organizations have expressed any objections to this proposal.

**BACKGROUND:**

The property was originally zoned A-1 in 1961. The latest Centennial East Corporate Center MU-PUD PDP Amendment for this property was approved on September 7, 1999 (Case No. Z99-003).

The proposed FDP is located within the Centennial Airport Environs Planning Area (CAEPA) which has more stringent development standards (LDC Section 10-200). The property conforms to CAEPA requirements.

**DISCUSSION AND FINDINGS:**

Staff review of this application included a comparison of the application to policies and goals outlined in the Comprehensive Plan, a review of pertinent zoning regulations and background activity, site visits, and an analysis of referral comments.

1. The Comprehensive Plan

The Arapahoe County Comprehensive Plan categorizes this site as "Employment Center." The Comprehensive Plan recommends primary uses be "Workplace uses such as research and development offices, major service and office center complexes, etc." The proposed corporate headquarters for a local trucking company use conforms to the intent and goals of the Employment Center section of the County's Comprehensive Plan as stated above.

The proposed FDP is also aligned with the following County Comprehensive Plan Policies and Goals:

Policy GM 1.2 – Encourage Urban Development to locate in Designated Growth areas (such as the Urban Growth Area).

Policy GM 4.1 - Encourage a Compact Urban Development Pattern in the Urban Service Area.

Policy GM 4 .3 – Promote Infill development and Redevelopment in the Urban Service Area.

Policy PFS 4.4 - Manage Stormwater to Conserve Water Quality in the Urban Service Area.

Policy EC 1.1 – Support Employment and Commercial Development in Growth Areas.

Policy EC 2.1 – Promote a High Quality Urban Environment in All New and Redevelopment Employment Centers and Commercial and Industrial Development.

2. Ordinance Review and Additional Background Information

Part 13-100 of the Planned Unit Development (P.U.D.) section of the zoning regulations states that "the P.U.D. process is intended to prevent the creation of a monotonous urban landscape by allowing for the mixture of uses which might otherwise be considered non-compatible, through the establishment of flexible development standards", provided said standards:

- a. **Recognize the limitations of existing and planned infrastructure, by thorough examination of the availability and capability of water, sewer, drainage, and transportation systems to serve present and future land uses.**

The P15-002 FDP has been reviewed for compliance and compatibility with approved standards and existing utilities and infrastructure. No concerns have been raised by those agencies.

- b. **Assure compatibility between the proposed development, surrounding land uses, and the natural environment.**

This P15-002 FDP proposes a site design for one of nine similarly sized and situated lots that all exist on S. Dillon Court, and that are all zoned by the same Z99-003 PDP. The P15-002 FDP meets the standards set in the Z99-003 PDP, and as such is compatible with underlying zoning as well as the existing development of the surrounding lots on S. Dillon Court. The lot east of this site is not zoned by the Z99-003 PDP, but has been developed in a similar fashion to the project proposed for the subject lot in the P15-002 FDP.

- c. **Allow for the efficient and adequate provision of public services. Applicable public services include, but are not limited to police, fire, school, parks, and libraries.**

As submitted the proposal can be adequately served by existing public services as evidenced by the absence of any objection from the service provider agencies that were part of the outside referral process.

- d. **Enhance convenience for the present and future residents of Arapahoe County by ensuring that appropriate supporting activities, such as employment, housing, leisure-time, and retail centers are in close proximity to one another.**

The proposed FDP may enhance convenience for the present and future residents of Arapahoe County by providing for employment in close proximity to housing, and that is easily accessed by streets and sidewalks.

- e. **Ensure that public health and safety is adequately protected against natural and man-made hazards, which include but are not limited to traffic noise, water pollution, airport hazards, and flooding.**

No internal or external agencies have expressed concerns that the proposal does not adequately protect against natural and man-made hazards.

- f. **Provide for accessibility within the proposed development, and between the development and existing adjacent uses. Adequate on-site interior traffic circulation, public transit, pedestrian avenues, parking and thoroughfare connections are all factors to be examined when determining the accessibility of a site.**

County Public Works Staff, in unison with interested referral agencies have evaluated the accessibility of the proposal and have determined that it has adequate access. The single lot nature of this FDP does not indicate a need for an internal transportation system.

- g. **Minimize disruption to existing physiographic features, including vegetation, streams, lakes, soil types, and other relevant topographical elements.**

No significant physiographic features exist on or adjacent to this site.

- h. **Ensure that the amenities provided adequately enhance the quality of life in the area, by creating a comfortable and aesthetically enjoyable environment through conventions such as, the preservation of mountain views, the creation of landscaped open areas, and the establishment of recreational activities.**

The proposal does not impact mountain views more or less than what is typical of development in the Denver Metro Area. Open space and landscaping have been provided in accordance with the underlying PDP requirements.

- i. **Enhance the usable open spaces in Arapahoe County, and provide sufficient unobstructed open spaces and recreational areas to accommodate a project's residents and employees.**

The FDP provides 27% open space which exceeds the 25% open space required by the underlying PDP

The criteria just stated must be addressed prior to approval of these requests, and are intended to provide clarity of purpose and direction for applicants, neighbors, concerned citizens, and Arapahoe County decision-makers.

### 3. Referral Comments from outside agencies

Comments received during the referral process are as follows:

Engineering	Comments have been addressed.
Mapping	Comments have been addressed.
Arapahoe County Assessor	No response.
Arapahoe County Zoning	No comments.
Arapahoe County Sheriff	No comments.
Army Corps of Engineers	No response.
Urban Drainage	No response.
SEMSWA	Comments have been addressed.
South Metro Fire Protection District	No comments.
Centennial East Corporate Center Architectural Review Committee	No response.
Xcel Energy	Comments are being addressed. (If need be, a condition of approval will be added to the Board Summary Report at that time)
City of Centennial	No response.
ACCWA	No response to staff, but the applicant is speaking directly to ACWWA regarding the acquisition of tap connections.
Post Office Coordinator	No response.
Cherry Creek Water Quality Basin Authority	No response.
Tri-County Health	No comments.
CDOT	No response.
Century Link/Phone	No response.

### **III. ADDITIONAL STAFF FINDINGS:**

Staff has visited the site, reviewed the plans and supporting documentation, referral comments, as well as citizen input in response to this application. Based upon review of applicable policies and goals in the Comprehensive Plan, review of the development regulations, and analysis of referral comments, our findings include:

1. The proposed FDP appears to be in conformance with the goals and intent of Arapahoe County Comprehensive Plan.
2. The FDP is consistent with development standards enumerated in the Arapahoe County Land Development Code and the approved Z99-003 PDP.
3. The proposed FDP meets the FDP plan exhibit requirements listed in Section 13-108 of the Land Development Code.

### **RECOMMENDATION:**

Considering the findings and other information provided herein, staff recommends approval of case number P15-002, Centennial E Corporate Center Filing 3, Lot 8 FDP subject to the following condition of approval.

- 1) Prior to signature of the final mylar copy of these plans, all minor modifications shall be made as required by the Arapahoe County Public Works & Development Department.

*(draft motions are provided on the following page)*

**DRAFT MOTIONS for the Planning Commission:**

Recommend Conditional Approval:

*(This motion is consistent with the staff recommendation):*

In the case of P15-002, Centennial E Corporate Center Filing 3, Lot 8 FDP, we have read the staff report and received testimony at the public hearing. We find ourselves in agreement with staff findings 1 through 3, including all plans and attachments as set forth in the staff report dated August 5, 2016 and recommend this case favorably to the Board of County Commissioners subject to the following condition(s) of approval:

- 1) Prior to signature of the final copy of these plans, all minor modifications shall be made as required by the Arapahoe County Public Works & Development Department.

Recommend Denial:

*(This motion is not consistent with the staff recommendation):*

In the case of P15-002, Centennial E Corporate Center Filing 3, Lot 8 FDP, the Planning Commission have read the staff report dated August 5, 2016 and received testimony at the public hearing. Based on the information presented and considered during a public hearing, recommend denial to the Board of County Commissioners based on the following findings:

- a. *State new findings as part of the motion.*
- b. ...

Continue to Date Certain:

In the case of P15-002, Centennial E Corporate Center Filing 3, Lot 8 FDP, I move to continue the hearing to [date], 6:30 p.m., to obtain additional information and to further consider the information presented.

**Attachments**

Application  
Engineering Staff Report  
Referral Comments  
Exhibits



**Public Works and Development**  
 6924 S. Lima Street  
 Centennial, Colorado 80112  
 Phone: 720-874-6650 FAX 720-874-6611  
[www.arapahoe.gov](http://www.arapahoe.gov)

**Land Development Application  
 Formal**  
 Form must be complete

APPLICANT/REPRESENTATIVE:	ADDRESS:  PHONE: FAX: EMAIL:	SIGNATURE:  NAME:  TITLE:
OWNER(S) OF RECORD:	ADDRESS:  PHONE: FAX: EMAIL:	SIGNATURE:  NAME:  TITLE:
ENGINEERING FIRM: <b>BROWN CIVIL ENGINEERING</b>	ADDRESS: 1300 Plaza Court North, Suite 101 Lafayette, Colorado 80026  PHONE: (303) 551-8910 FAX: EMAIL: <a href="mailto:jprinster@browncivilengineering.com">jprinster@browncivilengineering.com</a>	CONTACT PERSON: Joseph Prinster

Pre-Submittal Case Number: \_\_\_\_\_ Pre-Submittal Planner: \_\_\_\_\_ Pre-Submittal Engineer: \_\_\_\_\_

Parcel ID number:	LOT 8, BLOCK 1
Address:	7145 S DILLON ST ENGLEWOOD, CO 80112
Subdivision Name:	CENTENNIAL CORPORATE CENTER

	EXISTING	PROPOSED
Zoning:	M.U. - P.U.D	
Project/Subdivision Name:	CENTENNIAL CORPORATE CENTER	
Site Area (Acres):	1.272 ACRES	
Floor Area Ratio (FAR):	10.8%	
Density (Dwelling Units/Acre):	0	
Building Square Footage:	6,000 SF	
Disturbed Area (Acres):	N/A	
Related Case Numbers: (Final/Preliminary Development Plan, Rezoning, and/or Plat )		

CASE TYPE				
1041- Areas & Activities of State Interest	Location & Extent	Preliminary Development Plan		Special District/Title 30
1041- Areas & Activities of State Interest – Use by Special Review	Location & Extent – Major Amendment	Preliminary Development Plan – Major Amendment		Special District/Title 32
Comprehensive Plan	Master Development Plan	Preliminary Plat		Street Name Change
Final Development Plan	Master Development Plan – Major Amendment	Replat - Major		Use by Special Review
Final Development Plan – Major Amendment	Minor Subdivision	Rural Cluster		Use by Special Review – Major Amendment
Final Plat	Planned Sign Program	Rezoning Conventional		Use by Special Review – Oil & Gas
Land Development Code Amendment	Planned Sign Program – Major Amendment	Rezoning Conventional – Major Amendment		Vacation of Right-of-Way/Easement/Plat

*THIS SECTION FOR OFFICE USE ONLY*

Case No:	_____	Planning Manager:	_____	Engineering Manager:	_____
Planning Fee:	Y N \$	Engineering Fee:	Y N \$		

This application shall be submitted with all applicable application fees. Submittal of this application does not establish a vested property right in accordance with C.R.S. 24-68-105(1). Processing and review of this application may require the submittal of additional information, subsequent reviews, and/or meetings, as outlined in the Arapahoe County Land Development Code.



DL

**Letter of Authorization**

Ethos Construction, LLC  
501 High Dr.  
Castle Rock, CO 80104  
(719) 659-7249  
[Nick@ethosconstruction.net](mailto:Nick@ethosconstruction.net)

**Date: 5/7/15**

The property located at 7154 Dillon Court, Englewood, CO 80112 is owned by Jasko Holdings LLC. We propose construction of a new business headquarters. Jasmin Maljanovic is the owner of Jasko Holdings LLC. Jasmin Maljanovic authorizes Ethos Construction to act on his behalf regarding this project.

Sincerely,

A handwritten signature in black ink that reads 'Jasmin'.

Jasmin Maljanovic  
Jasko Holdings  
1025 S Perry St Suite 103  
Castle Rock, CO 80104  
(303) 503-4112

RECEIVED

MAY 12 2015

ARAPAHOE COUNTY  
PLANNING DIVISION

# Board of County Commissioner's Summary Report

**Date:** August 31, 2016

**To:** Arapahoe County Board of County Commissioners

**Through:** Bill Skinner, Planner  
Planning Division

**Through:** Chuck Haskins, PE  
Engineering Services Division, Manager

**From:** Spencer M. Smith, PE  
Engineering Services Division

**Case name:** Case # P15-002, Centennial E Corporate Center Filing 3, Lot 8 FDP

## Purpose and Recommendation

The purpose of this report is to communicate the Engineering Services Staff findings, comments, and recommendations regarding the land use applications identified above.

## Engineering Services Staff has reviewed the land use applications and has the following findings and comments:

1. Access
  - a. Access to the site will utilize an existing access to S. Dillon Ct. The access is shared with Lot 7 directly north of the Jasko property (7124 S. Dillon Ct.). Additionally, there is an existing access easement along the east side of the property that provides access to E. Fremont Ave. (through Lot 9, 7184 S. Dillon Ct.).
2. Drainage
  - a. The site is tributary to Windmill Creek. Stormwater detention is provided in the W6/W7 Regional Detention and Water Quality facility.
  - b. This site predated the County's current water quality standards, therefore water quality capture volume was not anticipated in the overall drainage plan. To provide some water quality treatment, the applicant is being required to install a water quality enhancement (swale).
3. Traffic
  - a. The site met criteria for a Traffic Impact Study waiver.

4. Variances

- a. Several variances were requested by the applicant and approved for this project. Approved variances are as follows:
  - i. Use of a Modified Sand Infiltration Swale BMP to provide Enhanced Water Quality
  - ii. Use of a sidewalk chase to discharge runoff from water quality swale to the flowline of S. Dillon Ct. Widening of existing access to S. Dillon Ct. so that large trucks are able to make the turning movement into the site.

**Engineering Staff is recommending the land use application favorably subject to the following conditions:**

- 1. Applicant addresses all Arapahoe County Engineering Services Division comments.
- 2. Applicant obtains all necessary approvals and permits.  
Applicant enters into an SIA and provides collateral to the County for all public improvements associated with the project.



ARAPAHOE COUNTY  
COLORADO'S FIRST

## Arapahoe County Public Works and Development - Planning Division

6924 S. Lima Street, Centennial, CO 80112

Phone: 720-874-6650 | Fax: 720-874-6611

www.arapahoegov.com

### Phase II Referral Routing

<b>Agency Receiving Referral:</b>	
<b>Agency Contact Person:</b>	
<p><b>Case Number:</b> P15-002 FDP</p> <p><b>Case Name:</b> JASKO Trucking</p> <p><b>Case Planner:</b> Bill Skinner - <a href="mailto:BSkinner@arapahoegov.com">BSkinner@arapahoegov.com</a></p> <p><b>Case Engineer:</b> Spencer Smith - <a href="mailto:SSmith@arapahoegov.com">SSmith@arapahoegov.com</a></p>	
<p><b>Date Sent:</b></p> <p><b>Date to be Returned:</b></p>	
<p><b>INSTRUCTIONS:</b>  The enclosed case has been submitted to the Arapahoe County Planning Office for consideration. Because of the possible effect of the proposed development upon your area, the case is being referred for your comment. Please examine this request and, after review, check the appropriate box, sign, add comments as necessary and return to the Arapahoe County Planning Office on or before the date indicated above.</p>	
<b>COMMENTS:</b>	<b>Reviewer First &amp; Last Name:</b>
<input type="checkbox"/> Have NO Comments to make on the case as submitted	
<input type="checkbox"/> Have the following comments to make related to the case:	



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# SOUTH METRO FIRE RESCUE AUTHORITY

## LIFE SAFETY BUREAU

9195 E Mineral Ave, Centennial, CO 80112

PHONE: 720.989.2230 [www.southmetro.org](http://www.southmetro.org) FAX: 720.989.2130

---

Bill Skinner  
Case Planner  
Arapahoe County  
6924 S. Lima St  
Centennial, CO 80112  
720-874-6650  
720-874-6611 Fax

File #/Name: JASKO Trucking / P15-002  
Project Type: **Final Development Plan**

S Metro Review # REFFDP15-00221  
Plan reviewer: Chip Kerkhove

**Narrative:** New 1 story 6000sqft office / warehouse building.

Code Reference: 2009 International Fire Code, 2009 International Building Code

South Metro Fire Rescue's Life Safety Division has reviewed the above project and has **approved** the plans based with the following comments:

**UNRESOLVED ISSUES:**

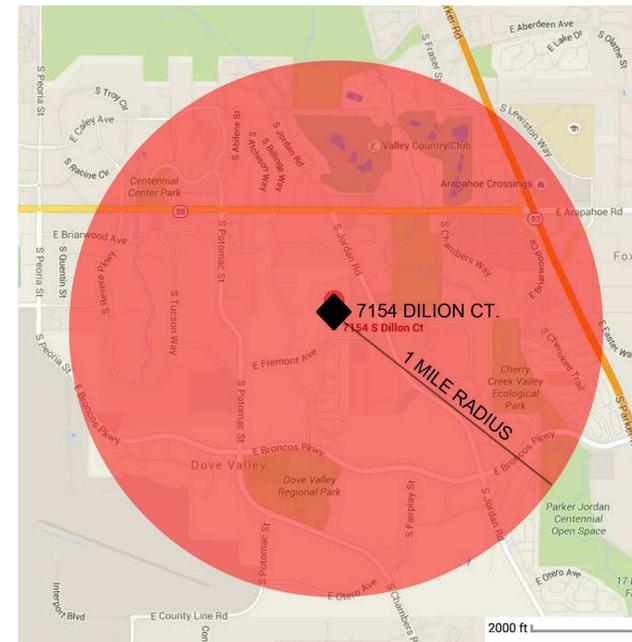
Need a meeting with the owner/developer to discuss hydrants and site access. They can contact me at [chip.kerkhove@southmetro.org](mailto:chip.kerkhove@southmetro.org) or 720-989-2247 to set up a meeting. Thanks.

# LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

FINAL DEVELOPMENT PLAN  
 LOT 8, BLOCK 1, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 3,  
 LOCATED IN W1/2 OF SEC 30, T5S, R66W OF THE 6TH PRINCIPAL MERIDIAN  
 COUNTY OF ARAPAHOE, STATE OF COLORADO

## DEVELOPMENT CRITERIA CHART

CASE NUMBER	Z99-003 (PDP)	P15-002 (FDP)
AREA	DEVELOPMENT AREA "B" 89.8 ACRES 12.759 ACRES	
ZONING	MIXED USE - PLANNED UNIT DEVELOPMENT (M.U. - P.U.D.)	MIXED USE - PLANNED UNIT DEVELOPMENT (M.U. - P.U.D.)
ALLOWABLE USES (FDP)	1. ADMINISTRATIVE PROFESSIONAL OFFICES INCLUDING MEDICAL AND DENTAL FACILITIES. 2. LIGHT INDUSTRIAL FACILITIES INCLUDING MINI STORAGE/ INDOOR STORAGE, MANUFACTURE, FABRICATION PROCESSING OR ASSEMBLING OF PRODUCTS. 3. RESEARCH AND DEVELOPMENT FACILITIES. 4. WAREHOUSING AND DISTRIBUTION FACILITIES. 5. WHOLESALE MERCHANDISE DISPLAY AND SALES. 6. HOTELS, MOTELS, CONFERENCE AND MEETING FACILITIES. 7. RECREATION FACILITIES, PUBLIC OR PRIVATE. 8. EDUCATIONAL AND VOCATIONAL TRAINING INSTITUTIONS IF USE FALLS OUTSIDE OF AIRPORT TRAFFIC PATTERN AREA. 9. ALL TEMPORARY AND ACCESSORY USES ASSOCIATED WITH THE ABOVE 10. CELLULAR FACILITIES. 11. OUTDOOR STORAGE ASSOCIATED WITH THE BUSINESS USE ON SITE WITHIN THIS DEVELOPMENT AREA SHALL BE ALLOWED AS LONG AS ADEQUATE VISUAL SCREENING IS CONSTRUCTED. ONLY ALLOWED NORTH OF FREMONT AVENUE. 12. CORRECTIONAL FACILITY (ADULT COMMUNITY CORRECTIONS) LIMITED TO A 3 ACRE PARCEL LOCATED BETWEEN THE EAST BOUNDARY AND THE PROPOSED DRAINAGE CHANNEL, NORTH OF THE PROPOSED ALIGNMENT OF E. FREMONT AVE. 13. USES NOT SPECIFICALLY LISTED ABOVE, MAY BE PERMITTED IF, IN THE OPINION OF THE ZONING ADMINISTRATION, THEY ARE SIMILAR IN CHARACTER TO THE USES STATED ABOVE AND IN CONFORMANCE WITH THE INTENT OF THIS PRELIMINARY DEVELOPMENT PLAN.	1. ADMINISTRATIVE PROFESSIONAL OFFICES INCLUDING MEDICAL AND DENTAL FACILITIES. 2. LIGHT INDUSTRIAL FACILITIES INCLUDING MINI STORAGE/ INDOOR STORAGE, MANUFACTURE, FABRICATION PROCESSING OR ASSEMBLING OF PRODUCTS. 3. RESEARCH AND DEVELOPMENT FACILITIES. 4. WAREHOUSING AND DISTRIBUTION FACILITIES. 5. WHOLESALE MERCHANDISE DISPLAY AND SALES. 6. ALL TEMPORARY AND ACCESSORY USES ASSOCIATED WITH THE ABOVE 7. OUTDOOR STORAGE ASSOCIATED WITH THE BUSINESS USE ON SITE WITHIN THIS DEVELOPMENT AREA SHALL BE ALLOWED AS LONG AS ADEQUATE VISUAL SCREENING IS CONSTRUCTED. ONLY ALLOWED NORTH OF FREMONT AVENUE. 8. RECREATIONAL AND CELLULAR USES 9. USES NOT SPECIFICALLY LISTED ABOVE, MAY BE PERMITTED IF, IN THE OPINION OF THE ZONING ADMINISTRATION, THEY ARE SIMILAR IN CHARACTER TO THE USES STATED ABOVE AND IN CONFORMANCE WITH THE INTENT OF THIS PRELIMINARY DEVELOPMENT PLAN.
MINIMUM LOT SIZE	1.0 ACRE MINIMUM	1.272 ACRES
DEVELOPMENT DENSITY AND LOT COVERAGE	OFFICE/LIGHT INDUST.  .75: 1 25%	.11: 1 89.1%
SETBACKS - PRINCIPAL BUILDINGS	1. MINIMUM FRONT SETBACK FROM PUBLIC RIGHT-OF-WAY: 30' FROM PRIVATE ROADS: 25' 2. ADJACENT PROPERTY LINES  3. INTERIOR LOT LINES 10' 4. SIDE-CORNER 15'	1. MINIMUM FRONT SETBACK FROM PUBLIC RIGHT-OF-WAY: 30' FROM PRIVATE ROADS: 25' 2. ADJACENT PROPERTY LINES 15'  3. INTERIOR LOT LINES 10' 4. SIDE-CORNER 15'
SETBACK - ACCESSORY BUILDINGS	1.0 ACRE MINIMUM  1. MINIMUM FRONT SETBACK FROM PUBLIC RIGHT-OF-WAY: 30' FROM PRIVATE ROADS: 25' 2. ADJACENT PROPERTY LINES 10'  3. INTERIOR LOT LINES 15' 4. SIDE-CORNER 15'	1.0 ACRE MINIMUM (NO ACCESSORY STRUCTURES IN PROPOSAL)  1. MINIMUM FRONT SETBACK FROM PUBLIC RIGHT-OF-WAY: 30' FROM PRIVATE ROADS: 25' 2. ADJACENT PROPERTY LINES 10'  3. INTERIOR LOT LINES 15' 4. SIDE-CORNER 15'
MINIMUM PARKING SETBACKS	FROM STREET RIGHT - OF - WAY 10'	10'
MINIMUM BUILDING SEPARATION	EXISTING PDP CASE NO. Z96 - 018 APPROVED 1/20/98 MINIMUM PRINCIPAL BUILDING SEPARATION: 35' MINIMUM PRINCIPAL AND ACCESSORY SEPARATION: 20' MINIMUM ACCESSORY BUILDING SEPARATION: (GARAGES, SHEDS, STORAGE BUILDINGS, AND RECREATION FACILITIES): 20'	PROPOSED FIRST AMENDMENTS PDP 35' 35' 10' 10' 20' 20'
MAXIMUM BUILDING HEIGHT	100'	100'
PUBLIC ROADWAYS	1. COLLECTOR STREET A. R.O.W. 60' B. PAVEMENT SECTION: 44' 2. LOCAL STREETS A. R.O.W. 50' B. PAVEMENT SECTION: 38' 3. TURNAROUNDS A. R.O.W. 45' RADIUS B. PAVEMENT SECTION: 38' RADIUS 4. PARKING (MIN SPACES PER 1,000 SQ. FT. G.F.A.) A. OFFICE USES: 3 B. COMMERCIAL/RETAIL: 4 C. WAREHOUSING: AS DETERMINED BY FINAL DEVELOPMENT PLAN D. OTHER NON-RESIDENTIAL USES: AS DETERMINED BY FINAL DEVELOPMENT PLAN E. RESIDENTIAL USES: N.A.	60' 60' 44' 44' 50' 50' 38' 38' 45' RADIUS 45' RADIUS 38' RADIUS 38' RADIUS 3 3 4 4 AS DETERMINED BY FINAL DEVELOPMENT PLAN AS DETERMINED BY FINAL DEVELOPMENT PLAN N.A. N.A.



### INDEX OF DRAWINGS (FDP)

Sheet Number	Sheet Name	Sort Order	Sort Order Name
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FDP101	GENERAL NOTES	1	FDP
FDP102	SITE AND GRADING PLAN	1	FDP
FDP103	LANDSCAPE PLAN	1	FDP
FDP104	LANDSCAPE DETAILS	1	FDP
FDP105	EXTERIOR ELEVATIONS	1	FDP
FDP106	EXTERIOR ELEVATIONS	1	FDP
FDP107	ELECTRICAL SITE PLAN - PHOTOMETRICS	1	FDP
FDP 108	ELECTRICAL FIXTURE CUT SHEET	1	FDP
FDP 109	SITE DETAILS	1	FDP

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STRUCTURAL:  
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 SUITE 100  
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 13772 DENVER WEST PARKWAY  
 SUITE 200  
 LAKEWOOD CO 80401  
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### SITE COVERAGE DATA

TOTAL LOT SIZE: 55,435 SF  
 TOTAL NON-PERVIOUS AREA: 40,538 SF  
 TOTAL PERVIOUS AREA: 14,897 SF (27%)

### PARKING CRITERIA

MIN. PARKING SPACE SIZE	9'x18'
3 SPACES PER 1000 SF OF FLOOR AREA	3 SPACES/1000 SF X 3,500 SF = 10
1 SPACE PER 1,000 SF OF FLOOR AREA	1 SPACE/1,000 SF X 2,500 SF = 3
TOTAL REQUIRED = 13	TOTAL PROVIDED = 15

### CERTIFICATE OF OWNERSHIP

I, \_\_\_\_\_ HEREBY AFFIRM THAT I AM THE OWNER OR AUTHORIZED AGENT OF ALL INDIVIDUALS HAVING OWNERSHIP INTEREST IN THE PROPERTY DESCRIBED HEREIN, KNOWN AS LOT 8 - JASKO ENTERPRISES, FINAL DEVELOPMENT PLAN. CASE NO. P15-002

OWNER OF RECORD OR AUTHORIZED AGENT \_\_\_\_\_

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS \_\_\_\_ DAY

OF \_\_\_\_\_ AD., 20\_\_

BY \_\_\_\_\_ AS \_\_\_\_\_

OR \_\_\_\_\_ AN AUTHORIZED SIGNATORY.

BY \_\_\_\_\_ WITNESS MY HAND AND SEAL

NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

CITY \_\_\_\_\_ STATE \_\_\_\_\_ ZIP CODE \_\_\_\_\_

### PLANNING COMMISSION RECOMMENDATION

RECOMMENDED BY THE ARAPAHOE COUNTY PLANNING COMMISSION, THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2015

CHAIR \_\_\_\_\_

### BOARD OF COUNTY COMMISSIONERS APPROVAL

APPROVED BY THE ARAPAHOE COUNTY BOARD OF COMMISSIONERS, THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 2015

CHAIR \_\_\_\_\_

PROJECT: CASE No. P15-002  
 CENTENNIAL EAST COPORATE CENTER #03  
 (JASKO ENTERPRISES TRUCKING FACILITY)  
 7154 S. DILLON CT.



ARCHITECTURAL  
 ROOT ARCHITECTURE AND DEVELOPMENT, LLC  
 ZEKE FREEMAN, R.A., G.C.  
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 DENVER CO, 80202  
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**JASKO ENTERPRISES TRUCKING FACILITY**  
 7154 S. DILLON CT.  
 ENGLEWOOD, CO 80112

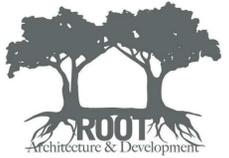
ISSUED FOR:  
 PERMIT DOCUMENTS  
 PROJ. NO. 15004  
 DRAWN: ZF  
 CHECKED: ZF

DATE: 04/19/2016  
 PERMIT SUBMITTAL 11-08-2015  
 ADD-01 02-09-2016  
 ADD-02 04-19-2016

SHEET TITLE:  
**COVER SHEET**  
 SHEET NUMBER  
**FDP100**

# LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

FINAL DEVELOPMENT PLAN  
LOT 8, BLOCK 1, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 3,  
LOCATED IN W1/2 OF SEC 30, T5S, R66W OF THE 6TH PRINCIPAL MERIDIAN  
COUNTY OF ARAPAHOE, STATE OF COLORADO



ARCHITECTURAL  
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DEVELOPMENT, LLC  
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jcaace.com

## LEGAL DESCRIPTION

FINAL DEVELOPMENT PLAN  
LOT 8, BLOCK 1, CENTENNIAL CORPORATE CENTER, FILING NO. 3,  
COUNTY OF ARAPAHOE, STATE OF COLORADO

## STANDARD NOTES

THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDER(S) OF THE FINAL DEVELOPMENT PLAN KNOWN AS LOT 8 JASKO ENTERPRISE TRUCKING FACILITY, THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

### 1. STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAN/PLAT WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED, AND PROVIDED CONSTRUCTION OF SAID ROADWAYS IS STARTED WITHIN ONE YEAR OF THE CONSTRUCTION PLAN APPROVAL. THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

### 2. DRAINAGE MAINTENANCE

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENT. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. ARAPAHOE COUNTY SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

### 3. EMERGENCY ACCESS NOTE

EMERGENCY ACCESS IS GRANTED HERewith OVER AND ACROSS ALL PAVED AREAS FOR POLICE, FIRE AND EMERGENCY VEHICLES.

### 4. DRIVES, PARKING AREAS, AND UTILITY EASEMENTS MAINTENANCE

THE OWNERS OF THIS PLAN OR PLAT, THEIR SUCCESSORS, AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF ANY AND ALL DRIVES, PARKING AREAS, AND EASEMENTS, I.E.: CROSS-ACCESS EASEMENTS, DRAINAGE EASEMENTS, ETC.

### 5. PRIVATE STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE PRIVATE ROADWAYS SHOWN ON THIS PLAT/PLAN ARE NOT IN CONFORMANCE WITH ARAPAHOE COUNTY ROADWAY DESIGN AND CONSTRUCTION STANDARDS AND WILL NOT BE MAINTAINED BY THE COUNTY UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN CONFORMANCE WITH THE SUBDIVISION REGULATIONS IN EFFECT AT THE DATE OF THE REQUEST FOR DEDICATION. THE OWNERS, DEVELOPERS, AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE COUNTY ACCEPTS RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

### 6. DRAINAGE LIABILITY

IT IS THE POLICY OF ARAPAHOE COUNTY THAT IT DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE DRAINAGE FACILITIES DESIGNED AND/OR CERTIFIED BY BROWN CIVIL ENGINEERING, ARAPAHOE COUNTY REVIEWS DRAINAGE PLANS PURSUANT TO COLORADO REVISED STATUTES TITLE 30, ARTICLE 28, BUT CANNOT, ON BEHALF OF JASMIN MALJANOVIC GUARANTEE THAT FINAL DRAINAGE DESIGN REVIEW WILL ABSOLVE JASMIN MALJANOVIC AND/OR THEIR SUCCESSORS AND/OR ASSIGNS OF FUTURE LIABILITY FOR IMPROPER DESIGN. IT IS THE POLICY OF ARAPAHOE COUNTY THAT APPROVAL OF THE FINAL PLAT AND/OR FINAL DEVELOPMENT PLAN DOES NOT IMPLY APPROVAL OF BROWN CIVIL ENGINEERING DRAINAGE DESIGN.

### 7. LANDSCAPE MAINTENANCE

THE OWNERS OF THIS PLAN OR PLAT, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNER'S ASSOCIATION OR OTHER ENTITY OTHER THAN ARAPAHOE COUNTY IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME OTHER ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.

### 8. SIGHT TRIANGLE MAINTENANCE

THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN SAID TRIANGLE.

### 9. PUBLIC IMPROVEMENTS NOTE

AFTER FINAL DEVELOPMENT PLAN/FINAL PLAT APPROVAL, ISSUANCE OF INDIVIDUAL BUILDING PERMITS WILL BE SUBJECT TO THE FOLLOWING STIPULATIONS AND/OR CONDITIONS PRECEDENT, WHICH OWNER AGREES TO IN CONJUNCTION WITH APPROVAL OF THE FINAL DEVELOPMENT PLAN AND/OR FINAL PLAT. SUCH BUILDING PERMITS WILL BE ISSUED ONLY AFTER THE OWNERS GUARANTEE PUBLIC IMPROVEMENTS IN A FORM ACCEPTABLE TO THE BOARD OF COUNTY COMMISSIONERS PURSUANT TO STATE STATUTE.

### 10. DRAINAGE MASTER PLAN NOTE

THE POLICY OF THE COUNTY REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW:  
1. DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE PHASE III DRAINAGE REPORT AND PLAN.  
2. DESIGN AND CONSTRUCT THE CONNECTION OF THE SUBDIVISION DRAINAGE SYSTEM TO A DRAINAGEWAY OF ESTABLISHED CONVEYANCE CAPACITY SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGEWAY. THE COUNTY WILL REQUIRE THAT THE CONNECTION OF THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFFSITE FLOWS) LEAVING THE SPECIFIC DEVELOPMENT SITE. TO MINIMIZE OVERALL CAPITAL COSTS, THE COUNTY ENCOURAGES ADJACENT DEVELOPMENTS TO JOIN IN DESIGNING AND CONSTRUCTING CONNECTION SYSTEMS. ALSO, THE COUNTY MAY CHOOSE TO PARTICIPATE WITH A DEVELOPER IN THE DESIGN AND CONSTRUCTION OF THE CONNECTION SYSTEM.  
3. EQUITABLE PARTICIPATION IN THE DESIGN AND CONSTRUCTION OF THE MAJOR DRAINAGEWAY SYSTEM THAT SERVES THE DEVELOPMENT AS DEFINED BY ADOPTED MASTER DRAINAGEWAY PLANS (SECTION 3.4 OF THE ARAPAHOE COUNTY STORMWATER MANAGEMENT MANUAL) OR AS REQUIRED BY THE COUNTY AND DESIGNATED IN THE PHASE III DRAINAGE REPORT.

## AIRPORT INFLUENCE AREA NOTE (OFF-SITE IMPROVEMENTS)

TO CARRY OUT ONE OR MORE OF THE FOLLOWING AS MAY BE REQUIRED BY THE BOARD OF COUNTY COMMISSIONERS:

- 1) TO INCLUDE SAID DEVELOPMENT WITHIN A SPECIAL DISTRICT FOR THE PURPOSE OF PARTICIPATION IN THE CONSTRUCTION OF NECESSARY OFF-SITE IMPROVEMENTS AT THE TIME OF APPROVAL OF FINAL DEVELOPMENT PLANS.
- 2) TO COOPERATE WITH OTHER OWNERS OF OTHER PARCELS AND/OR OTHER SPECIAL DISTRICTS IN OFF-SITE ROADWAY IMPROVEMENTS AS NECESSITATED BY THE DEVELOPMENT IMPACTS AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.
- 3) TO COMPLETE SUCH OTHER IMPROVEMENTS TO PUBLIC ROADWAYS BROUGHT ABOUT OR IMPACTED BY THIS DEVELOPMENT AS MAY BE DETERMINED BY THE BOARD OF COUNTY COMMISSIONERS.
- 4) TO PARTICIPATE AND COOPERATE IN ANY TRANSPORTATION MANAGEMENT PROGRAM AS SPECIFIED IN THE AIRPORT INFLUENCE AREA TRANSPORTATION STUDY, IF SUCH A PROGRAM IS APPROVED AND/OR ADOPTED BY THE BOARD OF COUNTY COMMISSIONERS.

## SPECIFIC NOTES

### 1. AIRPORT INFLUENCE AREA NOTE (EASEMENT/HAZARD EASEMENT)

AN AVIATION AND HAZARD EASEMENT AFFECTING ALL PROPERTY CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN, HAS BEEN LEGALLY EXECUTED. SAID EASEMENT DOCUMENT CAN BE FOUND AT RECEPTION NO. A8093463 OF THE RECORDS OF THE ARAPAHOE COUNTY CLERK AND RECORDER.

THE LANDS CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN LIE WITHIN THE AIRPORT INFLUENCE AREA. AN AREA WHICH IS LIKELY TO BE AFFECTED BY AIRCRAFT OPERATIONS AND THEIR POTENTIAL NOISE AND/OR CRASH HAZARDS TO A GREATER DEGREE THAN LANDS SITUATED OUTSIDE OF THE INFLUENCE AREA. ALL LANDS CONTAINED WITHIN THIS FINAL DEVELOPMENT PLAN SHALL COMPLY WITH F.A.R. PART 77, "HEIGHT AND OBSTRUCTIONS CRITERIA".

### 3. STREET LIGHTING

ALL LOTS ARE SUBJECT TO AND BOUND BY TARIFFS WHICH ARE NOW AND MAY IN THE FUTURE BE FILED WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO RELATING TO STREET LIGHTING IN THIS PLAN OR PLAT, TOGETHER WITH RATES, RULES, AND REGULATIONS THEREIN PROVIDED AND SUBJECT TO ALL FUTURE AMENDMENTS AND CHANGES THERETO. THE OWNER OR OWNERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL PAY AS BILLED, A PORTION OF THE COST OF PUBLIC STREET LIGHTING IN THE PLAN OR PLAT ACCORDING TO APPLICABLE RATES, RULES, AND REGULATIONS, INCLUDING FUTURE AMENDMENTS AND CHANGES ON FILE WITH THE PUBLIC UTILITIES COMMISSION OF THE STATE OF COLORADO.

### 6. STORMWATER MAINTENANCE

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PERMANENT BEST MANAGEMENT PRACTICES (BMP'S) AND STORMWATER FACILITIES INSTALLED PURSUANT TO THE SUBDIVISION AGREEMENTS AND THE OPERATIONS AND MAINTENANCE (O AND M) GUIDE IN THE CASE OF PERMANENT BMP'S. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO, MAINTAINING THE SPECIFIED BMP'S CONTAINED IN THE O AND M MANUAL RECORDED AT RECEPTION NUMBER AND THE STORMWATER FACILITIES SHOWN IN THE APPROVED PHASE III DRAINAGE REPORT AND SHOWN ON THE APPROVED CONSTRUCTION DRAWINGS. THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, OR SOME ENTITY OTHER THAN ARAPAHOE COUNTY, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL PERMANENT BMP'S AND/OR STORMWATER FACILITIES ASSOCIATED WITH THIS DEVELOPMENT. IF THE PERMANENT BMP'S AND STORMWATER FACILITIES ARE NOT PROPERLY MAINTAINED, THE COUNTY MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

JASKO  
ENTERPRISES  
TRUCKING FACILITY  
7154 S. DILLON CT.  
ENGLEWOOD, CO 80112

ISSUED FOR:  
PERMIT DOCUMENTS  
PROJ. NO. 15004  
DRAWN: ZF  
CHECKED: ZF

DATE: 04/19/2016  
PERMIT 11-08-2015  
SUBMITTAL  
ADD- 01 02-09-2016  
ADD- 02 04-19-2016

SHEET TITLE:  
GENERAL  
NOTES

SHEET NUMBER

**FDP101**

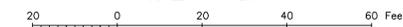
# LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

FINAL DEVELOPMENT PLAN  
 LOT 8, BLOCK 1, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 3,  
 LOCATED IN W1/2 OF SEC 30, T5S, R66W OF THE 6TH PRINCIPAL MERIDIAN  
 COUNTY OF ARAPAHOE, STATE OF COLORADO



NORTH

SCALE: 1" = 20'

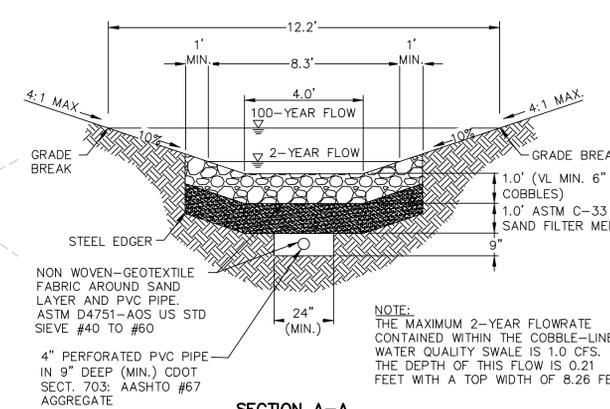
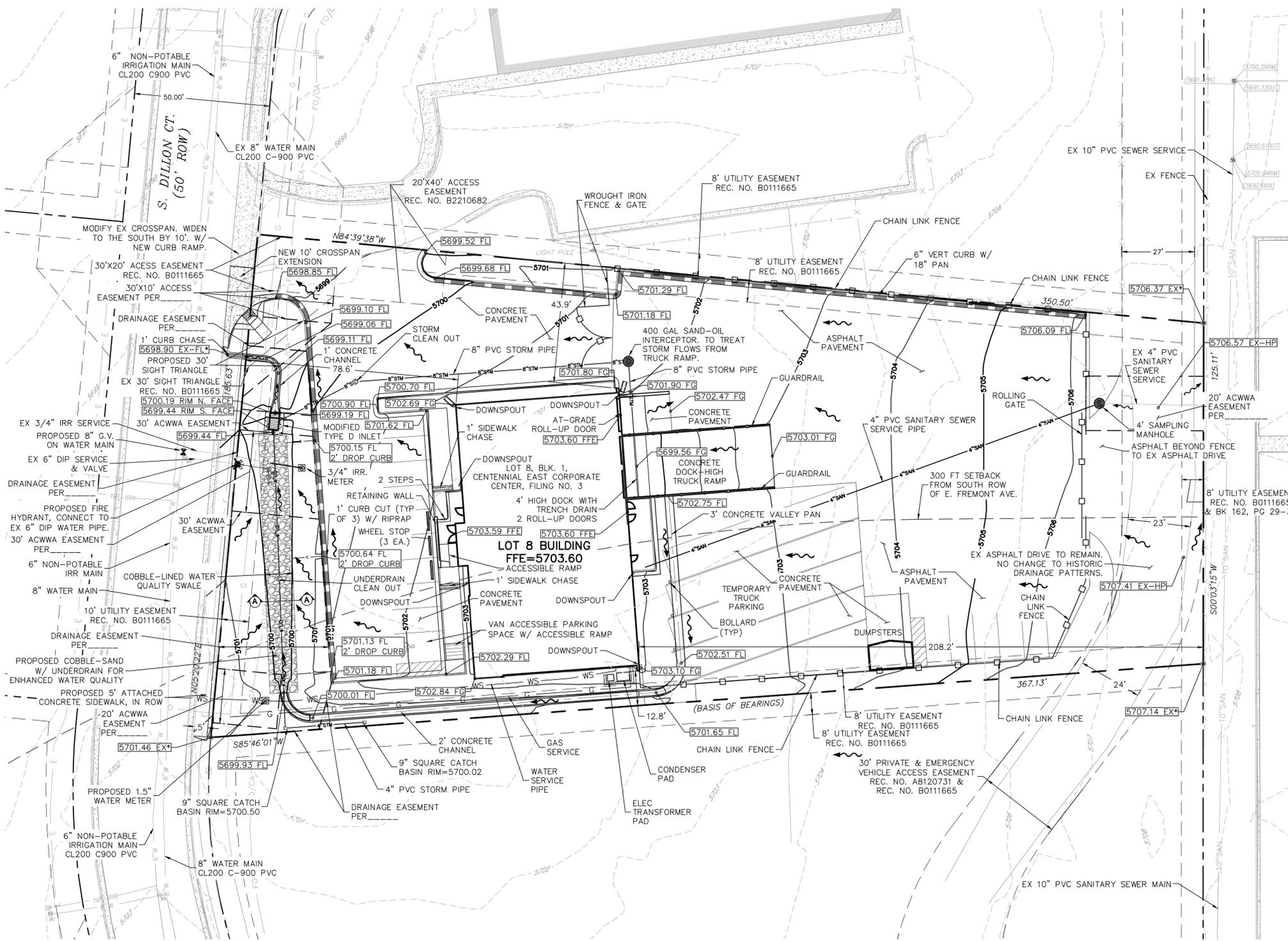


## GRADING LEGEND

5200.00 FL	- PROPOSED SPOT ELEVATION
FL	- FLOW LINE
G	- GRADE
GB	- GRADE BREAK
TC	- TOP OF CURB
HP	- HIGH POINT
LP	- LOW POINT
EOP	- EDGE OF PAVEMENT
FG	- FINISHED GRADE
*	- FIELD VERIFY ELEVATION
5025	- PROPOSED MAJOR CONTOUR
5027	- PROPOSED MINOR CONTOUR
5025	- EXISTING MAJOR CONTOUR
5027	- EXISTING MINOR CONTOUR
2.0%	- PROPOSED SURFACE SLOPE
~	- DRAINAGE DIRECTION
▭	- SPLASH BLOCK
▬	- PROPOSED CATCH CURB, PROVIDE SPILL CURB ELSEWHERE

## EXISTING LEGEND

W	- EXISTING WATER LINE
10" SAN	- EXISTING SEWER LINE
⊙	- EXISTING SEWER MANHOLE
⊙	- EXISTING LIGHTPOLE
⊗	- EXISTING WATER VALVE
NP-IRR	- NON-POTABLE IRRIGATION
G	- EX GAS
FO/CA	- FIBER OPTIC/CABLE



### NOTES

- REGIONAL POND W6/W7 IS THE EXISTING STORMWATER MANAGEMENT FACILITY THAT WILL PROVIDE DETENTION AND PERMANENT WATER QUALITY FOR THE SITE.
- FOR APPROXIMATE 100-YR FLOODPLAIN DELINEATION OF WINDMILL CREEK CHANNEL SEE PHASE III DRAINAGE REPORT APPENDIX.
- THE JASKO TRUCKING FACILITY SITE IS NOT LOCATED WITHIN A FEMA 100-YR FLOODPLAIN. THE SITE IS LOCATED WITHIN ZONE X OF FIRM 08005C0479K, REV. DECEMBER 17, 2010.
- ALL WATER & SANITARY SEWER CONSTRUCTION & MATERIALS TO CONFORM TO ARAPAHOE COUNTY WATER & WASTEWATER AUTHORITY STANDARDS.
- ALL MATERIALS AND CONSTRUCTION WITHIN THE PUBLIC RIGHT OF WAY TO CONFORM TO ARAPAHOE COUNTY STANDARDS.

Call 2-business days in advance before you dig, grade or excavate.



Know what's below. Call before you dig.

### BENCH MARK

THE ELEVATIONS SHOWN HEREON ARE BASED UPON CITY OF AURORA BENCH MARK "JR-135", 3" BRASS CAP LOCATED AT NORTHEASTERLY RIGHT-OF-WAY OF JORDAN ROAD, 1 FOOT SOUTHWEST OF NORTHEASTERLY RIGHT-OF-WAY OF 8 FOOT HIGH STONE COLUMN AND WOOD FENCE LINE, BEING SOUTHEAST OF DRIVEWAY ENTRANCE FOR RECYCLING FACILITY SOUTH OF EASTER AVENUE.  
 ELEVATION = 5698.85 FEET (NAVD 1988)



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JASKO  
 ENTERPRISES  
 TRUCKING FACILITY  
 7154 S DILLON CT  
 ENGLEWOOD, CO 80112

ISSUED FOR:  
 FINAL DEVELOPMENT PLAN  
 PROJ. NO. 15004  
 DRAWN: DEJ  
 CHECKED: JCP  
 DATE: 04-19-2016  
 PERMIT SUBMITTAL 11-08-2015  
 ADD-01 02-09-2016  
 ADD-02 04-19-2016

SHEET TITLE:  
 SITE AND GRADING PLAN

SHEET NUMBER

FDP102

# LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

FINAL DEVELOPMENT PLAN  
 LOT 8, BLOCK 1, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 3,  
 LOCATED IN W1/2 OF SEC 30, T5S, R66W OF THE 6TH PRINCIPAL MERIDIAN  
 COUNTY OF ARAPAHOE, STATE OF COLORADO



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JASKO  
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 TRUCKING FACILITY  
 7154 S. DILLON CT.  
 ENGLEWOOD, CO 80112

ISSUED FOR:  
 PERMIT DOCUMENTS  
 PROJ. NO. 15004  
 DRAWN: ZF  
 CHECKED: ZF

DATE: 04/19/2016  
 PERMIT SUBMITTAL 11-08-2015  
 ADD-01 02-09-2016  
 ADD-02 04-19-2016

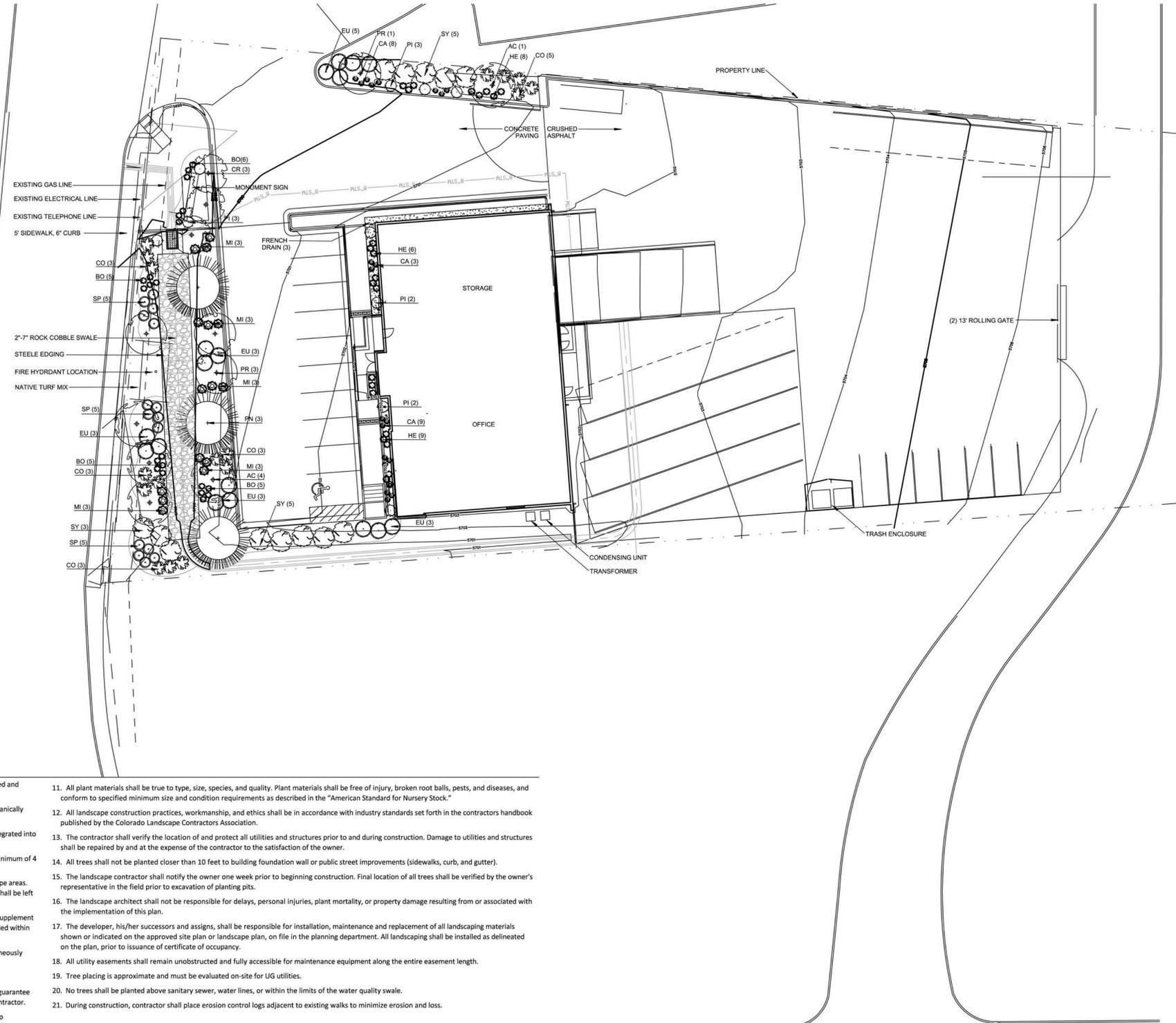
SHEET TITLE:  
 LANDSCAPE  
 PLAN  
 SHEET NUMBER  
**FDP103**

ICON	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	QTY.
<b>DECIDUOUS TREES</b>					
AC	AC	Acer ginnala	Amur Maple	2"	5
PR	PR	Prunus virginiana 'Canada Red'	Chokcherry, Canada Red	2"	4
<b>ORNAMENTAL TREES</b>					
CR	CR	Crataegus crusgalli inermis	Hawthorn, Thornless Cockspur	1.5"	3
<b>EVERGREEN TREES</b>					
PN	PN	Pinus edulis	Pinion Pine	2"	3
<b>DECIDUOUS SHRUBS</b>					
EU	EU	Euonymus alatus	Burning Bush	#5	17
CO	CO	Cornus alba 'Elegantissima'	Red Twig Dogwood, Variegated	#5	17
SP	SP	Spiraea x bumalda 'Anthony Waterer'	Spirea, Anthony Waterer	#5	15
SY	SY	Syringa vulgaris	Common Lilac, Purple	#5	13
<b>EVERGREEN SHRUBS</b>					
PI	PI	Picea pungens 'Globosa'	Blue Spruce, Globe	#5	10
<b>ORNAMENTAL GRASSES</b>					
BO	BO	Bouteloua gracilis 'Blonde Ambition'	Blue Grama, Blonde Ambition	#5	21
CA	CA	Calamagrostis brachytricha	Feather Reed Grass, Korean	#5	20
HE	HE	Helictotrichon sempervirens	Blue Oat Grass	#5	23
MI	MI	Miscanthus sinensis purpurascens	Maiden Grass, Purple Flame	#5	15

LANDSCAPE CALCULATIONS	
Total lot area:	55,435 SF
Total landscape area:	14,897 SF (27%)
Landscape requirements per Arapahoe county landscape code (12-1406)	
B. Within a required landscaped area for commercial, industrial and business development, the following ratios apply:	
1. One (1) tree and ten (10) shrubs, or an acceptable combination of trees and shrubs, for every 1,000 square feet of landscaped area.	
2. Ornamental clump grasses may be exchanged for up to fifty percent of the required shrubs at a ratio of three ornamental clump grasses for one shrub if one gallon clump grasses are selected.	
3. Ornamental clump grasses may be exchanged for up to fifty percent of the required shrubs at a ratio of one ornamental clump grass for one shrub if five gallon clump grasses are selected.	
1 Tree/1,000 SF x 14,442 SF =	15 Trees Required
	15 Trees Provided
10 Shrubs/1,000 SF x 14,442 SF =	150 Shrubs or #5 Ornamental Grasses
	72 Shrubs and 79 #5 Ornamental Grasses Provided

### GENERAL LANDSCAPE NOTES

- All landscape improvements and related appurtenances placed or relocated within the Arapahoe County Rights-of-Way must be reviewed and approved by the Arapahoe County Division of Engineering.
- All topsoil shall be amended with compost at a rate of 5 cubic yards per thousand square feet of landscape area. Compost shall be mechanically integrated into the top 6" of soil using tiller or ripper teeth equipment.
- Soil amendment fertilizer shall have the chemical analysis of Nitrogen-18, Phosphorus-46, Potash-0. Fertilizer shall be mechanically integrated into the amended soil-compost mixture at a rate of 5 pounds per thousand square feet.
- All edging shall be 6" painted steel with protective cap. All edging shall overlap at joints a minimum of 6" and shall be fastened with a minimum of 4 pins per 10' section.
- After all planting is complete, contractor shall install landscape fabric and the specified landscape mulch throughout all exposed landscape areas. Contractor should use small bark mulch or shredded cedar mulch installed at a depth of no less than 3". Absolutely no exposed ground shall be left showing anywhere on the project after mulch has been installed.
- All grass, trees, and shrubs shall be irrigated by automatic irrigation system using sprinkler and drip emitters as required to adequately supplement moisture requirements. Landscape and irrigation plans for areas included within Rights-of-Way and Public Use Easements shall be included within construction documents.
- All planting pits shall be dug double the container size and amended with a minimum of 1/3 peat moss or other organic matter homogeneously mixed into topsoil.
- No substitutions of plant material shall be made without written consent of the owner.
- All trees, shrubs, and grasses shall be guaranteed to remain alive and healthy for a 12 month period after initial acceptance. During the guarantee period, the contractor shall notify the owner, in writing, of any maintenance deficiencies. All replacement costs shall be borne by the contractor.
- The contractor shall be responsible for visiting the site prior to bidding. It is further recommended the contractor test soils to ensure no contamination is present. Verify static water pressure for irrigation system requirements, and review plans for conflicts. Any and all conflicts without exception shall be reported to developer immediately.
- All plant materials shall be true to type, size, species, and quality. Plant materials shall be free of injury, broken root balls, pests, and diseases, and conform to specified minimum size and condition requirements as described in the "American Standard for Nursery Stock."
- All landscape construction practices, workmanship, and ethics shall be in accordance with industry standards set forth in the contractors handbook published by the Colorado Landscape Contractors Association.
- The contractor shall verify the location of and protect all utilities and structures prior to and during construction. Damage to utilities and structures shall be repaired by and at the expense of the contractor to the satisfaction of the owner.
- All trees shall not be planted closer than 10 feet to building foundation wall or public street improvements (sidewalks, curb, and gutter).
- The landscape contractor shall notify the owner one week prior to beginning construction. Final location of all trees shall be verified by the owner's representative in the field prior to excavation of planting pits.
- The landscape architect shall not be responsible for delays, personal injuries, plant mortality, or property damage resulting from or associated with the implementation of this plan.
- The developer, his/her successors and assigns, shall be responsible for installation, maintenance and replacement of all landscaping materials shown or indicated on the approved site plan or landscape plan, on file in the planning department. All landscaping shall be installed as delineated on the plan, prior to issuance of certificate of occupancy.
- All utility easements shall remain unobstructed and fully accessible for maintenance equipment along the entire easement length.
- Tree placing is approximate and must be evaluated on-site for UG utilities.
- No trees shall be planted above sanitary sewer, water lines, or within the limits of the water quality swale.
- During construction, contractor shall place erosion control logs adjacent to existing walks to minimize erosion and loss.



# LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

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 LOT 8, BLOCK 1, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 3,  
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 ADD-01 02-09-2016  
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SHEET TITLE:  
 LANDSCAPE  
 DETAILS  
 SHEET NUMBER  
**FDP104**

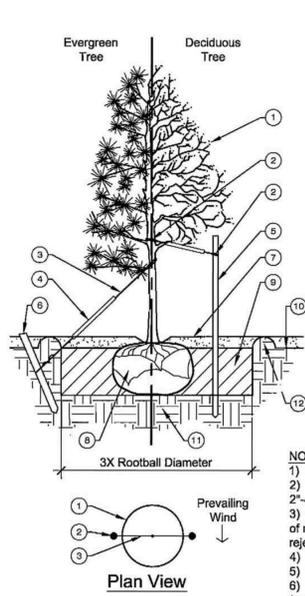
## Planting notes:

1. Call UNCC at (303) 232-1991 prior to any excavation.
2. All work shall conform to applicable local codes.
3. The contractor shall make himself aware of the locations of existing and proposed utilities, and shall be responsible for any damage to the utilities and/or any injury to any person.
4. The contractor shall take extreme care not to damage any existing plant material. Any plant material damaged by the contractor shall be replaced with the same species, size, and quantity at the contractor's own expense, and as acceptable to the owner.
5. After finish grades have been established, contractor shall have soil samples tested by an established soil testing laboratory for the following: soil fertility, organic matter content, agricultural stability, and lime, salt, and boron content. Each sample submitted shall contain no less than one quart of soil. Contractor shall also submit the project's plant list to the laboratory along with the soil samples. The soil report produced by the laboratory shall contain recommendations for the following (as appropriate): general soil preparation and backfill mixes, pre-plant fertilizer applications, and any other soil related issues. The report shall also provide a fertilizer program for the establishment period and for long-term maintenance.
6. The contractor shall install soil amendments and fertilizers per the soils report recommendations, and after receiving a change order from the owner. Any change in cost due to the soil report recommendations shall be submitted to the owner with the report, refer to specifications for soil preparation methods.
7. For bidding purposes only, the soil preparation shall consist of the following:  
 Trees, Shrubs, and Perennials- Backfill Only  
 6 parts by volume on-site soil  
 2 parts by volume nitrogen stabilized organic amendment  
 10 lbs. 12-12-12 fertilizer per cu. Yd.  
 10 lbs. agricultural gypsum per cu. Yd.  
 2 lbs. iron sulphate per cu. Yd.
8. A pre-emergent herbicide is recommended in areas not receiving seeded material or ornamental grasses.
9. All plant locations are diagrammatic. Actual locations shall be verified with the landscape architect prior to planting.
10. All plant material within a species shall have a similar size, and shall be of a form typical for the species. Any plant deemed unacceptable by the landscape architect shall be immediately removed from the site and shall be replaced with an acceptable plant of like type and size at the contractor's own expense. The landscape architect shall be the sole judge as to the acceptability of the plant material.
11. Trees with central leaders will not be accepted if leader is damaged or removed.
12. All planting areas less shall receive a layer of mulch. The mulch shall be spread evenly throughout all planting areas unless otherwise specified on the plan. The mulch shall be 2" deep within all tree and shrub watering basins. Absolutely no bare ground shall be showing.
13. All planting areas on slopes over 4:1 shall receive coconut fiber erosion control netting from rolls. Install and stake per manufacturers specifications.
14. The contractor shall maintain the project in a healthy and weed-free condition for a period of 90 days.
15. The contractor shall guarantee all trees, shrubs, and grasses for a period of one year. The contractor shall replace, at his own expense, any plants which die in that time. After the 90 maintenance period, the contractor shall only be responsible for replacement of plant materials when plant death cannot be attributed directly to overwatering or other damage by human actions.

## Disclaimer

The Landscape Architect has prepared these plans from the base information provided to him through Root Architecture on 4/30/2015. The existence and location of any underground utility pipes, structures and wires shown on these plans were obtained from said base information. Approval of this plan by the owner does not constitute a representation as to the accuracy of location or the existence or non-existence of any underground utility pipe, wire or structure within the limits of this project.

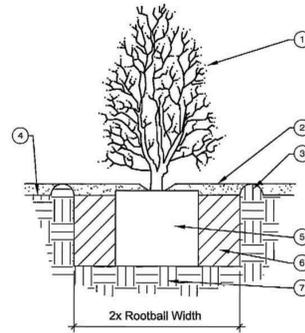
The contractor shall be responsible for taking all due precautionary measures to protect any existing utility lines not of record or shown on the plans. Contractor shall familiarize himself with these plans for pertinent information relating to construction.



- 1 Tree Canopy.
- 2 Nylon Tree Straps at Ends of Wire. Secure Strap to Stake or Deadman with Nails.
- 3 12 Gauge Galvanized Wire. Secure to Trunk Just Above Lowest Major Branches.
- 4 24" x 3/4" P.V.C. Markers Over Wires.
- 5 Pressure-Treated Wood Stake, 2" Diameter. Extend Stakes 12" Min. into Undisturbed Soil.
- 6 Pressure-Treated Wood Deadman, Two per Tree (Min.). Bury Outside of Planting Pit and 18" Min. Below Finish Grade.
- 7 Mulch - Depth and Type per Plans and Specs. Do Not Mulch Within 3" of Trunk.
- 8 Root Ball.
- 9 Backfill - Amend and Add Fertilizers Only as Recommended in Soil Fertility Analysis.
- 10 Finish Grade.
- 11 Undisturbed Native Soil.
- 12 4" High Earthen Watering Basin.

- NOTES:
- 1) Scarify sides of planting pit prior to setting tree.
  - 2) The rootball shall rest on undisturbed soil. The top of the rootball shall be 2"-4" above finish grade.
  - 3) Remove wire baskets from rootballs. Remove burlap and rope from top 1/2 of root ball when tree is set in planting hole. Trees with broken rootballs will be rejected.
  - 4) Remove all nursery stakes.
  - 5) Wrap trunk of deciduous trees to lowest major branch.
  - 6) For trees over 3" caliper, use three stakes (deciduous trees) or deadmen (evergreen trees) spaced evenly around the tree.

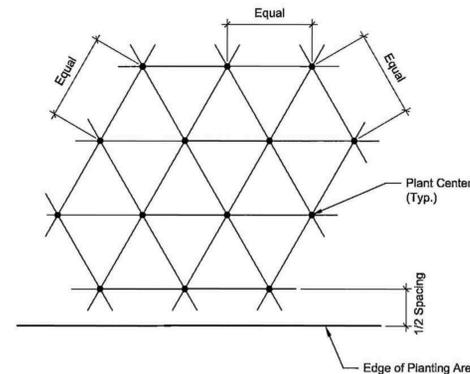
**1** EVERGREEN AND DECIDUOUS TREE  
 SCALE: NTS



- 1 Plant.
- 2 Mulch - Depth and Type per Plans and Specs. Do Not Mulch Within 3" of Trunk.
- 3 3" High Earthen Watering Basin.
- 4 Finish Grade.
- 5 Root Ball.
- 6 Backfill - Amend and Add Fertilizers Only as Recommended in Soil Fertility Analysis.
- 7 Undisturbed Native Soil.

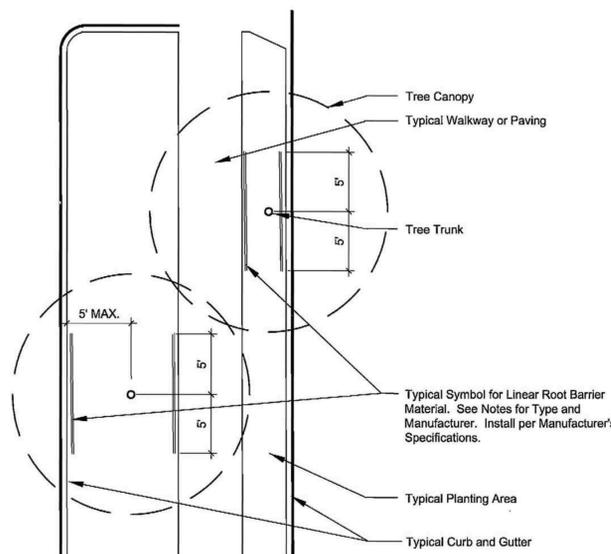
- NOTES:
- 1) Scarify sides of planting pit prior to setting plant.
  - 2) The rootball shall rest on undisturbed soil. The top of the rootball shall be 2" above finish grade.
  - 3) Plants with broken rootballs will be rejected.

**2** SHRUB, PERENNIAL, AND ORNAMENTAL GRASS  
 SCALE: NTS

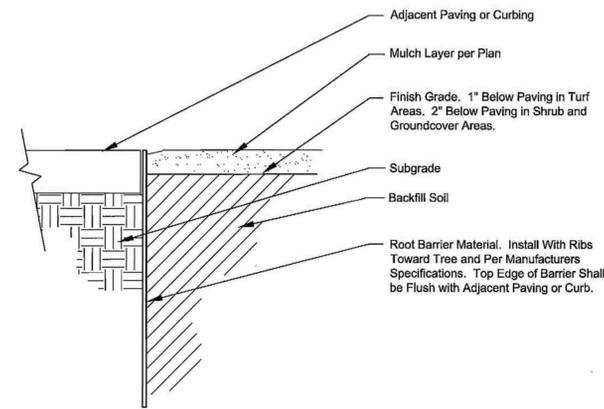


NOTE: All plants to be planted at equal triangular spacing (except where shown on plans as informal groupings). Refer to plant legend for spacing of plants.

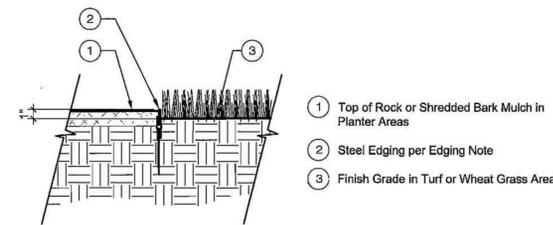
**3** TYPICAL PLANT SPACING  
 SCALE: NTS



**4** ROOT BARRIER DETAIL  
 SCALE: NTS



**5** ROOT BARRIER DETAIL  
 SCALE: NTS



**6** STEEL EDGING  
 SCALE: NTS

# LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

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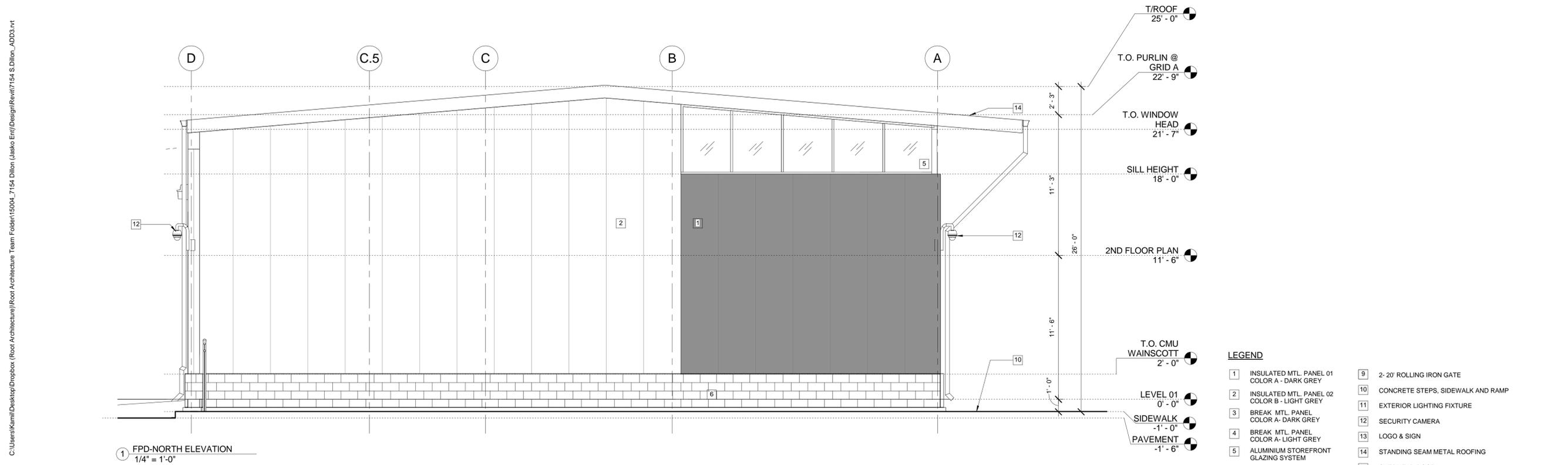
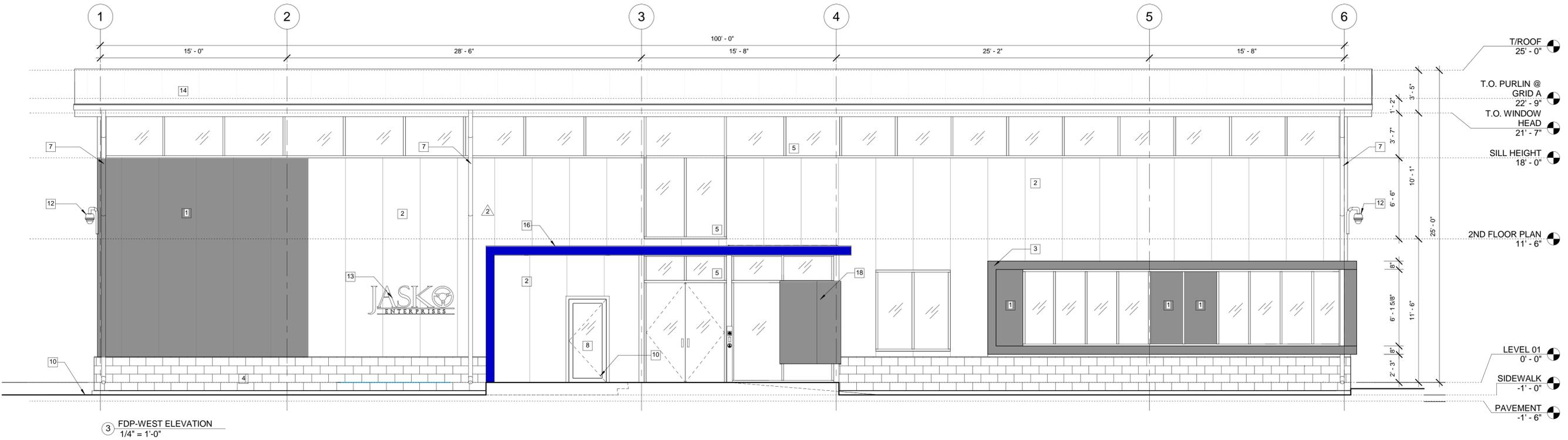
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SHEET TITLE:  
**EXTERIOR ELEVATIONS**  
 SHEET NUMBER  
**FDP105**



- LEGEND**
- 1 INSULATED MTL. PANEL 01 COLOR A - DARK GREY
  - 2 INSULATED MTL. PANEL 02 COLOR B - LIGHT GREY
  - 3 BREAK MTL. PANEL COLOR A- DARK GREY
  - 4 BREAK MTL. PANEL COLOR A- LIGHT GREY
  - 5 ALUMINIUM STOREFRONT GLAZING SYSTEM
  - 6 SPLIT FACE CMU BASE
  - 7 ALUMINIUM DOWN SPOUT
  - 8 HOLLOW METAL DOOR
  - 9 2-20' ROLLING IRON GATE
  - 10 CONCRETE STEPS, SIDEWALK AND RAMP
  - 11 EXTERIOR LIGHTING FIXTURE
  - 12 SECURITY CAMERA
  - 13 LOGO & SIGN
  - 14 STANDING SEAM METAL ROOFING
  - 15 OVERHEAD DOOR
  - 16 BREAK MTL. PANEL COLOR C- COBALT BLUE
  - 17 SPANDRELL PANEL
  - 18 STOREFRONT INSULATED METAL PANEL TO MATCH COLOR 'A' - BY STOREFRONT MANUFACTURER.

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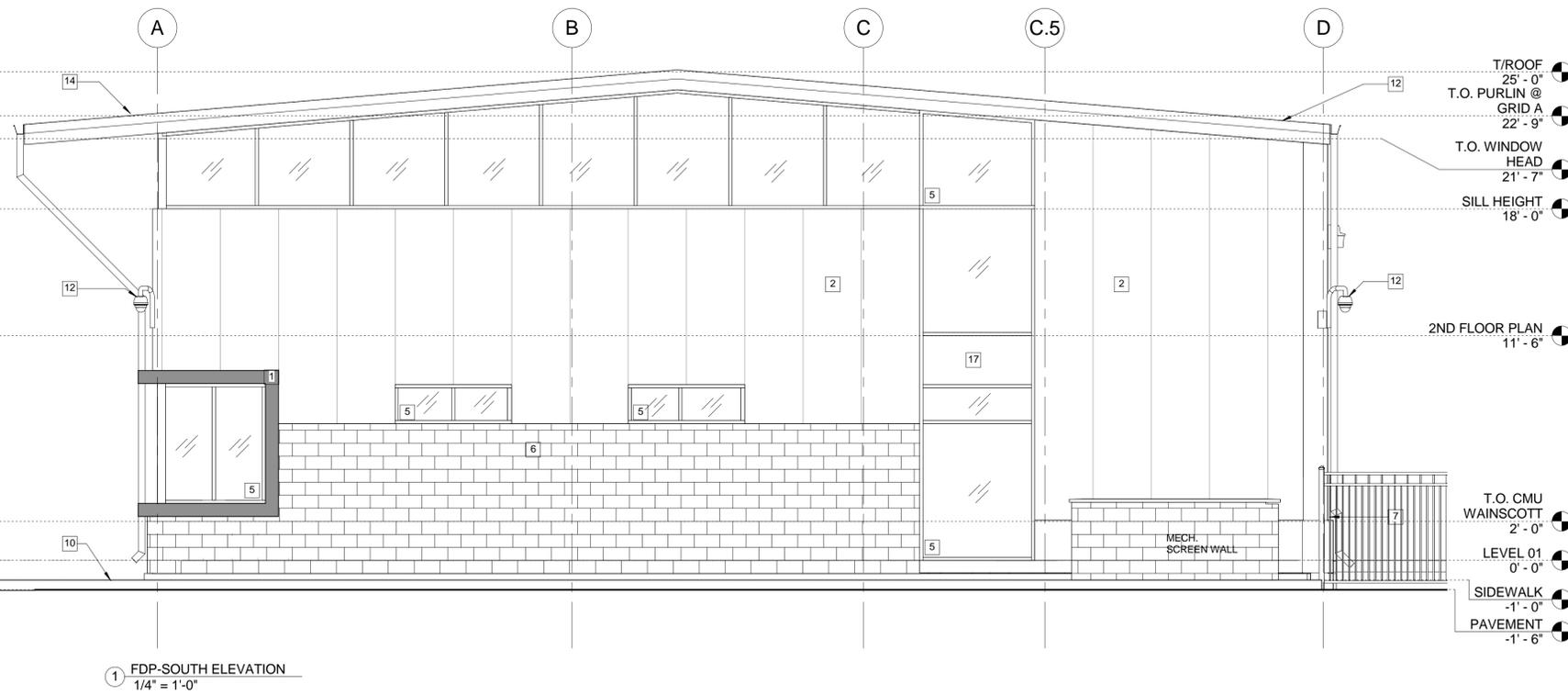
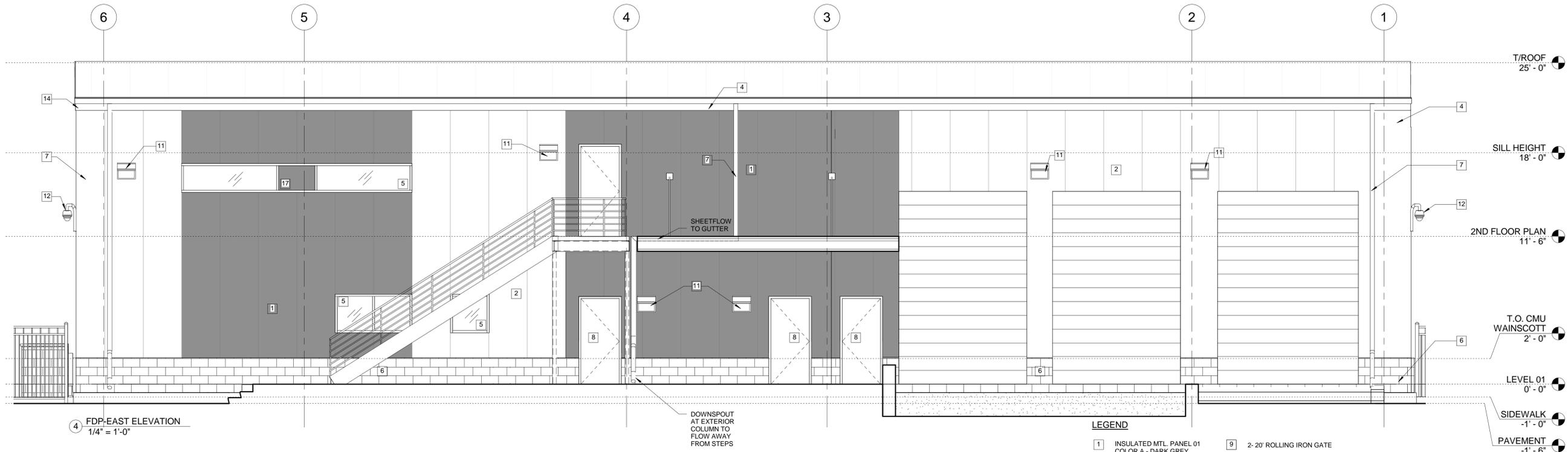
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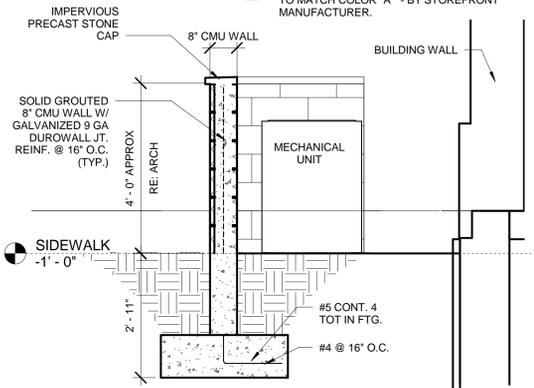
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SHEET TITLE:  
**EXTERIOR  
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**FDP106**



### LEGEND

- |   |  |
|---|--|
| 1 INSULATED MTL. PANEL 01<br>COLOR A - DARK GREY  | 9 2'-20" ROLLING IRON GATE   |
| 2 INSULATED MTL. PANEL 02<br>COLOR B - LIGHT GREY | 10 CONCRETE STEPS, SIDEWALK AND RAMP   |
| 3 BREAK MTL. PANEL<br>COLOR A - DARK GREY         | 11 EXTERIOR LIGHTING FIXTURE   |
| 4 BREAK MTL. PANEL<br>COLOR A - LIGHT GREY        | 12 SECURITY CAMERA   |
| 5 ALUMINIUM STOREFRONT<br>GLAZING SYSTEM          | 13 LOGO & SIGN   |
| 6 SPLIT FACE CMU BASE                             | 14 STANDING SEAM METAL ROOFING   |
| 7 ALUMINIUM DOWN SPOUT                            | 15 OVERHEAD DOOR   |
| 8 HOLLOW METAL DOOR                               | 16 BREAK MTL. PANEL<br>COLOR C - COBALT BLUE   |
|   | 17 SPANDRELL PANEL   |
|   | 18 STOREFRONT INSULATED METAL PANEL<br>TO MATCH COLOR 'A' - BY STOREFRONT<br>MANUFACTURER. |



### GENERAL NOTES:

- DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2006 IBC, ACI 318-05. SPECIAL INSPECTION REQUIRED PER IBC REQUIREMENTS.
- FOOTING AND WALL SHALL BE SEPARATED FROM BUILDING STRUCTURE WITH MIN. 1/2" EXPANSIONS JOINT MATERIAL
- CONCRETE  
 28-DAY COMPRESSIVE STRENGTH = 3,000 PSI (FOOTING), 4,000 PSI (STEM WALL)  
 AIR ENTRAINMENT = 5%-7%  
 MAX. W/C RATIO = 0.48  
 TYPE III CEMENT  
 GR. 60 REINFORCEMENT
- MASONRY  
 TYPE N-1, LIGHTWEIGHT UNITS  
 3,000 PSI GROUT  
 MIN. FM = 1,500 PSI  
 TYPE S MORTAR W/MIN. 1,500 PSI
- SANDSTONE COLOR TO MATCH BUILDING

3 MECHANICAL SCREEN DETAIL  
 1/2" = 1'-0"

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CASE NUMBER P15-002

# LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

FINAL DEVELOPMENT PLAN  
 LOT 8, BLOCK 1, CENTENNIAL EAST CORPORATE CENTER, FILING NO. 3,  
 LOCATED IN W1/2 OF SEC 30, T5S, R66W OF THE 6TH PRINCIPAL MERIDIAN  
 COUNTY OF ARAPAHOE, STATE OF COLORADO



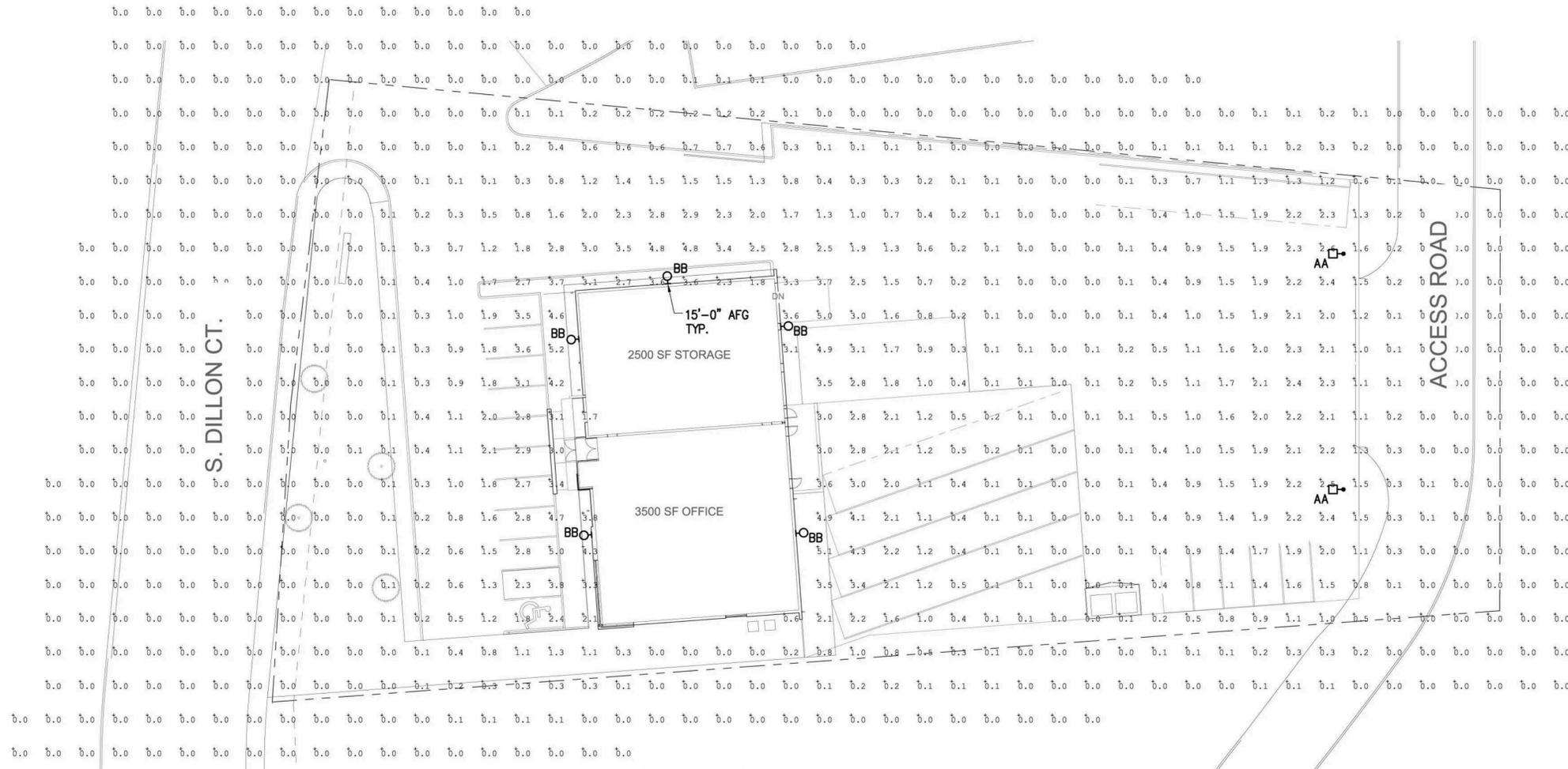
ARCHITECTURAL  
 ROOT ARCHITECTURE AND  
 DEVELOPMENT, LLC  
 ZEKE FREEMAN, R.A., G.C.  
 710 W. COLFAX  
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 jcaece.com

JASKO  
 ENTERPRISES  
 TRUCKING FACILITY  
 7154 S. DILLON CT.  
 ENGLEWOOD, CO 80112



1 SITE PHOTOMETRIC PLAN  
 1" = 20'-0"

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
□	2	AA	SINGLE	N.A.	0.940	ECF-4-105LA-4870-NW-IS
○	5	BB	SINGLE	N.A.	0.940	161-4-110LA-9635-NW

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PARKING LOT	Illuminance	Fc	1.26	5.0	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE - 15.0020 DILLON TRUCKING										
FIXT. TYPE	MANUFACTURER		FINISH	LAMP DATA	LUMINAIRE WATTS	MOUNTING METHOD	MTG HEIGHT	MTG DEPTH	REMARKS	VOLTS
	NAME	CATALOG NUMBER								
AA	PHILIPS GARDCO	ECF-4-105LA-4870-NW-UNV-NP-IS	NATURAL PAINT	48 LEDS BY MFR	105	POLE	20'-0"			120/277
BB	PHILIPS GARDCO	161-APD-4-110LA-9635-NW-UNV-NP-WS	NATURAL PAINT	96 LEDS BY MFR	110	WALL	15'-0"			120/277



JCA  
 CONSULTING ENGINEERS LLC  
 4100 Wadsworth Blvd.  
 Wheat Ridge, CO 80033  
 p. 303.995.3260

#15.0020

ISSUED FOR:  
 PERMIT DOCUMENTS  
 PROJ. NO. 15004  
 DRAWN: ZF  
 CHECKED: ZF  
 DATE: 04/19/2016  
 PERMIT SUBMITTAL 11-08-2015  
 ADD-01 02-09-2016  
 ADD-02 04-19-2016

SHEET TITLE:  
 ELECTRICAL  
 SITE PLAN -  
 PHOTOMETRICS  
**FDP107**



# LOT 8 - JASKO ENTERPRISES TRUCKING FACILITY

## FINAL DEVELOPMENT PLAN

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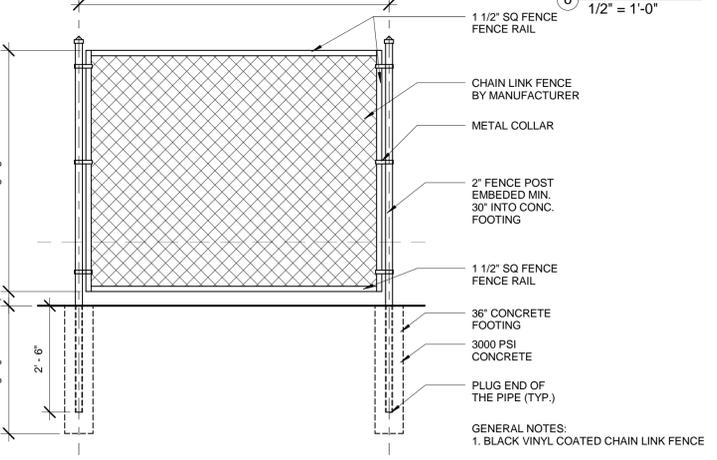
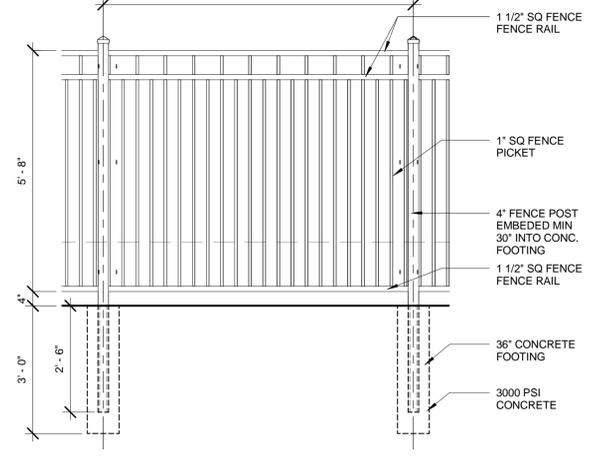
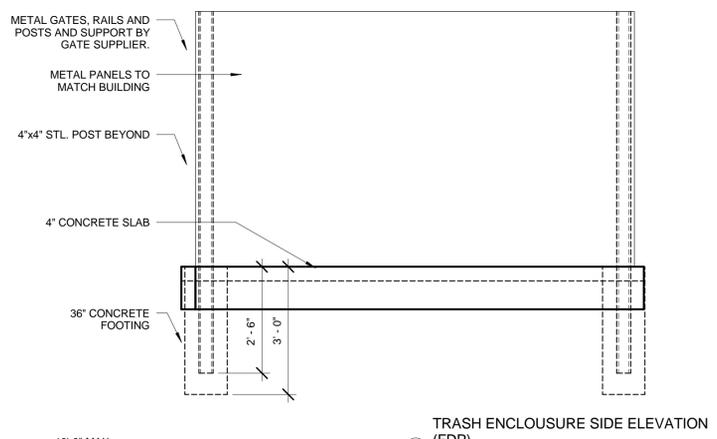
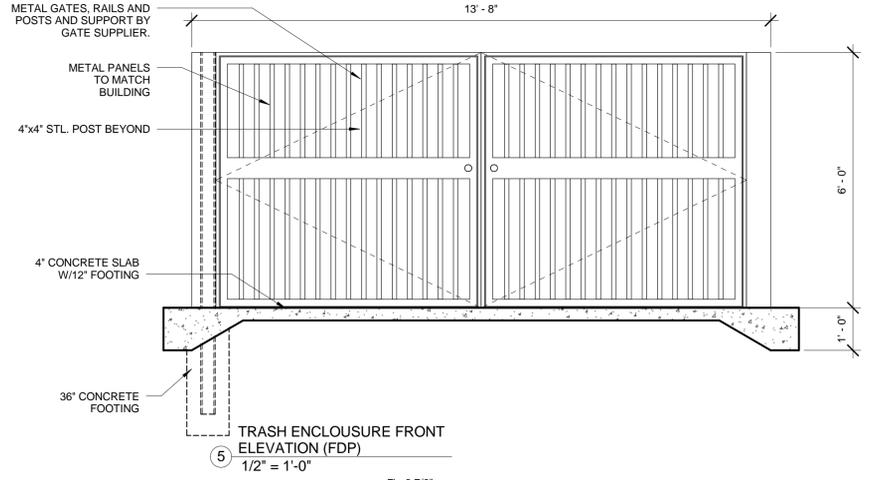
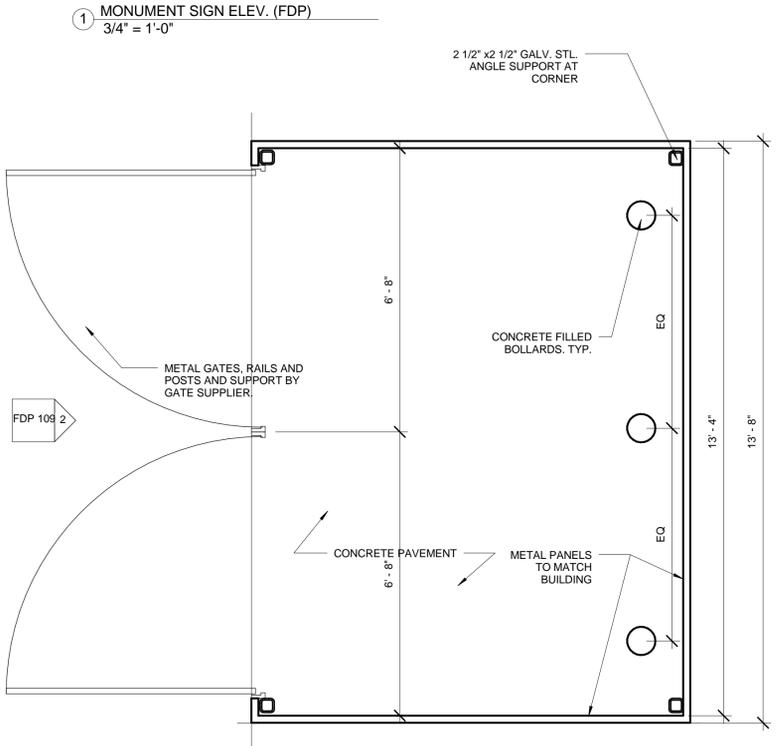
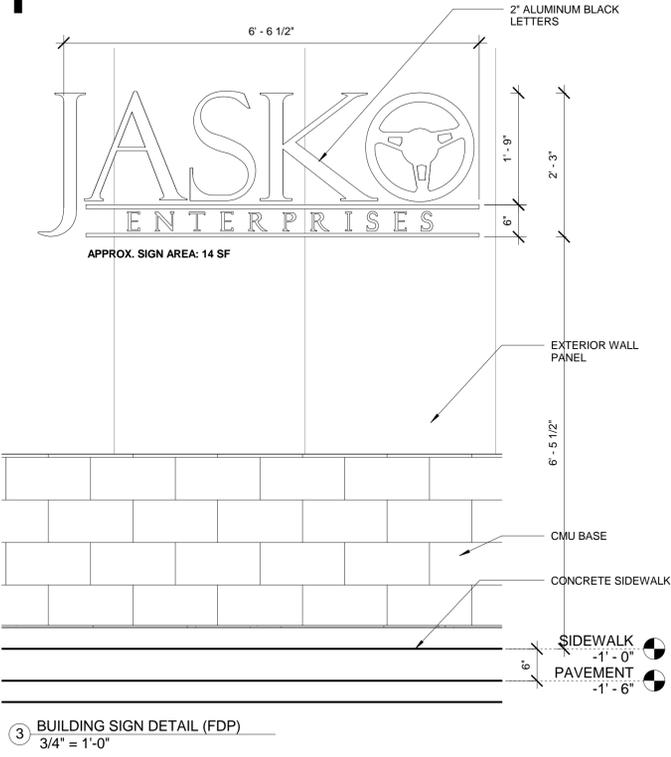
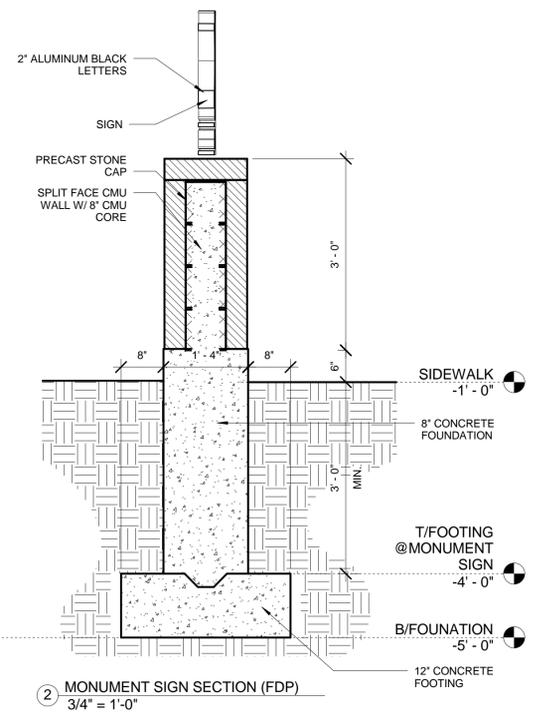
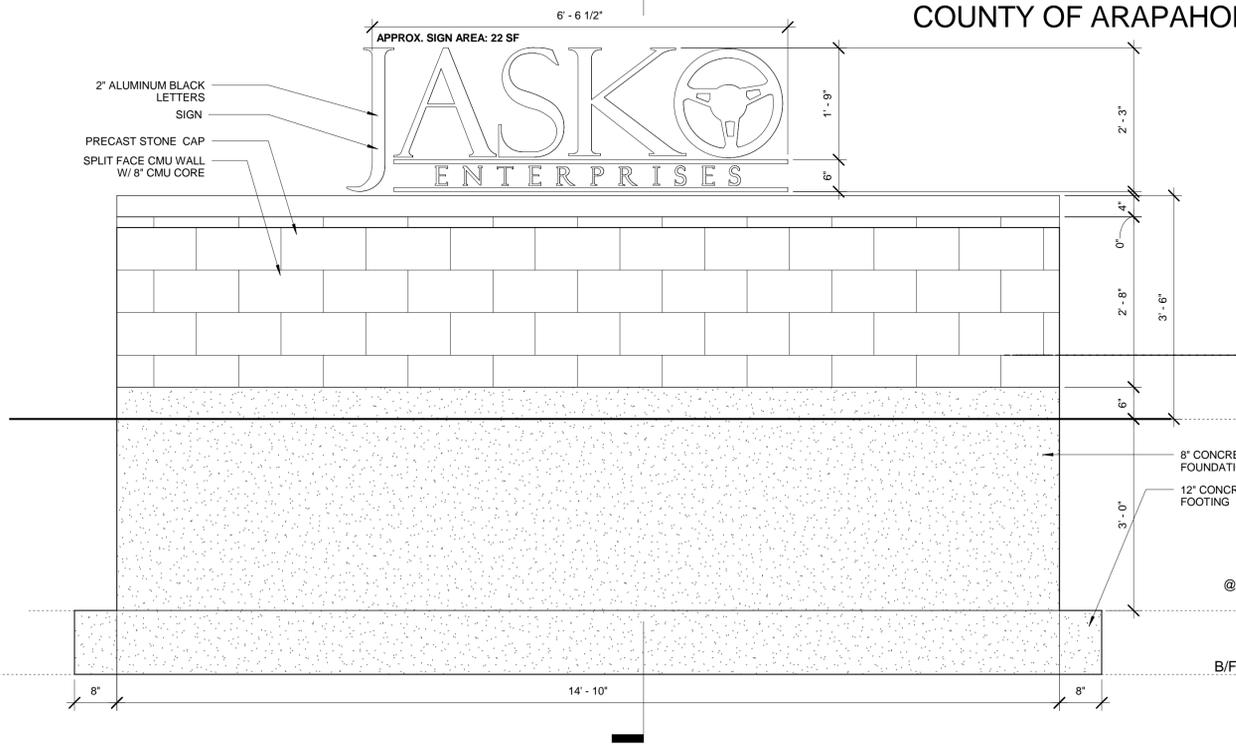
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**JASKO ENTERPRISES TRUCKING FACILITY**  
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 DATE: 04/19/2016  
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 ADD-01 02-09-2016  
 ADD-02 04-19-2016

SHEET TITLE:  
**SITE DETAILS**  
 SHEET NUMBER  
**FDP 109**



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CASE NUMBER P15-002